



Menangle Park

LIVE LIFE AT YOUR OWN PACE

DESIGN GUIDELINES

Menangle Park
Stage 4 South



DAHUA GROUP

Version 2 - August 2024

An aerial photograph showing a large-scale residential development in Menangle Park, Stage 4 South. The development is outlined in white and features a dense arrangement of houses with grey roofs and green lawns. To the north of the development is a large, oval-shaped green field, possibly a sports field or park. The surrounding area includes a mix of green fields, trees, and some existing infrastructure like a road and a small pond. The overall scene is a mix of natural and developed land.

**MENANGLE PARK
STAGE 4 SOUTH**



DESIGN GUIDELINES

Menangle Park Stage 4 South

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DISCLAIMER: The content of this brochure was produced prior to planning approval, statutory approval and commencement of construction. Photographs and artist's impressions depicting the Menangle Park project and surrounding area are intended as a guide only and subject to change. Information and images relating to the public open space areas and the surroundings are indicative only. All outlines depicting areas are indicative only. Prospective purchasers should make their own enquiries. Dahua Group Sydney Project 2 Pty Ltd ABN 80 606 391 235 / Dahua Group Sydney Project 3 Pty Ltd ABN 49 606 391 922. JN14677

1 INTRODUCTION

Welcome to Menangle Park

Menangle Park is a new 'Parkland Town' positioned at the junction of Hume Highway and Menangle Road, less than 10 minutes south-west of Campbelltown CBD. This new community will be focused around health (live, work and play), nature and connectivity.

These Guidelines

These Design Guidelines form part of our commitment to creating a community that is a great place to live, both now and well into the future. The Guidelines apply to all dwellings to be built within Menangle Park and will form part of the contract you enter into when you purchase land.

The aim of these Guidelines is to enable both quality and consistency to be realised in this development and ensure the creation of an attractive riverside community with a point of difference from adjoining residential communities. It is intended that by controlling certain built form and landscape components, the quality of the community will be uplifted and residents' experience improved. Menangle Park South will be delivered as quality housing that contributes to a pedestrian friendly environment, meets the needs of the future market and retains the value on investment made.

The design guidelines have been established to reinforce the Menangle Park Vision and Values and to achieve the following Principles:

- Riverfront Lifestyle
- An Attractive Pedestrian Environment
- A Consistent Quality
- Climate Response
- Quality Materials

The Methodology

The Menangle Park South Guidelines are the result of a rigorous place analysis and audit process and a collaborative multi-disciplinary approach to understand the Menangle Park vision, market demand and commercial reality for future residents of Menangle Park.

The place analysis and audit involved the evaluation and documentation of local, national and international communities. The imagery that resonated with the Menangle Park team was distilled into areas of interest to inform the key design components. These include:

- The pedestrian experience and the critical interface between the public and private domain
- The relationship of landscape and fencing in relation to built form and public/private delineation
- Architectural character
- Roofs from pedestrian perspective and as a collective roofscape
- Façade proportions and light and shade
- Quality and appropriate materials and colour tones

Your Home at Menangle Park

Dahua Australia, the developer of Menangle Park, is fully committed to creating community focused projects and housing products that reflect the unique culture and community of the region coupled with attractive and affordable options for residents.

We understand that your family home is one of the greatest personal investments that you will make in your life. These Design Guidelines have been designed to enhance and protect the value of your home at Menangle Park. It is important that you discuss these with your homebuilder or architect during the early stages of planning the design of your home.

These Design Guidelines detail the mandatory building controls that apply to homes within Menangle Park but are not in lieu of any requirements contained within the local Development Control Plan.

The aim of these Guidelines is to ensure attractive streetscapes are achieved throughout Menangle Park by encouraging homes that are complementary to their surroundings, whilst also allowing a wide range of personal choice.

Application of the Guidelines

Approval for siting and design of all homes will need to be first assessed by the Dahua Design Administrator for compliance with the Design Guidelines and then approved by Campbelltown City Council or an Independent Certifier for development and construction approval.

This process will ensure that home designs and siting on lots will provide surety to all purchasers on the overall outcome of this residential community and particularly siting and design of residences.

A Compliance Rebate may be claimed once your home and landscaping is completed in accordance with these guidelines. Refer to section 2.2 for rebate amount.

Purchasers are required to complete the dwelling and landscaping within 30 months of registration. This must include issuing the Certificate of Occupancy of your dwelling.



Artist Impression

Proposed Future Town Centre

APPROVAL PROCESS



Scan the QR code for Design Approval Portal Access and Download Design Guidelines.

2.1 Approval Process



STEP ONE

Ensure your house design meets the Development Control Plan, Complying Development Code and Menangle Park Design Guidelines.



STEP TWO

- Complete the Design Guidelines Application Form (section 4.3).
- Submit the Design Guidelines Application Form and essential documents through Menangle Park Design Approval Portal: menanglepark.com.au/design-approvals/
- Council or an Independent Certifier issues your development approval and Construction Certificate.
- Then you can commence building your new home.

Refer to forms in section 4. Remember your new home and dwelling must be completed within 30 months of registration.



STEP THREE

Home is completed in accordance with approvals and Occupation Certificate is issued.



STEP FOUR

Complete your landscaping in accordance with approvals.

Remember dwelling and landscaping must be completed within 30 months of registration.



STEP FIVE

- Claim your Compliance Rebate by completing the Compliance Rebate Application Form (section 4.4).
- Submit the Compliance Rebate Application Form and essential documents through Menangle Park Design Approval Portal: menanglepark.com.au/design-approvals/ upon completion of your home and landscaping.

2.2 Compliance Rebate

Once you have completed your dwelling and landscaping you can apply for the Design Compliance Rebate. The rebate provided to purchasers will vary depending on your allotment type.

■ Traditional	\$5,000
■ Corner	\$7,500
■ Premium	\$10,000
■ Rural	\$20,000



DESIGN GUIDELINES

3.1 A Tailored Response

Typical Lot Types

In order to ensure that the design guidelines can be applied across the Menangle Park South site, indicative design solutions have been prepared for six typical and recurring lot conditions. The design solutions opposite demonstrate one way that a compliant design could be achieved and approved on the following recurring lot types:

- Front Loaded Small Lots
- Traditional Lots
- Riparian View Rear Loaded Lots
- Battleaxe Lots
- Rural Lifestyle Lots





Front Loaded Small Lots

These lots are characterised by a depth of maximum 30m and frontage with the riparian corridor. Dwellings are front loaded and encouraged to incorporate front verandahs and balconies as well as articulation zone framing elements to create strong frontage to the street.



