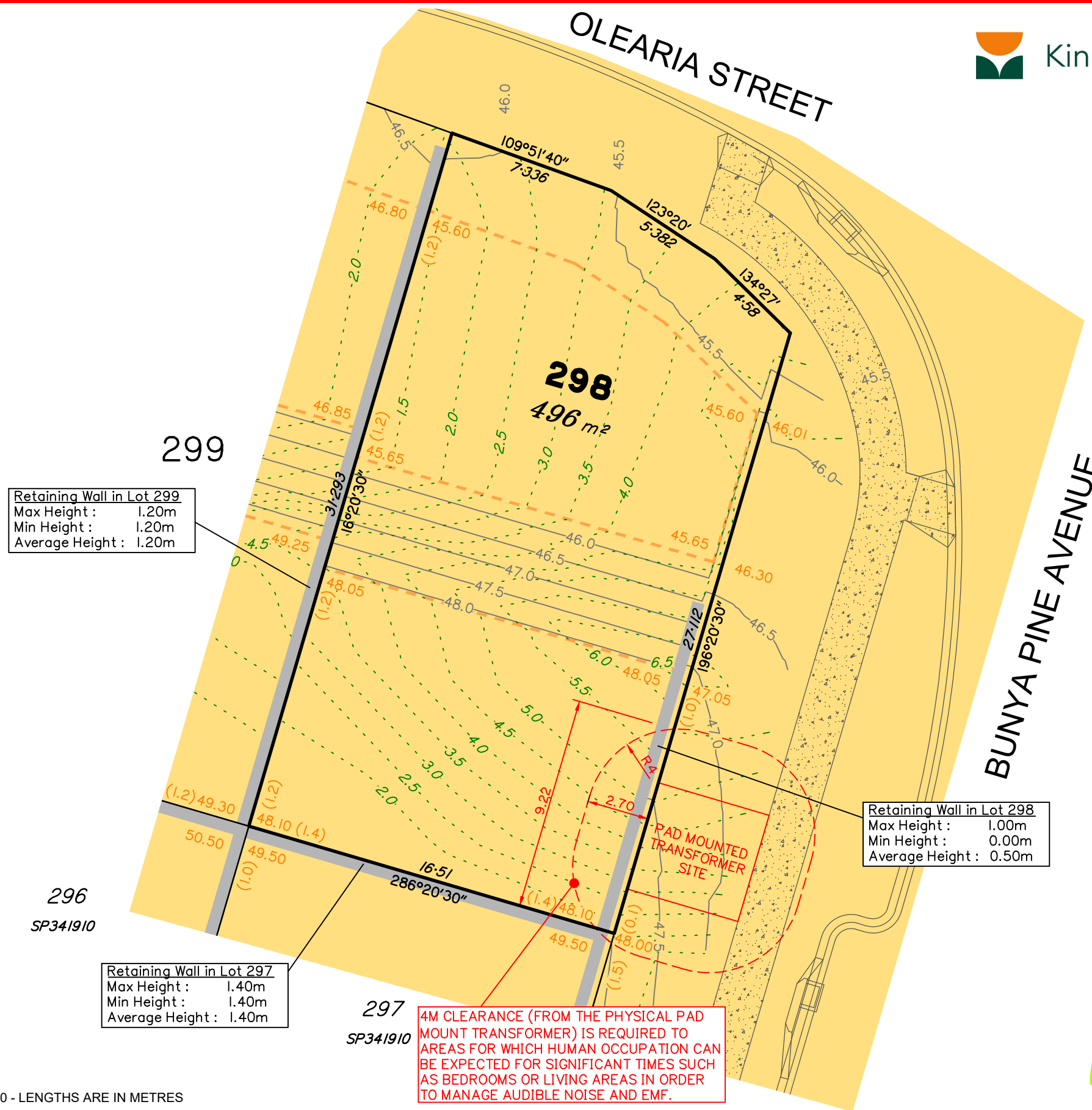


STAGE 11



LEGEND

- Area of Cut
- Area of Fill
- Finished Surface Contours
- Depth of Fill Contours
- Retaining Wall (Height shown in brackets on lower side)
- Proposed Earthworks Pad
- Finished Design Surface Level
- Future Lot Boundary

Not all items in this legend may be relevant to the lot shown on this plan.

NOTES

This plan has been prepared from preliminary survey plan (SP348241) & engineering plans provided on the 24/04/2024 by Northrop Consulting Engineers.

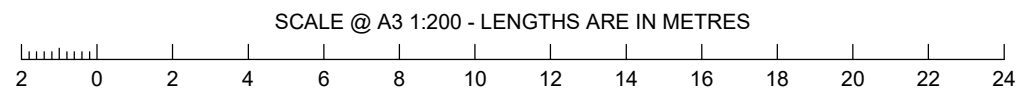
Development approval for Reconfiguration of a Lot was granted for this Lot by Moreton Bay City Council on 18/05/2023. (Application No: DA/2022/5083). For updates to the development approval visit www.moretonbay.qld.gov.au

Operational works approval for this lot was granted by Moreton Bay City Council on 03/10/2023. (Application No. DA/2023/3540)

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic only. For detailed design information refer to the relevant earthworks design drawings from Northrop Consulting Engineers.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



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Disclosure Plan for Proposed Lot 298 on SP348241

Described as part of Lot 11 on SP139120 & Lot 12 on SP139120
Existing Title Reference: 50368014 & 50368015

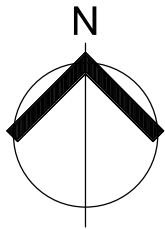
Locality of Morayfield (Moreton Bay City Council)

Level Datum: AHD der.
Origin of Levels: PM189165
RL of Origin: 31.771m
Contour Interval: 0.50m