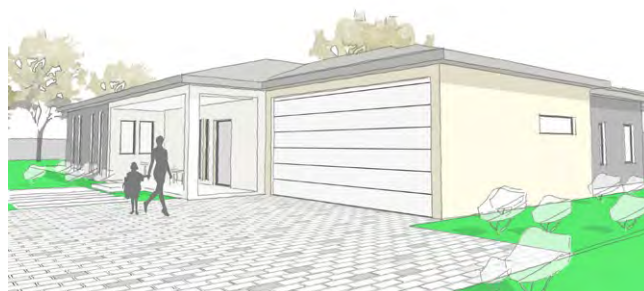
Riparian View Rear Loaded Lots

These lots are characterised by a depth of maximum 30m and frontage with the riparian corridor. Dwellings are rear loaded and encouraged to incorporate front verandahs and balconies as well as articulation zone framing elements to maximise views and create strong frontage to the street and the riparian corridor.



Traditional Lots

These lots are characterised by a depth of 30m and require considerations regarding slope between its side boundaries. The dwellings are encouraged to incorporate native vegetation instead of front fencing and are encouraged to incorporate front verandahs and to create frontage to the street.



Battleaxe Lots

These lots are characterised by a depth of 30m and proximity to the proposed Hilltop Park South therefore requiring consideration regarding access, frontage treatment and private open space location.



Rural Lifestyle Lots

These lots are characterised by their proximity to the Nepean River, providing generous open space on the property and creating a rural living character. With generous front and rear setbacks, sufficient landscape zones will frame dwellings where front verandahs and articulation zones are encouraged at street frontage.

3.2 General Controls



MATERIALITY & COLOUR PALETTE

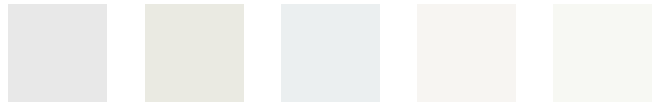
Design Intent Principle

To use selective, authentic and climatically robust materials, providing focus and a shared response to the quality design of the community whilst encouraging individual design outcomes.

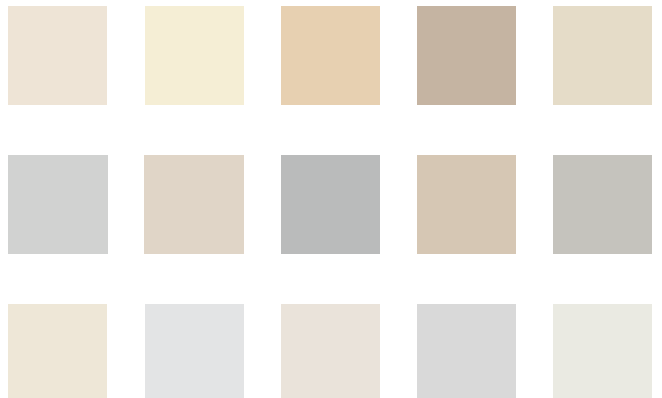
Guidelines

- Minimum 2, maximum 3 materials are to be used on the external façade of the dwelling (plus glass). The number of colours are not limited but are to remain within the Menangle Park South colour palettes.
- To ensure consistent character, one of the colours applied to a dwelling has to be chosen from the common colour palette. The common colour can be applied as the dominant colour of the dwelling or one of two the complimentary colours
- No imitation masonry permitted on the façade, and other imitation materials are discouraged where an authentic version is available. Rendered concrete block is permitted if consistent with the preferred colour palette
- Where bricks are used on the façade, the following treatment is to be applied:
 - » It is recommended brick is to remain exposed
 - » Face brick is preferred over brick veneer
- Where the dominant material is painted, a colour or tonal variation of the Menangle Park South palette is recommended. However, alternative colour schemes will be considered by the design panel as a holistic façade material, and colour palette solution based on overall consistency with the local character
- If front fence is present, the material of the fence should use either the dominant or one of the two complimentary materials mandated for the dwellings
- Front fencing or retaining wall material must be a natural material such as wood and sandstone or finished in accordance with the fencing detail

Common Colour Palette



Accent Colour Palette





1. Common colour applied
2. Common colour applied as complementary colour
3. Common colour applied as primary colour



4. Colour One - The primary colour
5. Colour Two - Complementary colour
6. Colour Three - Complementary colour "the Common Colour"

ROOFS

Design Intent Principle

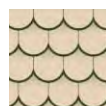
To provide a collective roofscape that optimises views, enhances local character and improves thermal functionality of the dwellings.

Proposed Guidelines

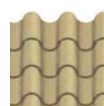
- Lots with a frontage of less than 15m must provide eaves of a minimum 350mm, and lots with a frontage of 15m or greater must have eaves of a minimum 450mm, in both instances to all main external walls of house for all pitched roofs, including garages and carports
- Roofs should be designed using a series of smaller roof forms and variations in roof pitch
- Where roofs are pitched, there should be a minimum roof pitch of 22.5 degrees
- Skillion roofs should range between 5 and 15 degrees. Alternative acceptable solutions will be considered
- Roof colour should be of the colours referenced on this page
- Roofs on all dwellings must be finished in one of the following materials in colours:
 - » Corrugated steel roof sheet
 - » Concrete roof tiles
 - » Ceramic roof tiles
- To ensure consistent contemporary character, roofs must be finished in accordance with patterns presented in the schedule. Alternative acceptable solutions including recessed volumes, will be considered
- All house roofs within Menangle Park will need to meet a solar absorptance rating of less than 0.5

Roof Patterns

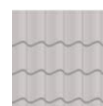
Negative



Rounded shingle



Round profile roof tile



Round profile roof tile



Roof tile with vertical detail



Round profile roof tile

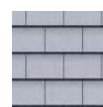
Positive



Corrugated roof sheets



Low profile roof tile



Rectangular shingle look tiles

Roof Colour Palette



Colour 1 Surfmist



Colour 2 Classic Cream



Colour 3 Paperbark



Colour 6 Evening Haze



Colour 5 Shale Grey



Colour 6 Dune



Colour 7 Birch Grey



Colour 8 Merino



Colour 9 Light Grey

Other colours and materials may be permitted on a case by case basis if appropriate solar absorption requirements are met and demonstrated

Image on page 12, bottom

1. Bin location
2. Side fence built 1.5m behind primary building line
3. Garage
4. Primary building line
5. Articulation zone
6. Lot boundary
7. One tree in the front yard for lots with less than 15m frontage; or two trees in the front yard for lots with more than 15m frontage
8. Native vegetation and grasses as public and private soft edge
9. Entry path
10. Hedge/blade wall between driveway and pathway hosts letterbox and assists in level change
11. Driveway

LANDSCAPING

Design Intent Principle

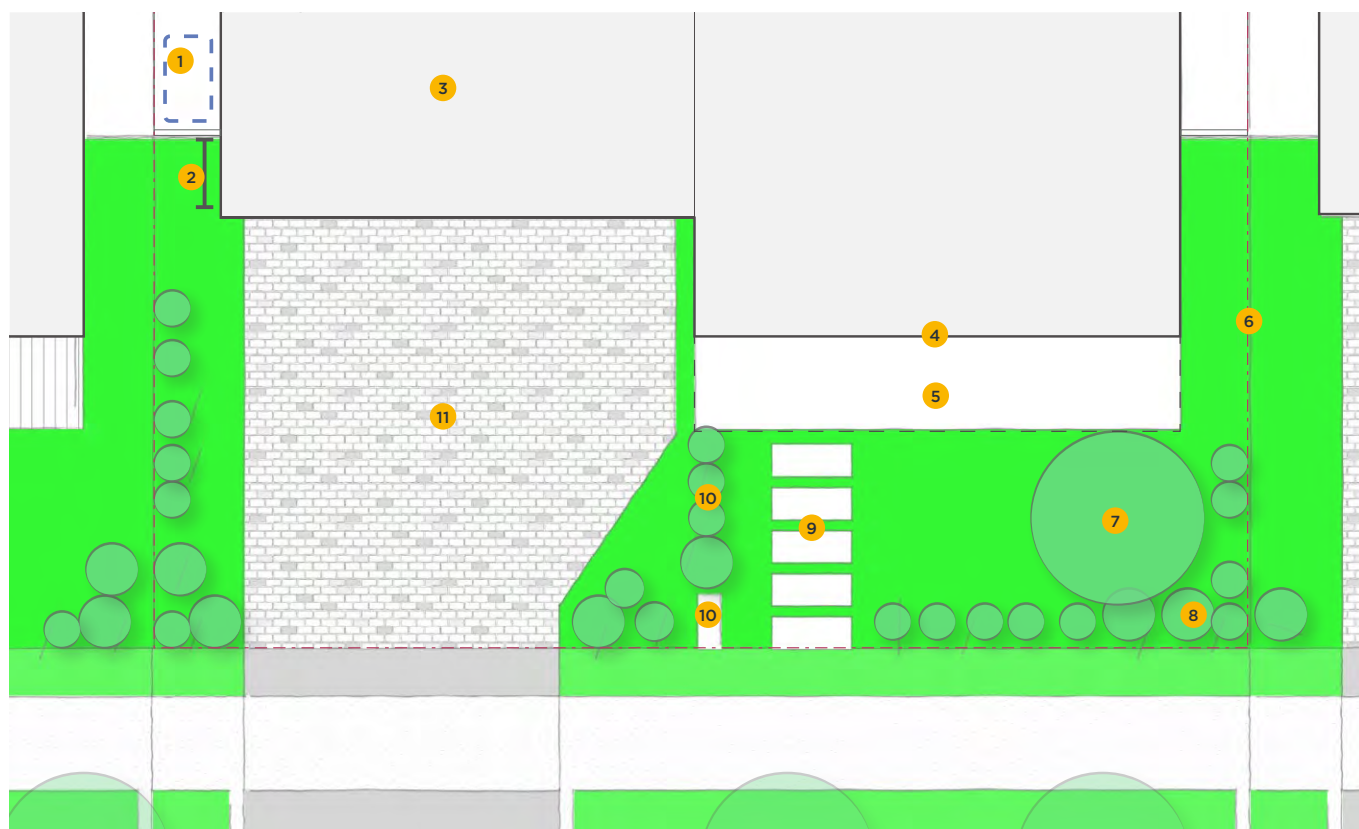
To ensure a visual consistency throughout the streetscapes using aesthetic landscape features as well as contribute to creating cooler living environment through increased tree canopy cover.

Proposed Guidelines

- To provide boundary delineation, native landscaping and high grasses to be provided along the front boundary line
- Side boundary fence must be located minimum 1.5m behind the primary building line and must return to the building
- Fencing along the secondary frontage of a corner lot shall match either the dominant or the complimentary dwelling material
- The material chosen for the front and side fencing forward of the front building line shall contribute to the character and not detract from the streetscape rhythm
- Front yards should incorporate one tree (6m tall when mature) on lots with frontages smaller than 15m and two trees on lots with frontages greater than 15m
- Side fencing material shall match either the dominant or the complimentary dwelling material
- Fencing along the secondary frontage of a corner lot shall match either the dominant or the complimentary dwelling material
- All homes must incorporate a suitable bin storage area that must be submitted with your pre-lodgement approval
- Bin storage area must be allocated behind the primary building line
- Hedge/blade wall to be built between driveway and pathway to assist level difference and host letterbox
- Letter box is masonry, rendered or timber finish and complements the home by using similar materials
- Side and rear fencing are to be of a timber lapped and capped type, except for battleaxe lots which may use Colorbond
- Where Bushfire Attack Level (BAL) prevents a timber lapped and capped fence, Colorbond evening Haze fence will be permitted