Scale @A3 1: 200
Dwg No. 9601 S 17 DP A_298

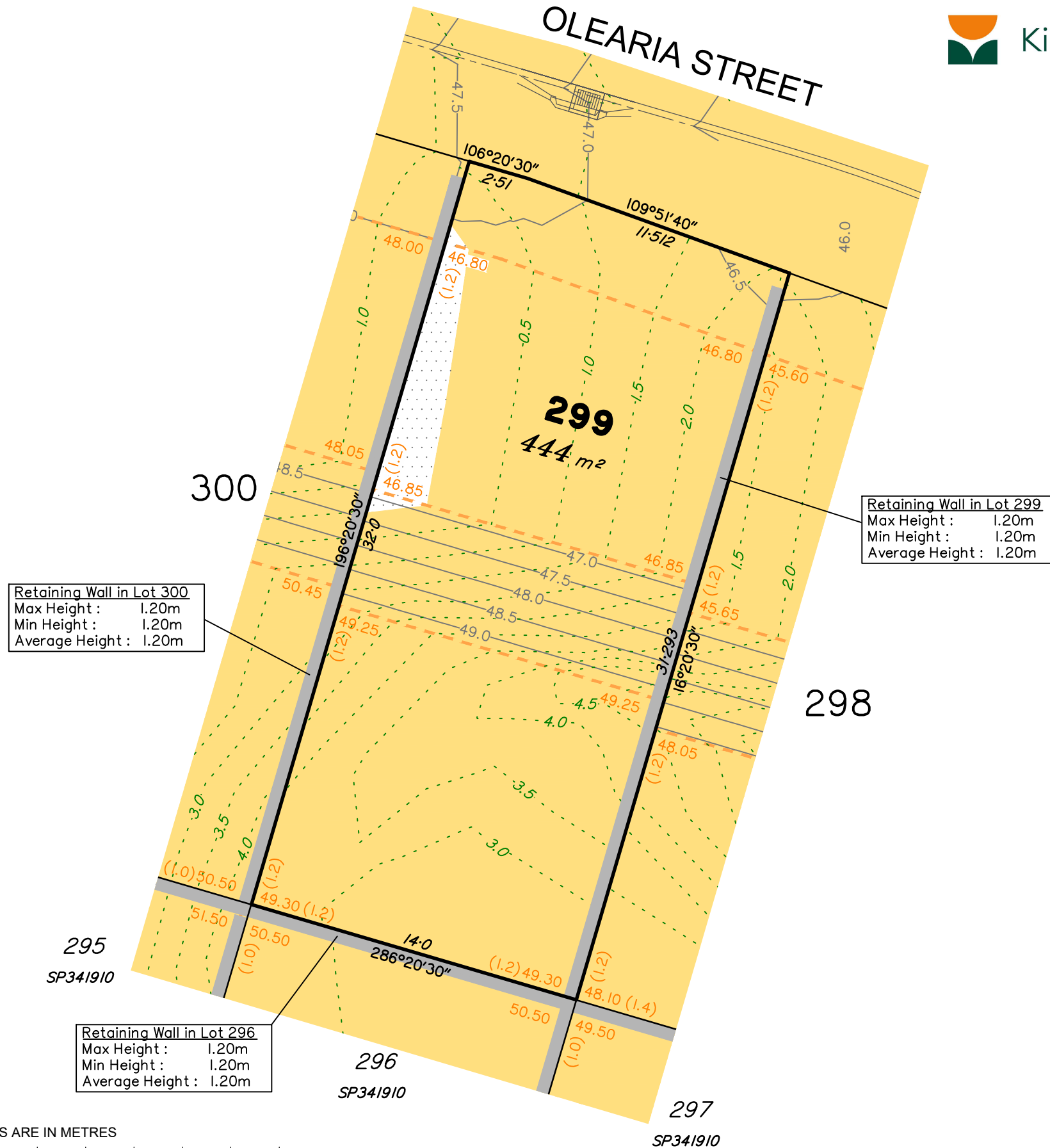


No.	by	Date	Chkd	Description
A	MS	13/05/24	PS	Original Issue



Kinma Valley

STAGE 11



LEGEND

- Area of Cut
- Area of Fill
- Finished Surface Contours
- Depth of Fill Contours
- Retaining Wall
(Height shown in brackets on lower side)
- Proposed Earthworks Pad
- Finished Design Surface Level
- Future Lot Boundary

Not all items in this legend may be relevant to the lot shown on this plan.

NOTES

This plan has been prepared from preliminary survey plan (SP348241) & engineering plans provided on the 24/04/2024 by Northrop Consulting Engineers.

Development approval for Reconfiguration of a Lot was granted for this Lot by Moreton Bay City Council on 18/05/2023. (Application No: DA/2022/5083). For updates to the development approval visit www.moretonbay.qld.gov.au

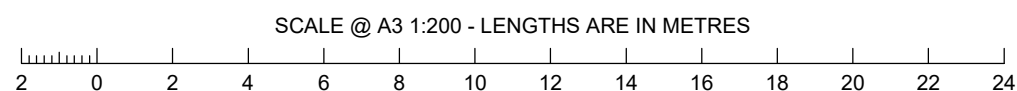
Operational works approval for this lot was granted by Moreton Bay City Council on 03/10/2023. (Application No. DA/2023/3540)

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Issues	No.	by	Date	Chkd	Description
	A	MS	13/05/24	PS	Original Issue



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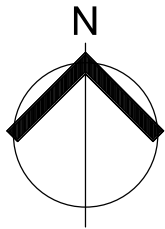
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Disclosure Plan for Proposed Lot 299 on SP348241

Described as part of Lot 11 on SP139120 & Lot 12 on SP139120
Existing Title Reference: 50368014 & 50368015

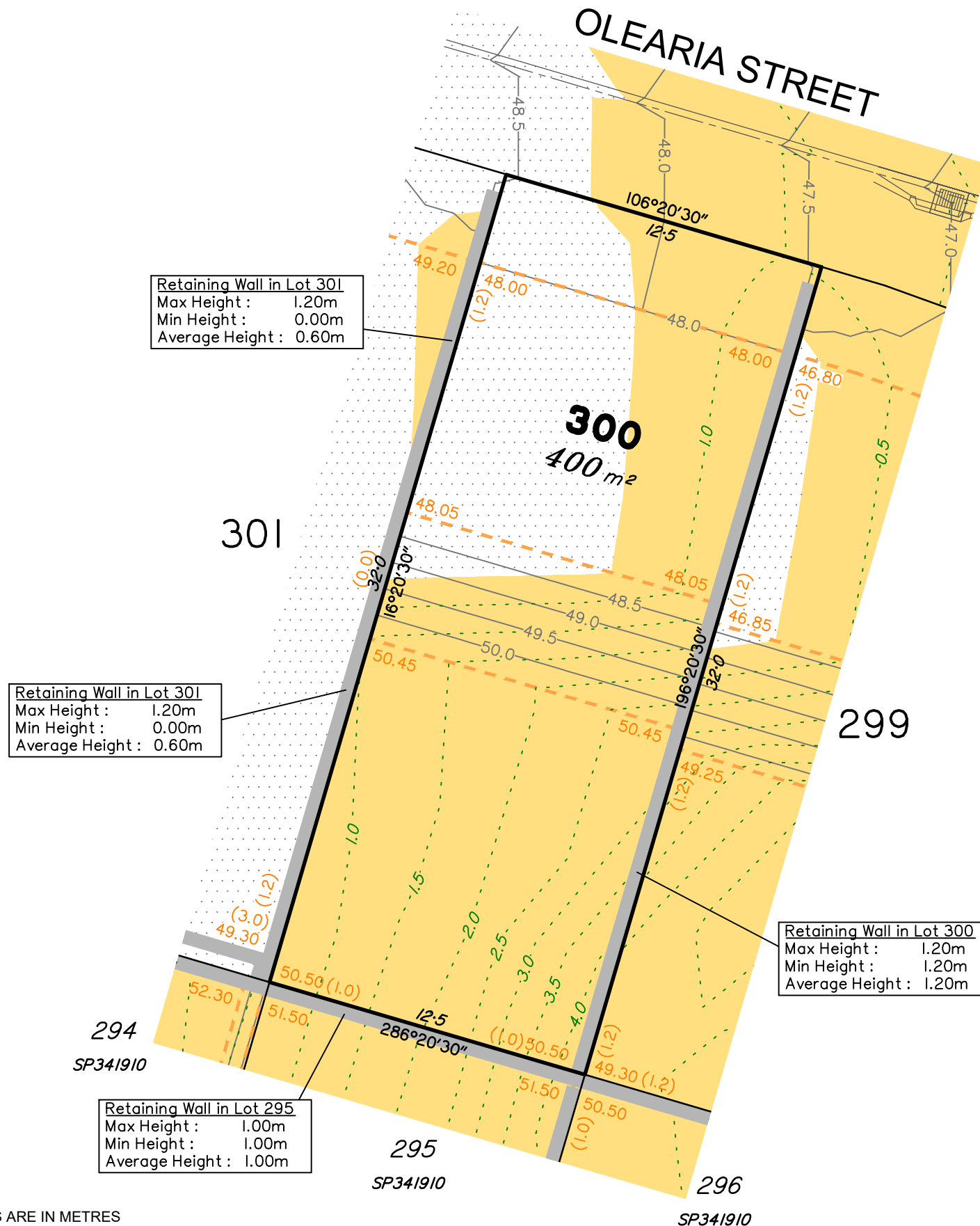
Locality of Morayfield (Moreton Bay City Council)

Level Datum: AHD der.
Origin of Levels: PM189165
RL of Origin: 31.771m
Contour Interval: 0.50m
Scale @A3 1: 200
Dwg No. 9601 S 17 DP A_299



Kinma Valley

STAGE 11



LEGEND

- Area of Cut
- Area of Fill
- Finished Surface Contours
- Depth of Fill Contours
- Retaining Wall
(Height shown in brackets on lower side)
- Proposed Earthworks Pad
- Finished Design Surface Level
- Future Lot Boundary

Not all items in this legend may be relevant to the lot shown on this plan.