Trees in the front yard provide shade and sense of privacy



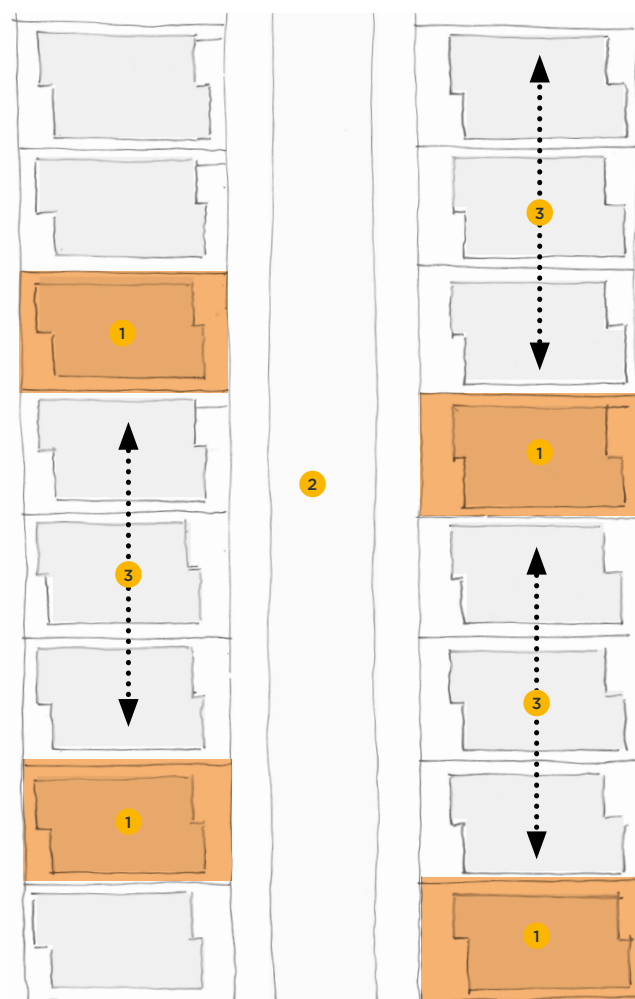
FAÇADE REPETITION

Design Intent Principle

To deliver streetscapes that incorporate a variety of built form outcomes, that creates visual interest, references the riparian setting and breaks down scale and massing through well balanced design and quality detailing.

Proposed Guidelines

- A dwelling must not have the same façade design as another dwelling within three lots in both directions on the same side or opposite side of the street as illustrated in the image to the right
- If more than one application of the same façade design is submitted for lots within the three lot proximity, approval will be given to the first complete application to be received. Applications will be assessed strictly in the order they are received
- Submissions can be made to DRP to determine whether a similar style façade is proposed to be used within a street



1. Subject lot
2. Street
3. Three lot separation between lots with similar façade



A variety of façade designs creates visual interest and provides opportunity for individual outcomes

FAÇADE DESIGN

Design Intent Principle

To create contemporary built form that creates visual interest, contributes to visual amenity of the streetscapes and breaks down scale and massing through well proportioned openings and quality detailing.

Proposed Guidelines

- Protruding building features such as front entry porches, porticos, verandahs, upper level balconies and other elements are recommended to offer articulation and finer detailing to the main building mass
- The façade must present at least one door and one habitable room window, fronting the street for lots with frontage smaller than 15m
- On lots with a frontage of 15m and over, the façade should have at least two habitable room windows facing the street per floor
- Windows for rooms such as the WC, bathroom or laundry should not be the dominant feature or window on the front façade. Where such windows are necessary, they must be similarly proportioned to other windows on the façade
- A minimum of 20% of the home's front façade is to include windows. This is found by calculating the total surface area of the front façades, and of the windows
- The main home entry is to be visible from the street and provide a strong sense of entry
- Overhead shading structures are encouraged for the protection of windows facing north and also for western elevations
- Use of framing and recessed volumes in the built form is recommended



1. Use of recessive volumes contributes to creating visual interest and articulation of the built form
2. Although optional, use of framing elements addressing the street assists in achieving legible streetscape



Use of framing, recessed volumes and up to 3 materials contributes to a clear architectural language and streetscape frontage

CORNER LOTS

Design Intent Principle

To create visual interest and address primary and secondary streets, celebrate view termination using built form features and landscape, and to provide surveillance.

Proposed Guidelines

- Corner lots must address both frontages
- Habitable rooms are to present to both frontages through windows and architecturally designed features
- If the house is on a corner lot, and the garage can be placed on the west side of the house, to shield the house from the western sun, it must be placed there whether access is from the primary or secondary street. In all other cases, the garage must be accessed from the secondary street. See your indicative Building Envelope Plan for driveway location options.
- Corner lots must provide a minimum of one advanced tree and substantial planting along the secondary boundary
- For corner allotments, on the secondary frontage, the maximum run of an unbroken wall length is 12m, a step of at least 480mm is to be incorporated in the wall for articulation
- Blank walls will not be permitted and windows must be provided forward of any side corner fencing

GARAGES & DRIVEWAYS

Design Intent Principle

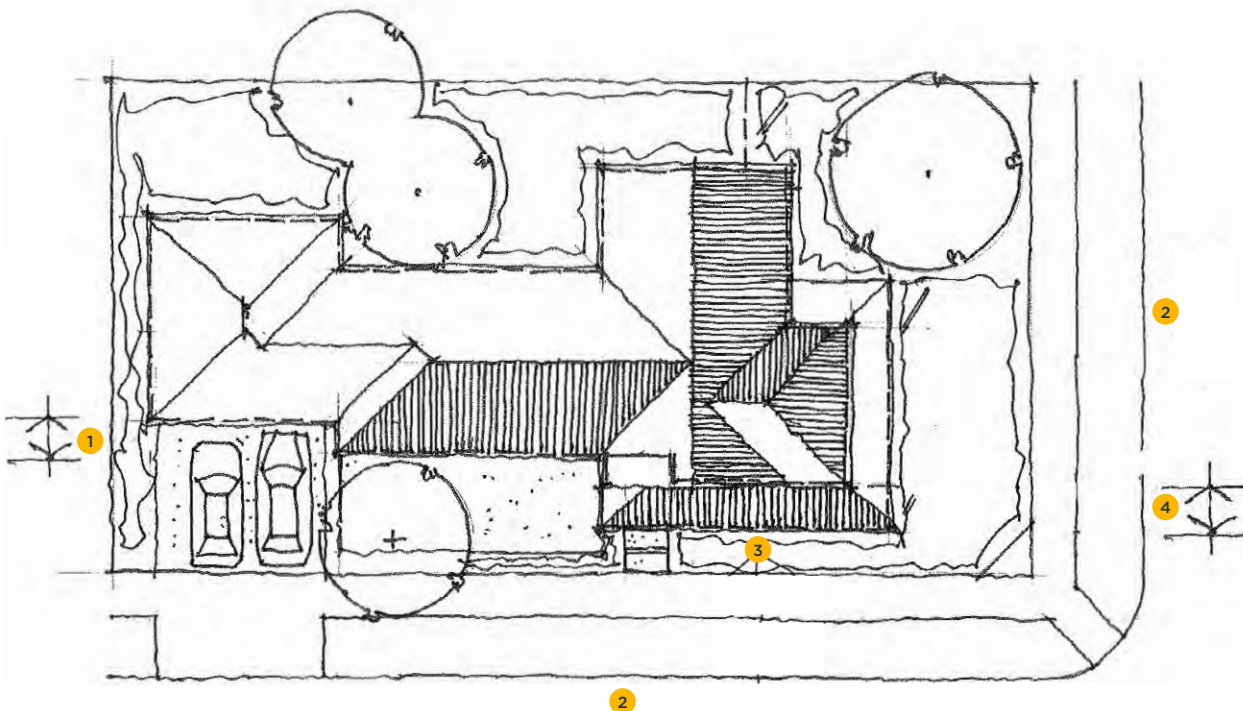
To ensure that garage doors contribute to the design quality of the front elevation of the residence or rear lane and minimise visual impact to the streetscape.

To reduce the impact of driveways by having a consistency of material within the streetscape and ensuring that there is landscape separation to minimise visual impact of hard paved surfaces.

Proposed Guidelines

- Garages are to be set back minimum 1m behind the main front wall of the house
- It is preferred that garages be constructed under the main roof of the house. If garages are freestanding and/or visible from the street, they should match the roof form and be constructed of the same materials as the house
- Conventional Colorbond roll up doors are not permitted
- Only panel lift or panel glide style roller doors will be permitted and the use of glass panel or louvre inserts is encouraged
- The maximum width for the driveway crossover is 4m for a double garage and 2.7m for a single garage
- Driveways must abut and must not cut through any pedestrian footpaths within the street verge
- Driveways are to be constructed of single-colour concrete or pavers in a light grey or neutral tone
- Driveways must be offset at least 300mm from your side boundary with a landscape garden bed provided
- Rubbish storage and drying areas are to be concealed from view from the street

CORNER LOTS



1. Articulation to the secondary frontage
2. Street
3. Your home is to address the secondary street frontage with similar architectural features to the front façade
4. Articulation to the secondary frontage

SUSTAINABILITY

Design Intent Principle

To encourage sustainable living and ensure sustainable design contributing to positive built form performance and cooler public domain.

Proposed Guidelines

- Front yards should incorporate one tree (6m tall when mature) on lots with frontages smaller than 15m and two trees on lots with frontages greater than 15m
- Trees are required to be a minimum of 1.5m tall when planted (roughly 75ltrs stock size)
- Shading designed to restrict solar access to the living spaces in summer, whilst allowing beneficial solar access in winter
- Maximising opportunities for cross ventilation and providing high level operable windows is recommended
- Double glazed windows or treated windows are recommended
- The use of low solar absorption rate materials for the roofs, walls, driveways and garage doors is recommended



Use of low solar absorption rate materials improves the thermal performance the house



Deciduous trees encouraged for shade to restrict solar access in the living spaces in summer whilst allowing beneficial solar access in winter

3.3 Riparian View Rear Loaded Lots

Articulation and Public Private Delineation



Design Intent Principle

To provide a complete pedestrian experience along the riparian corridor where a safe, attractive and legible street is delivered a visual consistency and address of the built form is created.

Proposed Guidelines

- The ground floor should have a front verandah that addresses the street. These will be minimum 1.2m deep covered platforms/decks which provide a space for outdoor seating which faces the street
- Upper levels are encouraged to incorporate a balcony or Juliet balcony that addresses the street
- The façade design must incorporate a portal-frame element which emphasises the entry, breaks the horizontal scale of the dwelling and adds articulation and interest to the form facing the nature corridor. This frame must be a minimum of 800mm deep
- A 1.2 m high masonry fence must be constructed on the lots front boundary. The fence must be at least 60% permeable. Colour and material shall match either the dominant or the complementary dwelling material. Hedge planting is encouraged along fence line within property boundary to provide privacy to the Private Open Space (P.O.S)
- Side boundary fence is required to be located minimum 1.5m, maximum 1.8m behind the building line and return into the building. There is no limit to the height of hedges adjacent side and rear fences
- Vehicular access to garages must occur via a rear laneway





Rear Loaded Riparian View Lots with P.O.S at rear of property



- Image on right
1. P.O.S.
 2. Garage
 3. Driveway
 4. Laneway
 5. Fence
 6. Side fence built 1.5m behind primary building line
 7. 1.5m
 8. Front fence
 9. Street



3.4 Battleaxe Lots

Articulation and Public Private Delineation

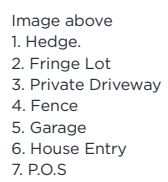


Design Intent Principle

To provide a complete, pleasing and visually attractive frontage for lots in proximity to the proposed Hilltop Park South.