NOTES

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Issues	No.	by	Date	Chkd	Description
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SCALE @ A3 1:200 - LENGTHS ARE IN METRES

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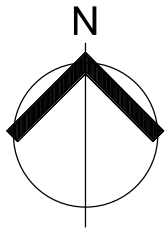
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Disclosure Plan for Proposed Lot 300 on SP348241

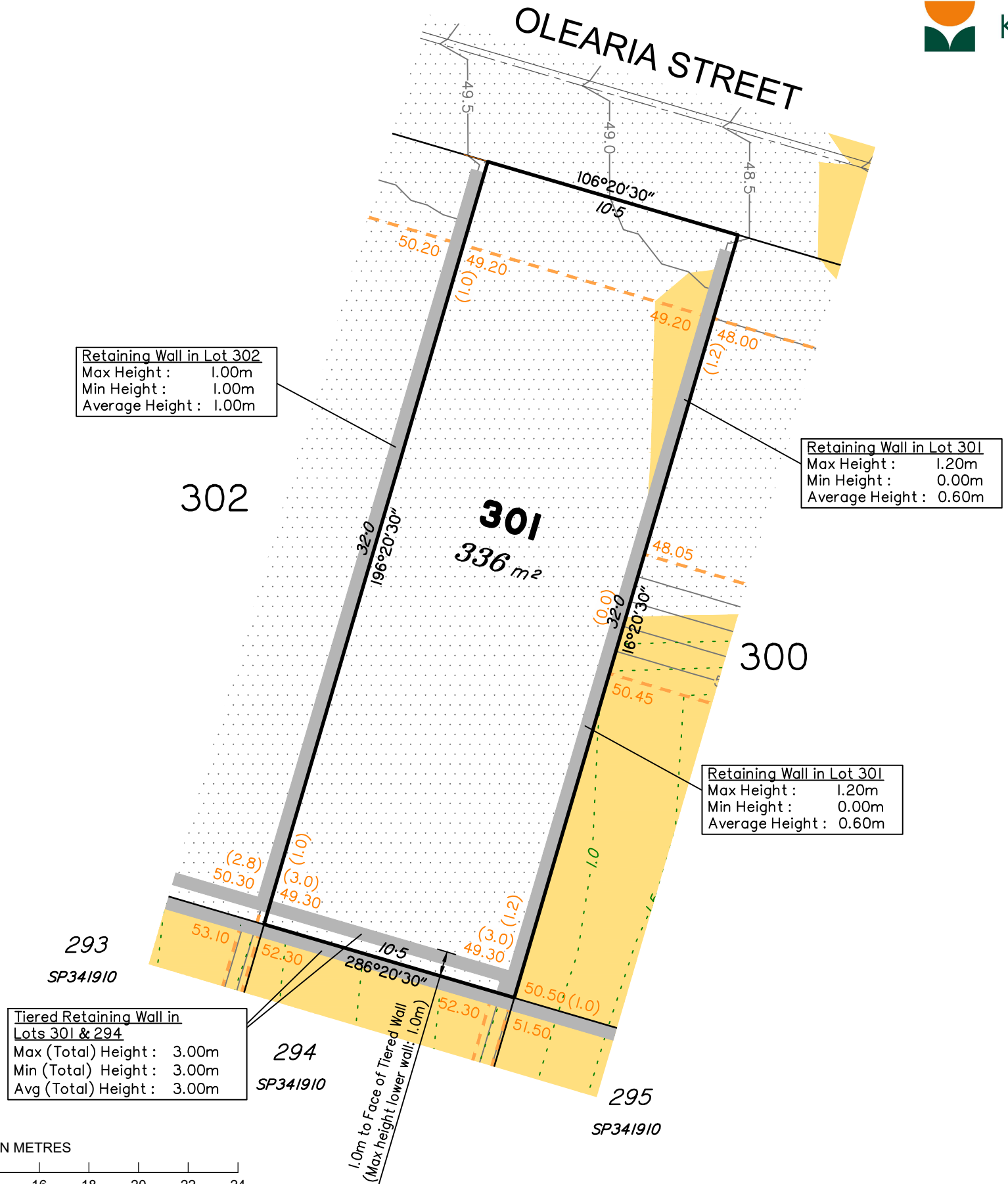
Described as part of Lot 11 on SP139120 & Lot 12 on SP139120
Existing Title Reference: 50368014 & 50368015

Locality of Morayfield (Moreton Bay City Council)

Level Datum: AHD der.
Origin of Levels: PM189165
RL of Origin: 31.771m
Contour Interval: 0.50m
Scale @A3 1: 200
Dwg No. 9601 S 17 DP A_300



STAGE 11



LEGEND

- Area of Cut
- Area of Fill
- Finished Surface Contours
- Depth of Fill Contours
- Retaining Wall (Height shown in brackets on lower side)
- Proposed Earthworks Pad
- Finished Design Surface Level
- Future Lot Boundary

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NOTES

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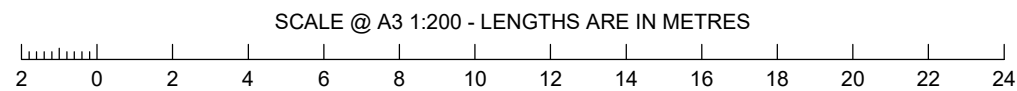
Operational works approval for this lot was granted by Moreton Bay City Council on 03/10/2023. (Application No. DA/2023/3540)

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

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Parts of Lot 301 are subject to areas of fill less than 0.5m in depth



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Disclosure Plan for Proposed Lot 301 on SP348241

Described as part of Lot 11 on SP139120 & Lot 12 on SP139120
Existing Title Reference: 50368014 & 50368015

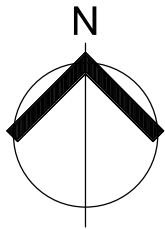
Locality of Morayfield (Moreton Bay City Council)

Level Datum: AHD der.
Origin of Levels: PM189165
RL of Origin: 31.771m
Contour Interval: 0.50m

Scale @A3 1: 200
Dwg No. 9601 S 17 DP A_301

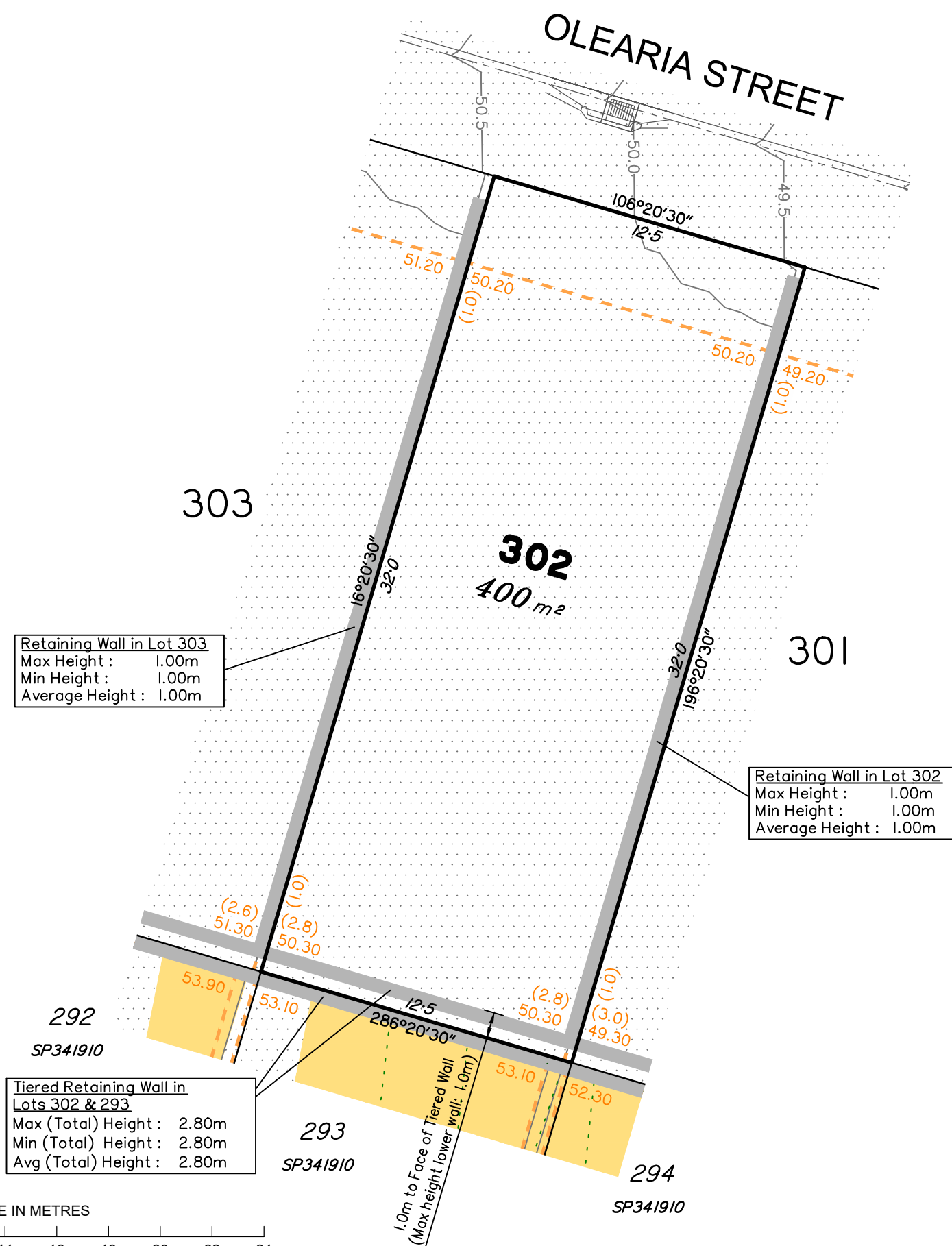


No.	by	Date	Chkd	Description
A	MS	13/05/24	PS	Original Issue



Kinma Valley

STAGE 11



LEGEND

- Area of Cut
- Area of Fill
- Finished Surface Contours
- Depth of Fill Contours
- Retaining Wall (Height shown in brackets on lower side)
- Proposed Earthworks Pad
- Finished Design Surface Level
- Future Lot Boundary