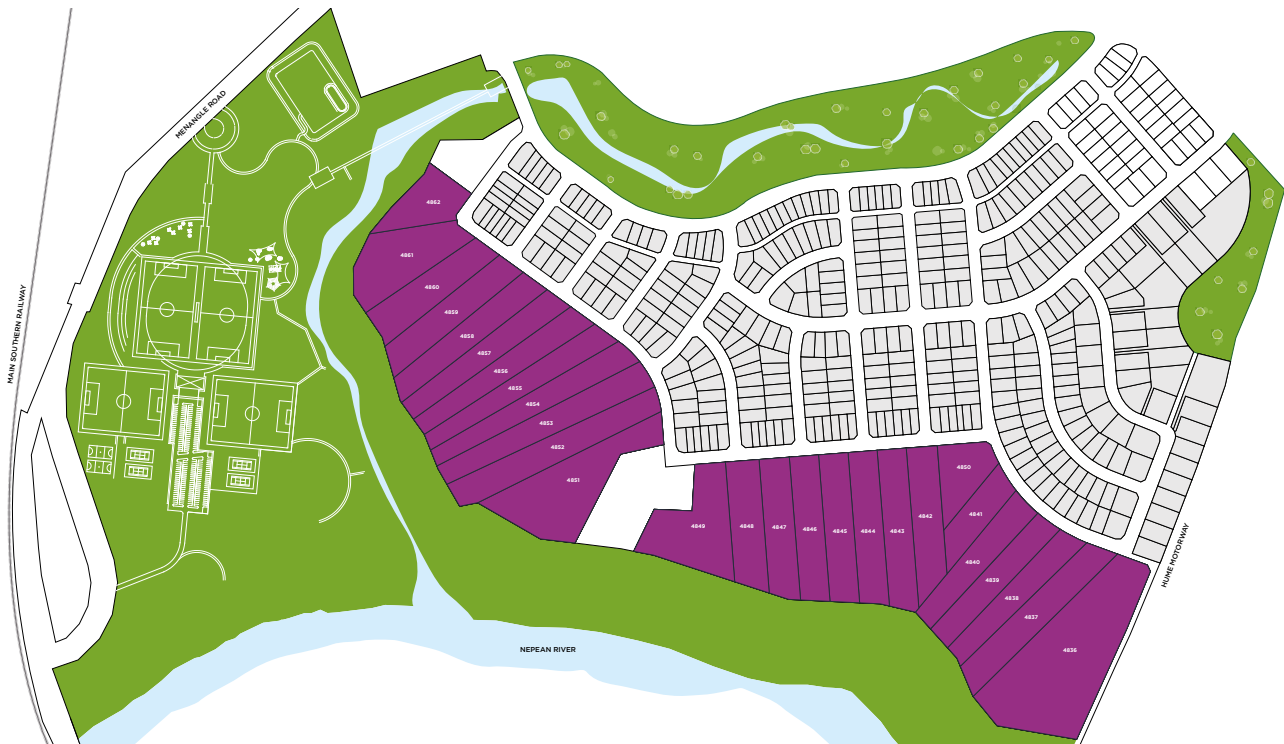
Proposed Guidelines

- Articulation elements such as a portal-frame element which emphasises the entry, breaks the horizontal scale of the dwelling and adds articulation and interest to the form facing the street. This frame must be a minimum of 800mm deep
- Articulation elements such as verandahs and balconies are encouraged to create street frontage
- Side fence to the lots private driveway must not extend further than primary building line of the dwellings fronting the street
- The property boundary delineation can only be defined by hedge/landscaping until the primary building line of the dwellings fronting the street
- Increased side setback to the boundary with private driveway is recommended
- Where fronting the street, side boundary fence must be located minimum 1.5m behind primary building line and adjoin to the building line.
- Where fronting the street, the lot boundary is encouraged to be defined by native vegetation and high grasses



3.5 Rural Lifestyle Lots

Articulation and Public Private Delineation



Design Intent Principle

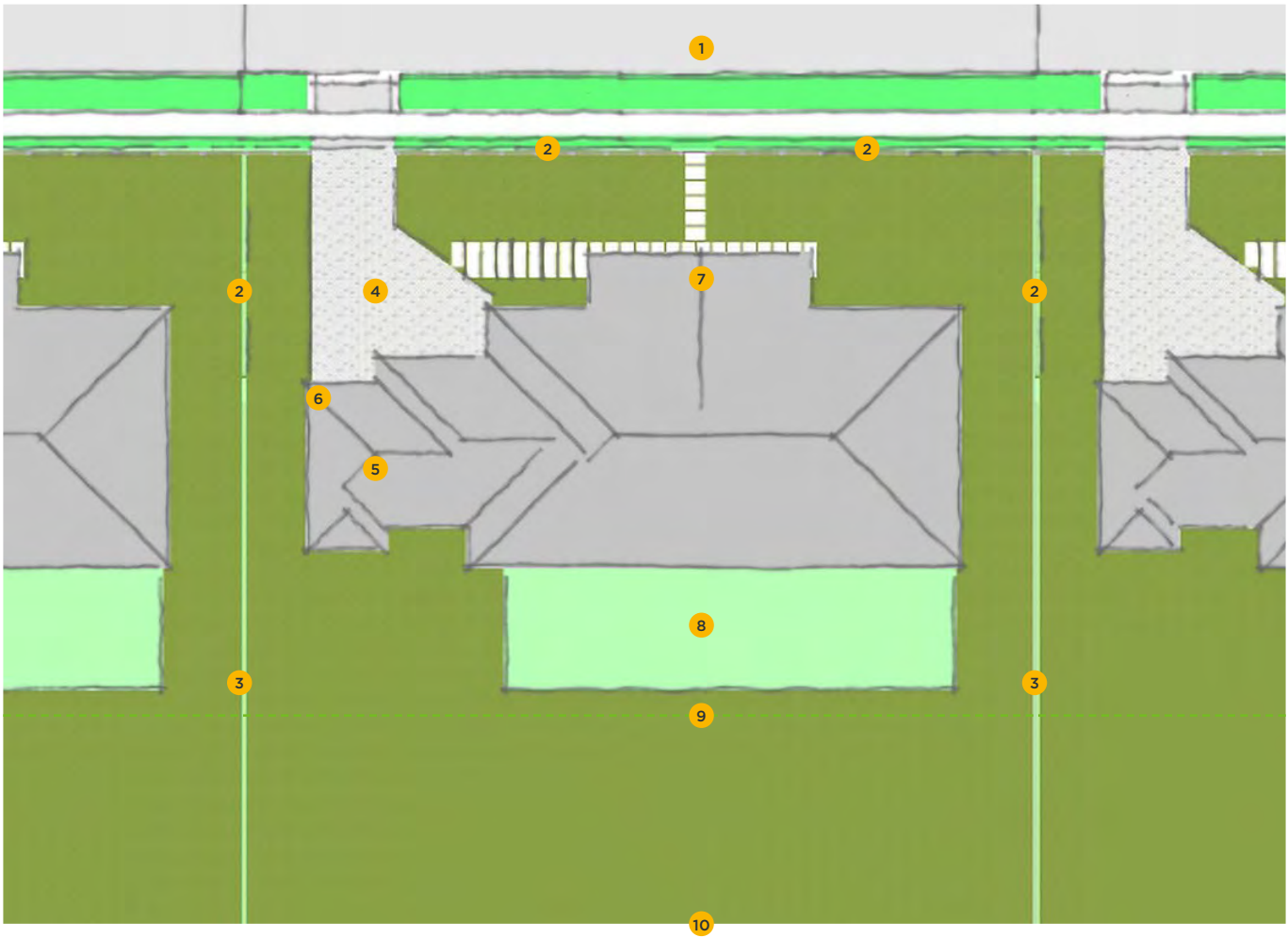
To provide a landscape setting that is a complete, pleasing and visually attractive frontage to the Nepean River to create lots that are of rural living character.

Proposed Guidelines

- The ground floor must incorporate a front verandah which faces the street and is at least 1.2m deep and at least 3.0m wide.
- Private open space must be located behind the primary building line.
- Garages must face the street, providing minimum 2 car spaces with a single driveway crossover. Triple garages permitted but must be setback 1m behind double garage.
- Boundary fence is permitted on all property boundaries with following criteria:
 - maximum 1.8m above ground level and be constructed using post and wire or post and rail.
 - if a front fence is used it must be no more than 1.2m high and minimum 60% transparent. If the fence continues along the side boundaries of the front yard, it must extend to meet the return fence.
 - not include any masonry construction that extends more than 3m from either side of the entrance to the property from the primary road
 - if it is constructed or installed on a flood control lot—not redirect or interrupt the flow of surface or ground water on that lot.
- Front property boundary is encouraged to incorporate hedges, plants and landscaping until the primary building line of the dwellings fronting the street
- A minimum of four trees (6m tall when mature) must be planted within 40m of the primary building line.

Image on page 24, top

1. Street
2. Up to 1.2m fence (60% transparent)
3. Fence
4. Driveway
5. Double/triple garage
6. 1.5m - 1.8m
7. Front verandah
8. Indicative P.O.S.
9. Indicative flood line location
10. Rear boundary fence



LIVE LIFE AT YOUR OWN PACE

4 APPLICATION FORMS AND CHECKLISTS



4.1 Design Guidelines Checklist | General Controls

REQUIREMENTS	YES	NO	N/A
MATERIALITY AND COLOUR			
Minimum 2, maximum 3 materials have been used	☐	☐	☐
One colour has been chosen from common colour palette	☐	☐	☐
No imitation masonry has been used on façade	☐	☐	☐
Tonal variation has been achieved where dominant colour is painted or colours are consistent with local character	☐	☐	☐
Front fence colour matches dominant or complementary colours of dwelling	☐	☐	☐
Front fencing is natural material (e.g. wood, sandstone) or finished as per the fencing detail	☐	☐	☐
ROOFS			
- Lots with frontage <15m: eaves are minimum 350mm - Lots with frontage >15m: eaves are minimum 450mm Applies to all external walls including garages and carports Where a dwelling benefits from a zero lot line, no eave is required along the zero lot line	☐	☐	☐
Roofs have been designed using a series of smaller roof forms	☐	☐	☐
Pitched roofs are minimum 22.5 degrees	☐	☐	☐
Skillion roofs range between 5 and 15 degrees	☐	☐	☐
Roof colours match roof material palette (other colours that demonstrate the appropriate solar absorbency rating permitted on case by case basis)	☐	☐	☐
Roof material is corrugated steel roof sheet, concrete roof tiles or ceramic roof tiles	☐	☐	☐
Roof pattern aligns with acceptable roof patterns (alternative options will be considered)	☐	☐	☐
House roofs meet solar absorbance rating of <0.5	☐	☐	☐
LANDSCAPING			
Native landscaping and high grasses have been provided along front boundary line	☐	☐	☐
Side boundary fence is located minimum 1.5m behind primary building line and returns to the building	☐	☐	☐
If corner lot, fencing along secondary frontage matches either the dominant or complementary dwelling material	☐	☐	☐
The material chosen for front and side fencing forward of the front building line contributes to the character and does not detract from the streetscape rhythm	☐	☐	☐
Front yard incorporates 1 tree (6m tall when mature) on lots with frontages <15m and 2 trees on lots with frontages >15m	☐	☐	☐
Side fencing material matches either the dominant or complementary dwelling material	☐	☐	☐
Suitable bin storage area has been incorporated (and located behind primary building line)	☐	☐	☐
Hedge/blade wall will be built between driveway and pathway to assist level difference and host letterbox where required	☐	☐	☐
Letterbox is masonry, rendered or timber finish and complements the home by using similar materials	☐	☐	☐
Side and rear fencing is of a timber lapped and capped type	☐	☐	☐
Where Bushfire Attack Level (BAL) prevents a timber lapped and capped fence, Colorbond evening haze fencing has been included	☐	☐	☐
FAÇADE REPETITION			
The façade design is not the same as another dwelling within 3 lots in both directions on the same side or opposite side of the street (if more than one application of the same façade design is submitted for lots within the 3 lot proximity, approval will be given to the first complete application to be received; applications will be assessed strictly in the order they are received)	☐	☐	☐

4.1 Continued ...

REQUIREMENTS	YES	NO	N/A
FAÇADE DESIGN			
Protruding building features (e.g. front entry porch, portico, verandah, upper level balconies and other elements) have been included where appropriate	☐	☐	☐
- Lots with frontage <15m: at least 1 door and 1 habitable room window are on the façade fronting the street - Lots with frontage >15m: at least 2 habitable room windows are on the façade per floor fronting the street	☐	☐	☐
Windows for rooms such as WC, bathroom or laundry are not a dominant feature or window on the front façade (if such windows are necessary, they are similarly proportioned to other windows on the façade)	☐	☐	☐
Minimum 20% of the front façade includes windows (20% of total façade area is to be windows)	☐	☐	☐
The main home entry is visible from the street and provides a strong sense of entry	☐	☐	☐
Overhead shading structures have been provided where appropriate for the protection of windows facing north and also for western elevations	☐	☐	☐
Framing and recessed volumes in the built form has been included where appropriate	☐	☐	☐
CORNER LOTS			
For corner lots, habitable rooms present to both frontages through windows and architecturally designed features	☐	☐	☐
Garage has access from secondary street	☐	☐	☐
Garage has access on the west side of the house, to shield the house from the western sun.	☐	☐	☐
Corner lots provide minimum 1 advanced tree and substantial planting along secondary boundary	☐	☐	☐
On secondary frontage, the maximum run of an unbroken wall length is 12m (with a step of at least 480mm incorporated in the wall for articulation)	☐	☐	☐
Blank walls have not been included and windows have been provided forward of any side corner fencing	☐	☐	☐
GARAGES AND DRIVEWAYS			
Garages are set back minimum 1m behind main front wall of house	☐	☐	☐
Garage will be constructed under main roof of house; or, if garage is freestanding and/or visible from street, it matches the roof form and will be constructed of same materials as house	☐	☐	☐
Either panel lift or panel glide style roller door has been included (conventional Colorbond roll-up doors have not been included)	☐	☐	☐
Driveway crossover is maximum 4m if double garage and 2.7m if single garage	☐	☐	☐
Driveway abuts and does not cut through any pedestrian footpaths on street verge	☐	☐	☐
Driveway is constructed of single-colour concrete or pavers in light grey or neutral tone	☐	☐	☐
Driveway is offset at least 300mm from side boundary with landscape garden bed provided	☐	☐	☐
Rubbish storage and drying areas are concealed from view from the street	☐	☐	☐
SUSTAINABILITY			
Trees will be minimum 1.5m tall when planted (roughly 75ltrs stock size)	☐	☐	☐
Shading is designed to restrict solar access to living spaces in summer, whilst allowing beneficial solar access in winter	☐	☐	☐
Cross ventilation has been maximised and high level operable windows have been included	☐	☐	☐
Double glazed windows or treated windows have been incorporated	☐	☐	☐
Low solar absorption rate materials for roofs, walls, driveway and garage have been included (recommended)	☐	☐	☐