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NOTES

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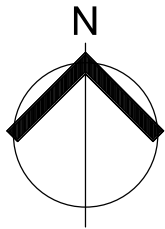
Development approval for Reconfiguration of a Lot was granted for this Lot by Moreton Bay City Council on 18/05/2023. (Application No: DA/2022/5083). For updates to the development approval visit www.moretonbay.qld.gov.au

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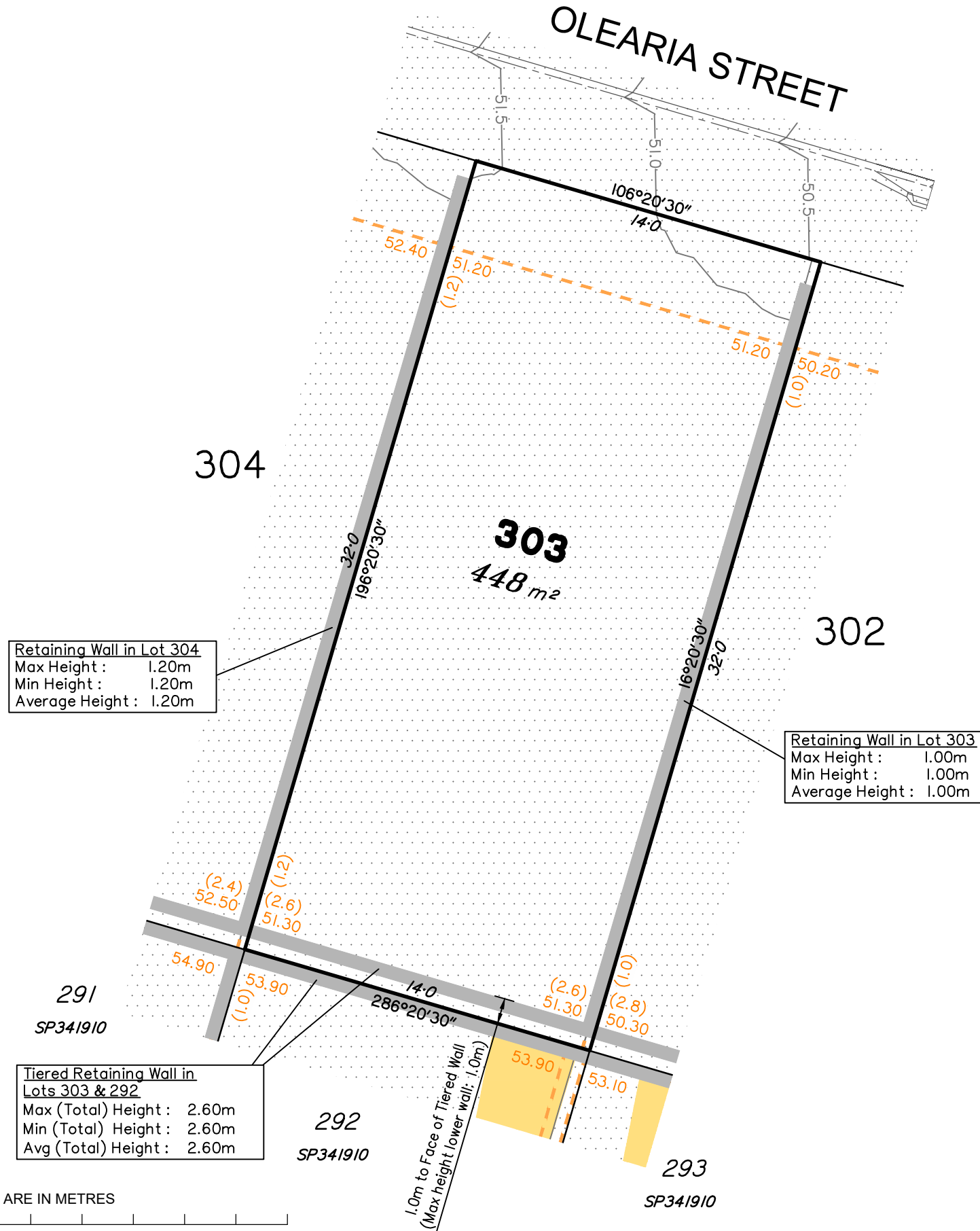
Retaining wall locations and thickness are diagrammatic only. For detailed design information refer to the relevant earthworks design drawings from Northrop Consulting Engineers.

No.	by	Date	Chkd	Description
A	MS	13/05/24	PS	Original Issue



Kinma Valley

STAGE 11



LEGEND

- Area of Cut
- Area of Fill
- Finished Surface Contours
- Depth of Fill Contours
- Retaining Wall (Height shown in brackets on lower side)
- Proposed Earthworks Pad
- Finished Design Surface Level
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No.	by	Date	Chkd	Description
A	MS	13/05/24	PS	Original Issue

SCALE @ A3 1:200 - LENGTHS ARE IN METRES

2 0 2 4 6 8 10 12 14 16 18 20 22 24

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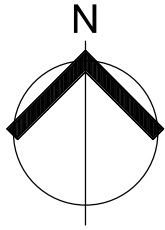
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Disclosure Plan for Proposed Lot 303 on SP348241

Described as part of Lot 11 on SP139120 & Lot 12 on SP139120
Existing Title Reference: 50368014 & 50368015

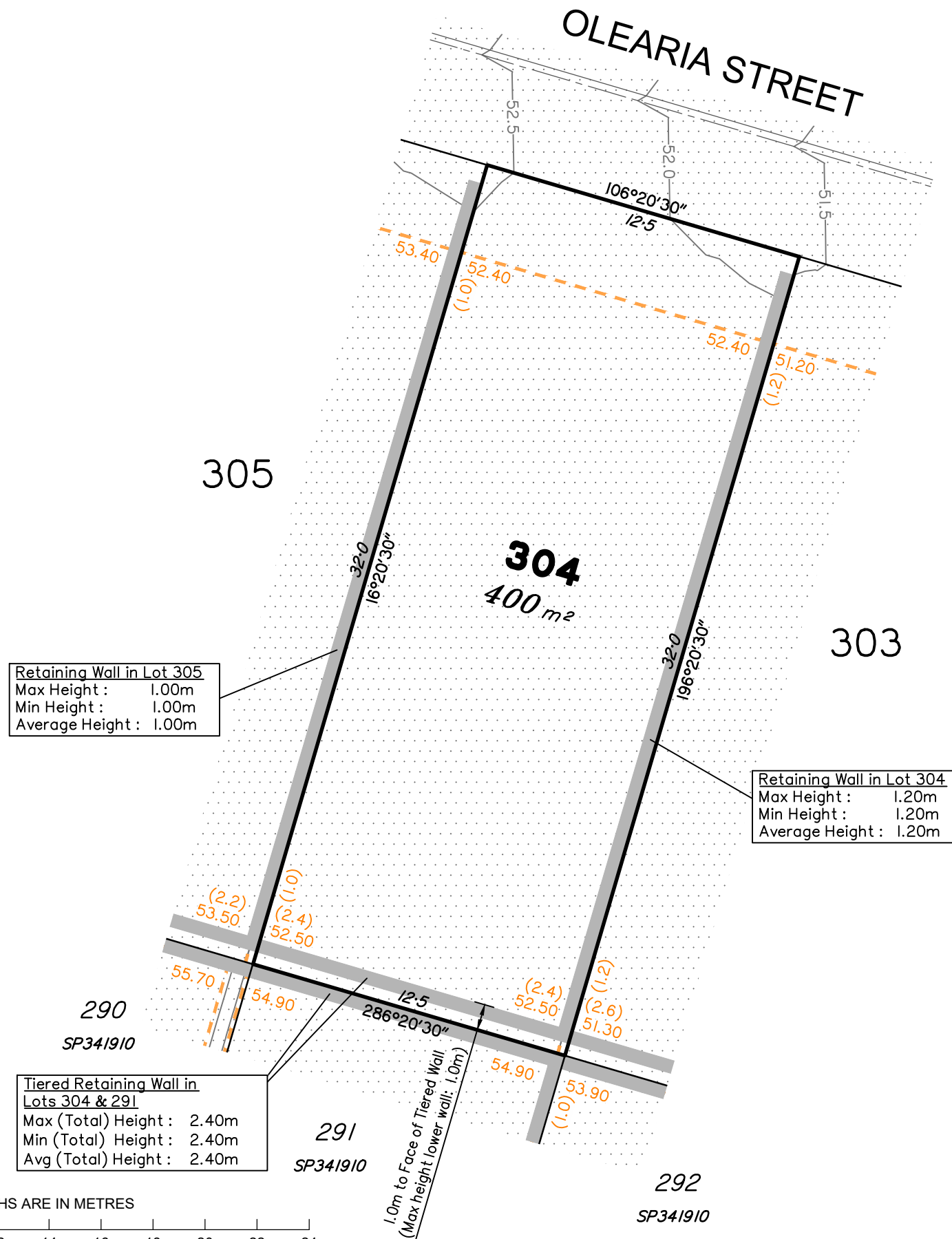
Locality of Morayfield (Moreton Bay City Council)

Level Datum: AHD der.
Origin of Levels: PM189165
RL of Origin: 31.771m
Contour Interval: 0.50m
Scale @A3 1: 200
Dwg No. 9601 S 17 DP A_303



Kinma Valley

STAGE 11



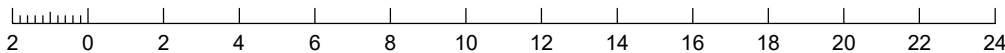
Retaining Wall in Lot 305
Max Height : 1.00m
Min Height : 1.00m
Average Height : 1.00m

Retaining Wall in Lot 304
Max Height : 1.20m
Min Height : 1.20m
Average Height : 1.20m

Tiered Retaining Wall in
Lots 304 & 291
Max (Total) Height : 2.40m
Min (Total) Height : 2.40m
Avg (Total) Height : 2.40m

1.0m to Face of Tiered Wall
(Max height lower wall: 1.0m)

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



LEGEND

- Area of Cut
- Area of Fill
- Finished Surface Contours
- Depth of Fill Contours
- Retaining Wall
(Height shown in brackets on lower side)
- Proposed Earthworks Pad
- Finished Design Surface Level
- Future Lot Boundary

Not all items in this legend may be relevant to the lot shown on this plan.

NOTES

This plan has been prepared from preliminary survey plan (SP348241) & engineering plans provided on the 24/04/2024 by Northrop Consulting Engineers.

Development approval for Reconfiguration of a Lot was granted for this Lot by Moreton Bay City Council on 18/05/2023. (Application No: DA/2022/5083). For updates to the development approval visit www.moretonbay.qld.gov.au

Operational works approval for this lot was granted by Moreton Bay City Council on 03/10/2023. (Application No. DA/2023/3540)

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Issues	No.	by	Date	Chkd	Description
	A	MS	13/05/24	PS	Original Issue



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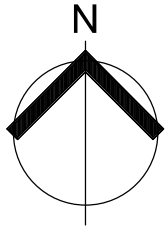
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Disclosure Plan for Proposed Lot 304 on SP348241

Described as part of Lot 11 on SP139120 & Lot 12 on SP139120
Existing Title Reference: 50368014 & 50368015

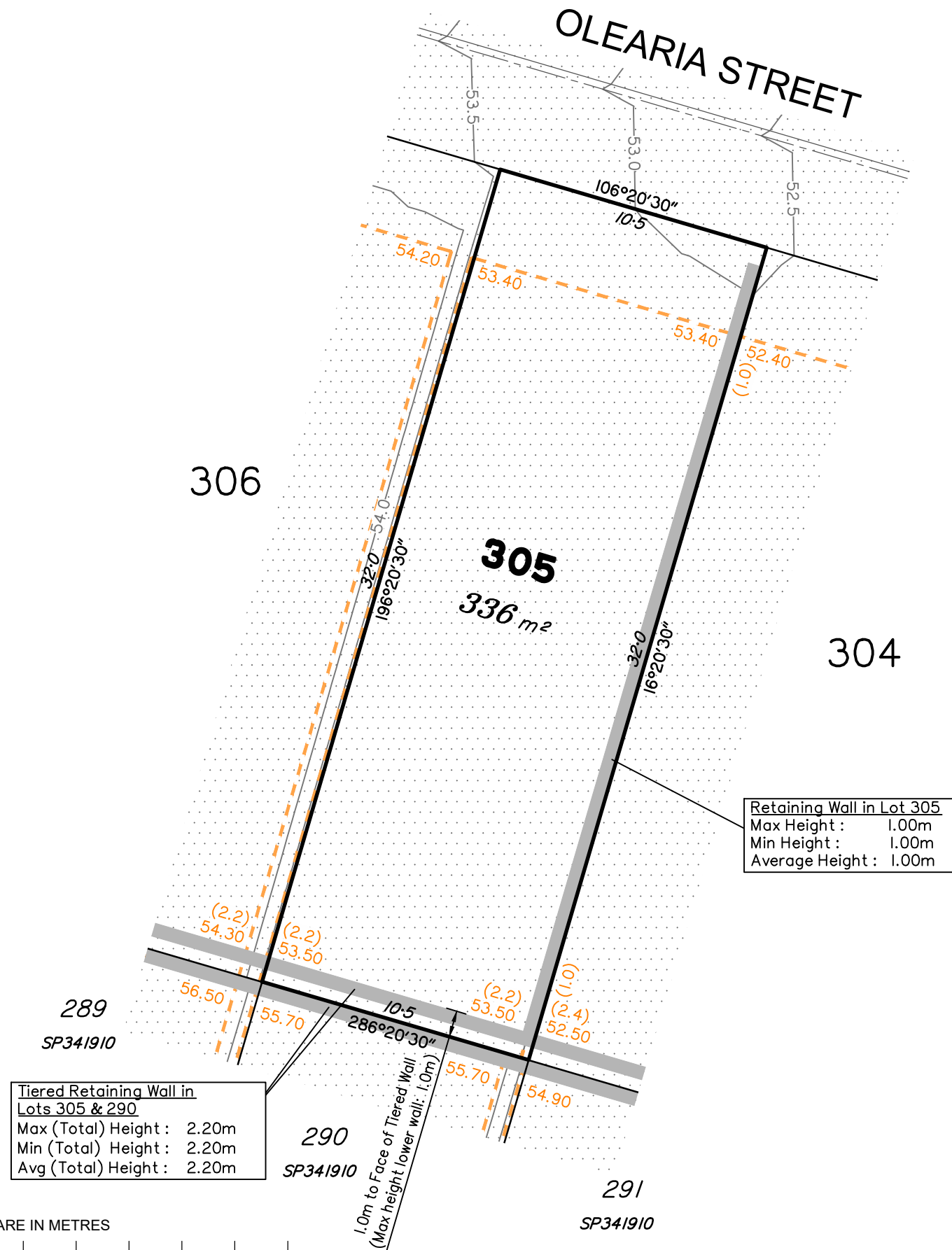
Locality of Morayfield (Moreton Bay City Council)

Level Datum: AHD der.
Origin of Levels: PM189165
RL of Origin: 31.771m
Contour Interval: 0.50m
Scale @A3 1: 200
Dwg No. 9601 S 17 DP A_304



Kinma Valley

STAGE 11



LEGEND

- Area of Cut
- Area of Fill
- Finished Surface Contours
- Depth of Fill Contours
- Retaining Wall (Height shown in brackets on lower side)
- Proposed Earthworks Pad
- Finished Design Surface Level
- Future Lot Boundary

Not all items in this legend may be relevant to the lot shown on this plan.