4.2 Design Guidelines Checklist | Location Specific Controls

REQUIREMENTS	YES	NO	N/A
RIPARIAN REAR LOADED LOTS			
Ground floor incorporates front verandah that addresses the street (minimum 1.2m deep covered platforms/decks with space for outdoor seating facing the street)	☐	☐	☐
Upper levels are encouraged to incorporate balcony or Juliet balcony that addresses the street where appropriate	☐	☐	☐
Façade design incorporates portal-frame element (to emphasise the entry, break the horizontal scale of the dwelling and add articulation and interest to the form facing the nature corridor; frame must be minimum 800mm deep)	☐	☐	☐
Front fence has been included along front boundary line (1.2m high; combination of masonry and vertical elements that allow at least 60% transparency; colour and material to match either the dominant or complementary dwelling material)	☐	☐	☐
Side boundary fence has been located minimum 1.5m, maximum 1.8m behind the building line and returns into the building	☐	☐	☐
Vehicular access is via the rear lane (applicable to rear load lots only)	☐	☐	☐
BATTLEAXE LOTS			
Articulation elements such as verandahs/balconies have been included to create street frontage	☐	☐	☐
Side fence to the private driveway does not extend further than primary building line of dwelling fronting the street	☐	☐	☐
Property boundary delineation has been defined by hedge/landscaping (until the primary building line of the dwellings fronting the street)	☐	☐	☐
Increased side setback to the boundary with private driveway has been incorporated	☐	☐	☐
Where fronting the street, side boundary fence is located minimum 1.5m behind primary building line and adjoining the building line	☐	☐	☐
Where fronting the street, the lot boundary is encouraged to be defined by native vegetation and high grasses	☐	☐	☐
RURAL LIFESTYLE LOTS			
The ground floor incorporates a front verandah which faces the street and is at least 1.2m deep and at least 3.0m wide.	☐	☐	☐
Private open space is behind the primary building line	☐	☐	☐
Garages provides minimum 2 car spaces with a single driveway crossover	☐	☐	☐
Third garage has 1m setback behind double garage	☐	☐	☐
Boundary fence is not higher than 1.8m above ground level and is constructed using post and wire or post and rail.	☐	☐	☐
Front fence is used and it's less than 1.2m high and minimum 60% transparent	☐	☐	☐
Fence continues along the side boundaries of the front yard and extend to meet the return fence	☐	☐	☐
Fence doesn't include any masonry construction that extends more than 3m from either side of the entrance to the property from the primary road.	☐	☐	☐
Fence on a flood control lot does not redirect or interrupt the flow of surface or ground water on that lot.	☐	☐	☐
Front property boundary incorporates hedges, plants and landscaping until the primary building line of the dwellings fronting the street	☐	☐	☐
A minimum of four trees (6m tall when mature) must be planted within 40m of the primary building line.	☐	☐	☐

4.3 Design Guidelines Application Form

This form and attachments are to be completed, signed and submitted through Menangle Park Design Approval Portal: menanglepark.com.au/design-approvals/. Please ensure you include the allotment number and stage in the email subject.

Owner / Applicant Name	
Property Address	
Lot and Deposited Plan Number	
Settlement Date	
Contact Details	Mobile: Email:
Builder Details	
Anticipated Building Dates	Start: Finish: Remember, dwelling and landscaping must be completed within 30 months of registration.
Signature	
Date	

REQUIRED (PLEASE ATTACH)	ATTACHED
Design Guideline Checklist	☐
Required plans • Site Plan at 1:200 scale • House Plan at 1:100 scale • Landscape Plan at 1:100 scale • Colours and Materials Schedule	☐



Scan the QR code for Design Approval Portal
Access and Download Design Guidelines.

4.4 Compliance Rebate Application Form

This form is to be completed, signed and submitted through Menangle Park Design Approval Portal: menanglepark.com.au/design-approvals/ along with any other supporting documents such as Assignment Deed (if any). Please ensure you include the allotment number and stage in the email subject.

Owner / Applicant Name	
Property Address	
Lot and Deposited Plan Number	
Settlement Date	
Certificate of Occupancy Issued	
Contact Details	Mobile: Email:

I/we, the owner(s), confirm completion of our dwelling and associated landscaping is in accordance with Menangle Park South Design Guidelines and hereby request the Compliance Rebate as noted in the Contract of Sale.

Signature	
Date	

Upon receipt of this form and completion of an inspection and assuming compliance with these Guidelines, the Compliance Rebate will be deposited to the account provided below by Electronic Funds Transfer within 50 days.

Acknowledgement by the Owner / Applicant

You acknowledge that the Vendor, Dahua (Dahua Group Sydney Project 2 Pty Ltd / Dahua Group Sydney Project 3 Pty Ltd), is authorised to remit the Compliance Rebate to the bank account you have nominated below. Please check the bank details carefully as Dahua has no duty to check the accuracy of the details. You release Dahua and its associate entities from any liability arising from You providing the incorrect details.

Account Name	
Bank	
BSB Number	
Account Number	

REQUIRED (PLEASE ATTACH)	ATTACHED
Completion of dwelling and landscaping (including fencing) within 30 months of plan registration, including issuing of the Certificate of Occupancy of dwelling. Please attach Certificate of Occupancy	☐
Design Guidelines Checklist (if any changes from original design)	☐
Required plans (if any changes from original design) • Site Plan at 1:200 scale • House Plan at 1:100 scale • Landscape Plan at 1:100 scale • Colours and Materials Schedule	☐
Any other documents required under the rebate clauses in the land contract	☐