NOTES

This plan has been prepared from preliminary survey plan (SP348241) & engineering plans provided on the 24/04/2024 by Northrop Consulting Engineers.

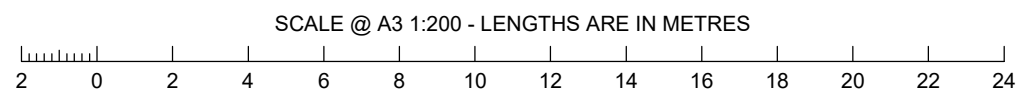
Development approval for Reconfiguration of a Lot was granted for this Lot by Moreton Bay City Council on 18/05/2023. (Application No: DA/2022/5083). For updates to the development approval visit www.moretonbay.qld.gov.au

Operational works approval for this lot was granted by Moreton Bay City Council on 03/10/2023. (Application No. DA/2023/3540)

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No.	by	Date	Chkd	Description
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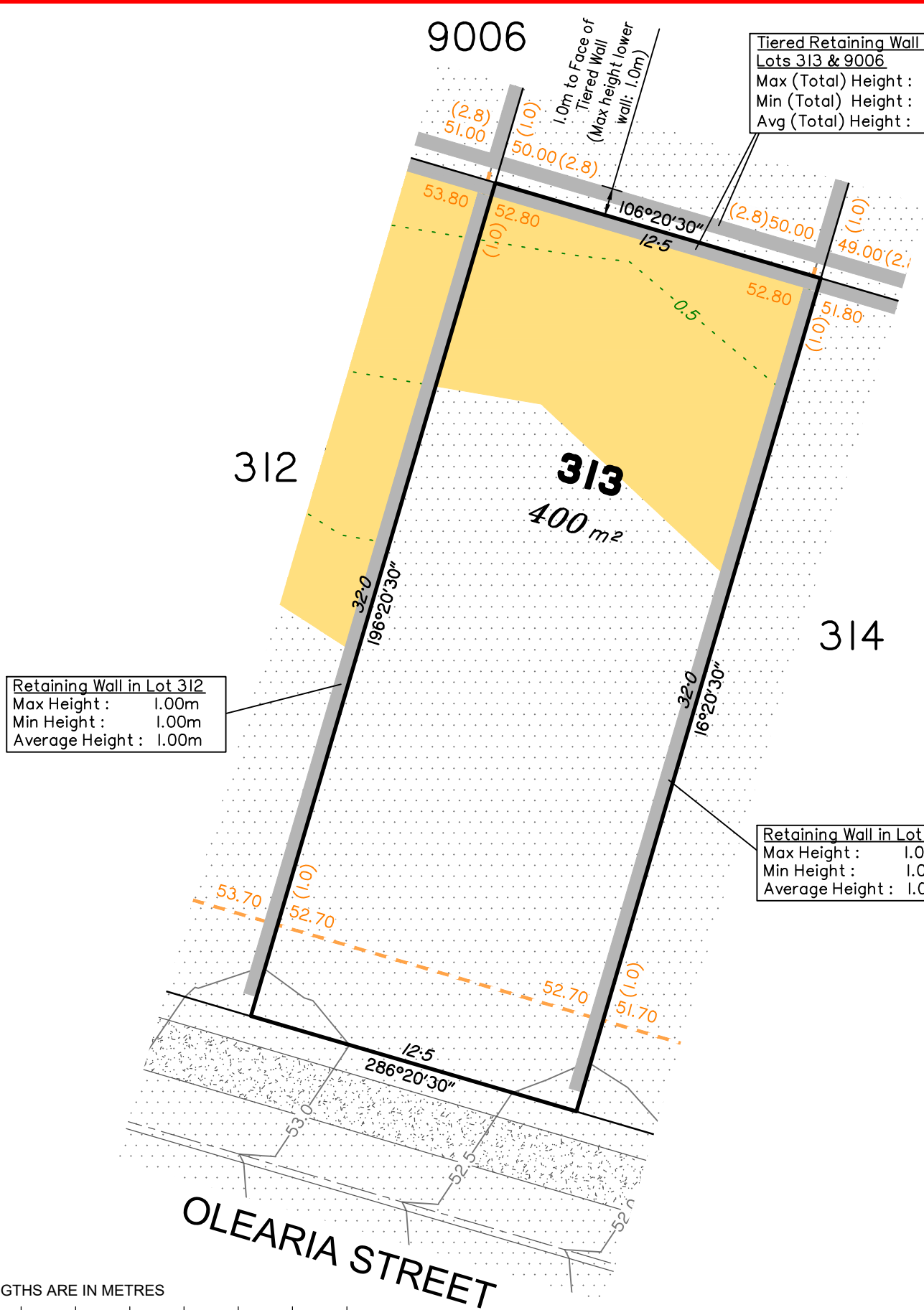
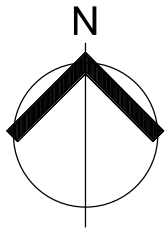
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Disclosure Plan for Proposed Lot 305 on SP348241

Described as part of Lot 11 on SP139120 & Lot 12 on SP139120
Existing Title Reference: 50368014 & 50368015

Locality of Morayfield (Moreton Bay City Council)

Level Datum: AHD der.
Origin of Levels: PM189165
RL of Origin: 31.771m
Contour Interval: 0.50m
Scale @A3 1: 200
Dwg No. 9601 S 17 DP A_305



Kinma Valley

STAGE 11

LEGEND

	Area of Cut
	Area of Fill
	Finished Surface Contours
	Depth of Fill Contours
	Retaining Wall (Height shown in brackets on lower side)
	Proposed Earthworks Pad
	Finished Design Surface Level
	Future Lot Boundary

Not all items in this legend may be relevant to the lot shown on this plan.

NOTES

This plan has been prepared from preliminary survey plan (SP348241) & engineering plans provided on the 24/04/2024 by Northrop Consulting Engineers.

Development approval for Reconfiguration of a Lot was granted for this Lot by Moreton Bay City Council on 18/05/2023. (Application No: DA/2022/5083). For updates to the development approval visit www.moretonbay.qld.gov.au

Operational works approval for this lot was granted by Moreton Bay City Council on 03/10/2023. (Application No. DA/2023/3540)

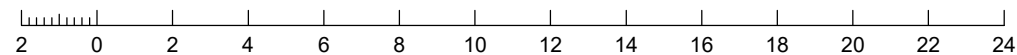
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic only. For detailed design information refer to the relevant earthworks design drawings from Northrop Consulting Engineers.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

No.	by	Date	Chkd	Description
A	MS	13/05/24	PS	Original Issue

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



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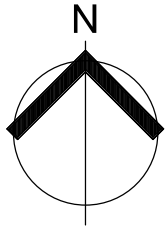
Disclosure Plan for Proposed Lot 313 on SP348241

Described as part of Lot 11 on SP139120

Existing Title Reference: 50368014

Locality of Morayfield (Moreton Bay City Council)

Level Datum: AHD der.
Origin of Levels: PM189165
RL of Origin: 31.771m
Contour Interval: 0.50m
Scale @A3 1: 200
Dwg No. 9601 S 17 DP A_313



Retaining Wall in Lot 313
Max Height : 1.00m
Min Height : 1.00m
Average Height : 1.00m

Tiered Retaining Wall in
Lots 314 & 9006
Max (Total) Height : 2.80m
Min (Total) Height : 2.80m
Avg (Total) Height : 2.80m

Retaining Wall in Lot 314
Max Height : 1.00m
Min Height : 1.00m
Average Height : 1.00m



Kinma Valley

STAGE 11

LEGEND

- Area of Cut
- Area of Fill
- Finished Surface Contours
- Depth of Fill Contours
- Retaining Wall
(Height shown in brackets on lower side)
- Proposed Earthworks Pad
- 43.25 Finished Design Surface Level
- Future Lot Boundary

Not all items in this legend may be relevant to the lot shown on this plan.

NOTES

This plan has been prepared from preliminary survey plan (SP348241) & engineering plans provided on the 24/04/2024 by Northrop Consulting Engineers.

Development approval for Reconfiguration of a Lot was granted for this Lot by Moreton Bay City Council on 18/05/2023. (Application No: DA/2022/5083). For updates to the development approval visit www.moretonbay.qld.gov.au

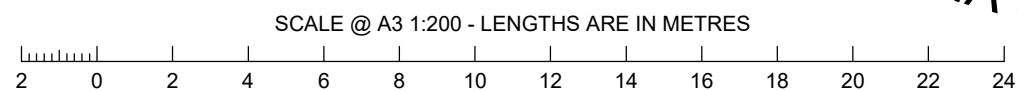
Operational works approval for this lot was granted by Moreton Bay City Council on 03/10/2023. (Application No. DA/2023/3540)

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Issues	No.	by	Date	Chkd	Description
	A	MS	13/05/24	PS	Original Issue



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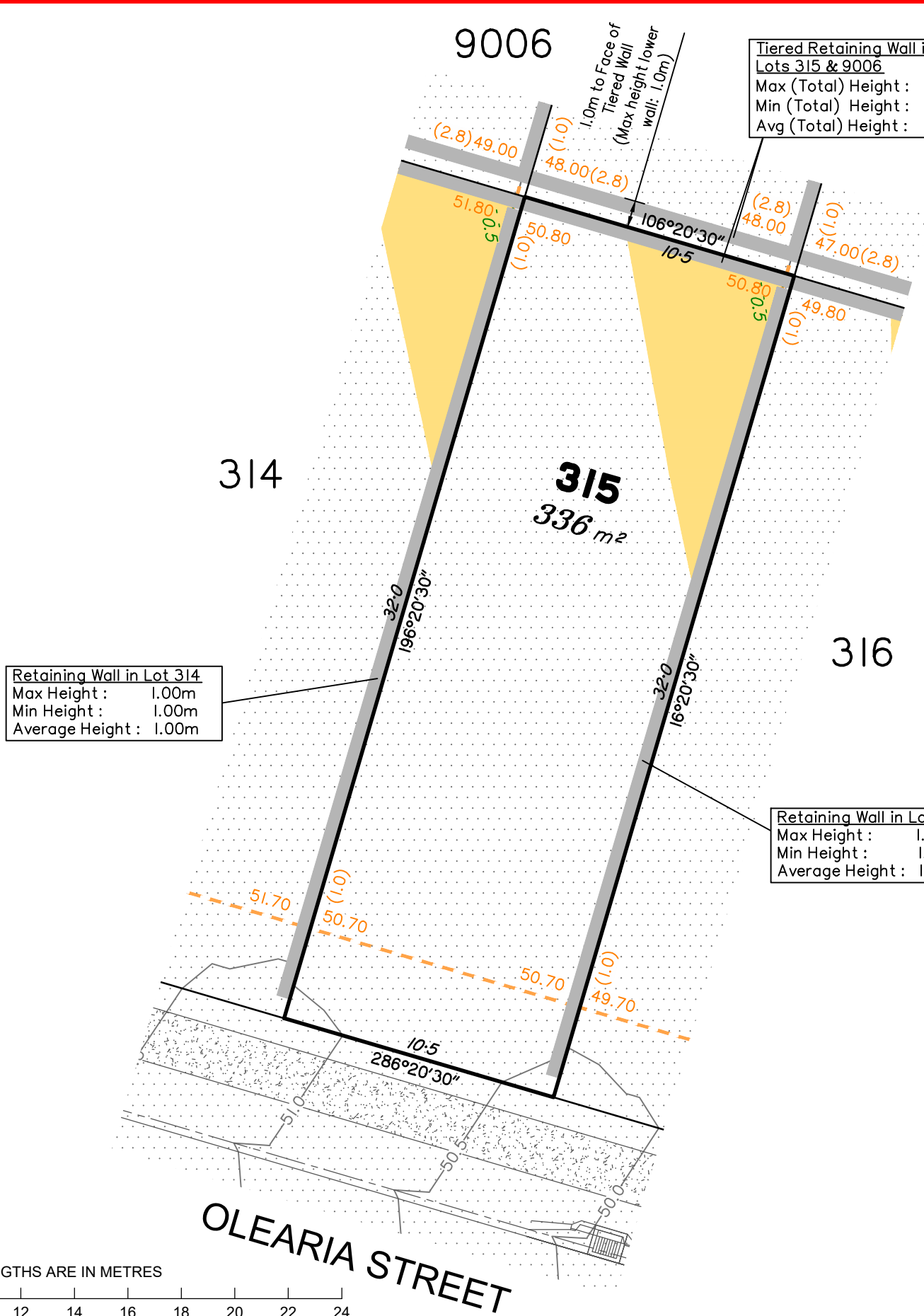
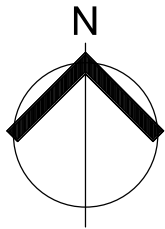
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Disclosure Plan for Proposed Lot 314 on SP348241

Described as part of Lot 11 on SP139120
Existing Title Reference: 50368014

Locality of Morayfield (Moreton Bay City Council)

Level Datum: AHD der.
Origin of Levels: PM189165
RL of Origin: 31.771m
Contour Interval: 0.50m
Scale @A3 1: 200
Dwg No. 9601 S 17 DP A_314



STAGE 11

- LEGEND**
- Area of Cut
 - Area of Fill
 - Finished Surface Contours
 - Depth of Fill Contours
 - Retaining Wall (Height shown in brackets on lower side)
 - Proposed Earthworks Pad
 - Finished Design Surface Level
 - Future Lot Boundary

Not all items in this legend may be relevant to the lot shown on this plan.

NOTES

This plan has been prepared from preliminary survey plan (SP348241) & engineering plans provided on the 24/04/2024 by Northrop Consulting Engineers.

Development approval for Reconfiguration of a Lot was granted for this Lot by Moreton Bay City Council on 18/05/2023. (Application No: DA/2022/5083). For updates to the development approval visit www.moretonbay.qld.gov.au

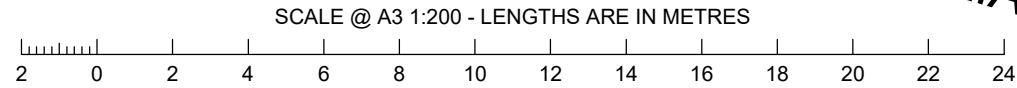
Operational works approval for this lot was granted by Moreton Bay City Council on 03/10/2023. (Application No. DA/2023/3540)

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic only. For detailed design information refer to the relevant earthworks design drawings from Northrop Consulting Engineers.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

Issues	No.	by	Date	Chkd	Description
	A	MS	13/05/24	PS	Original Issue



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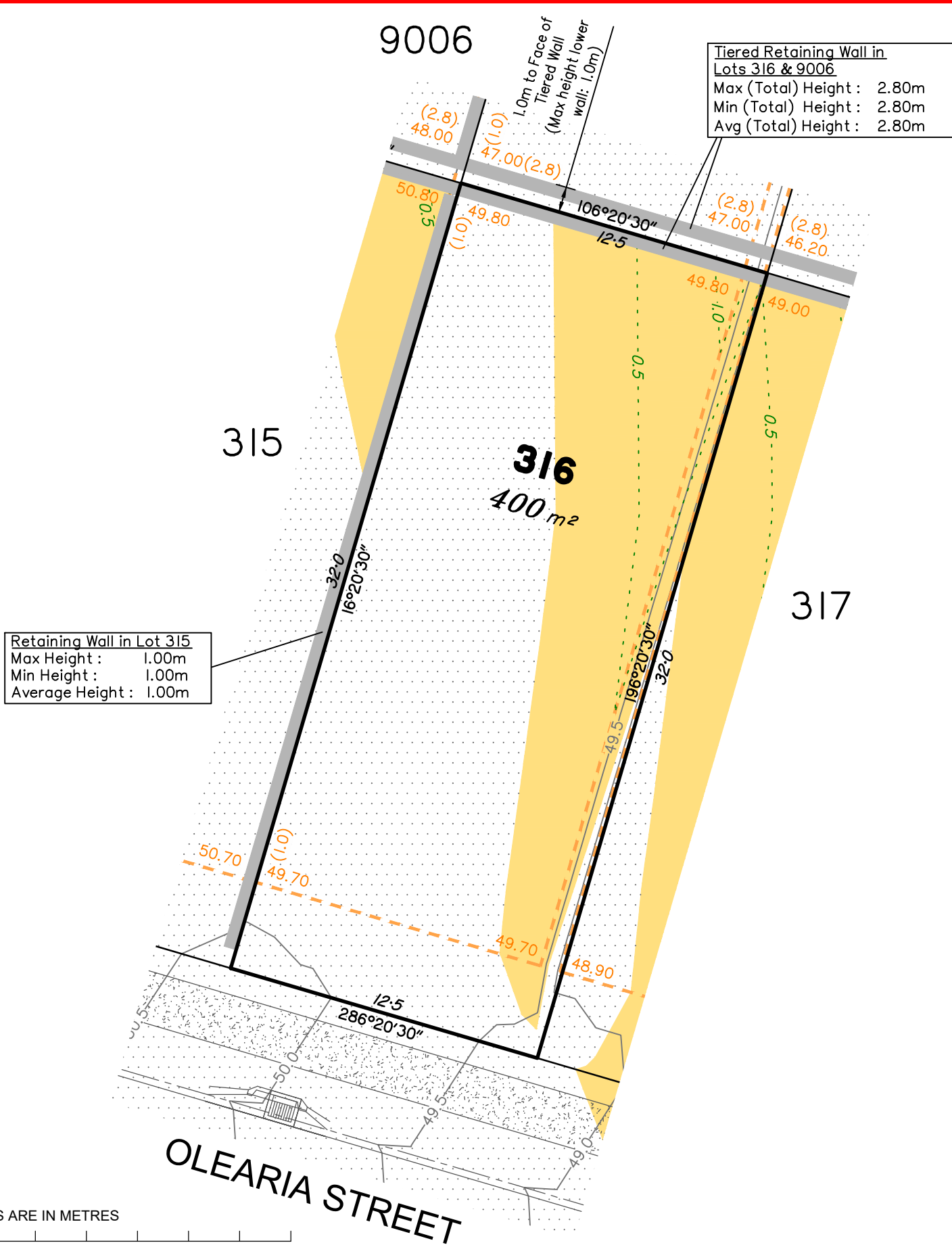
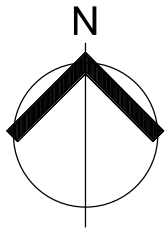
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Disclosure Plan for Proposed Lot 315 on SP348241

Described as part of Lot 11 on SP139120
Existing Title Reference: 50368014

Locality of Morayfield (Moreton Bay City Council)

Level Datum: AHD der.
Origin of Levels: PM189165
RL of Origin: 31.771m
Contour Interval: 0.50m
Scale @A3 1: 200
Dwg No. 9601 S 17 DP A_315



Kinma Valley

STAGE 11

LEGEND

	Area of Cut
	Area of Fill
	Finished Surface Contours
	Depth of Fill Contours
	Retaining Wall (Height shown in brackets on lower side)
	Proposed Earthworks Pad
	Finished Design Surface Level
	Future Lot Boundary

Not all items in this legend may be relevant to the lot shown on this plan.

NOTES

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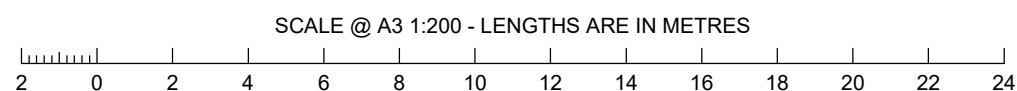
Operational works approval for this lot was granted by Moreton Bay City Council on 03/10/2023. (Application No. DA/2023/3540)

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Issues	No.	by	Date	Chkd	Description
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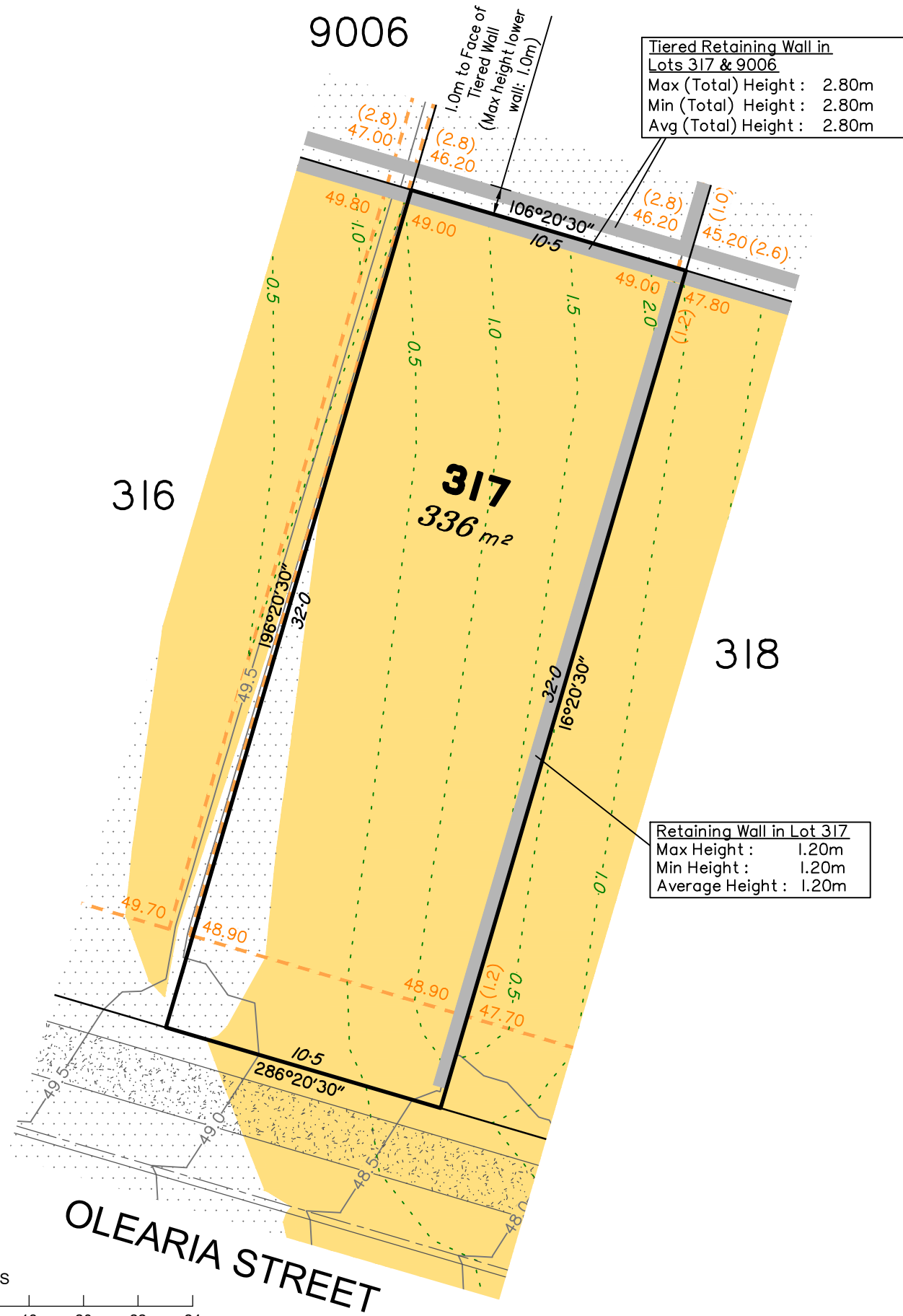
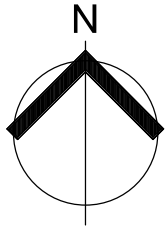
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Disclosure Plan for Proposed Lot 316 on SP348241

Described as part of Lot 11 on SP139120
Existing Title Reference: 50368014

Locality of Morayfield (Moreton Bay City Council)

Level Datum: AHD der.
Origin of Levels: PM189165
RL of Origin: 31.771m
Contour Interval: 0.50m
Scale @A3 1: 200
Dwg No. 9601 S 17 DP A_316



Kinma Valley

STAGE 11

LEGEND

- Area of Cut
- Area of Fill
- Finished Surface Contours
- Depth of Fill Contours
- Retaining Wall (Height shown in brackets on lower side)
- Proposed Earthworks Pad
- Finished Design Surface Level
- Future Lot Boundary

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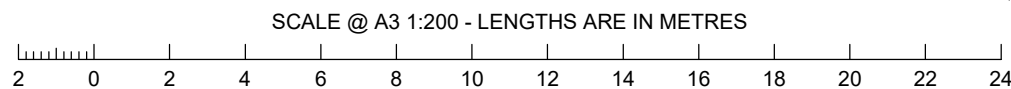
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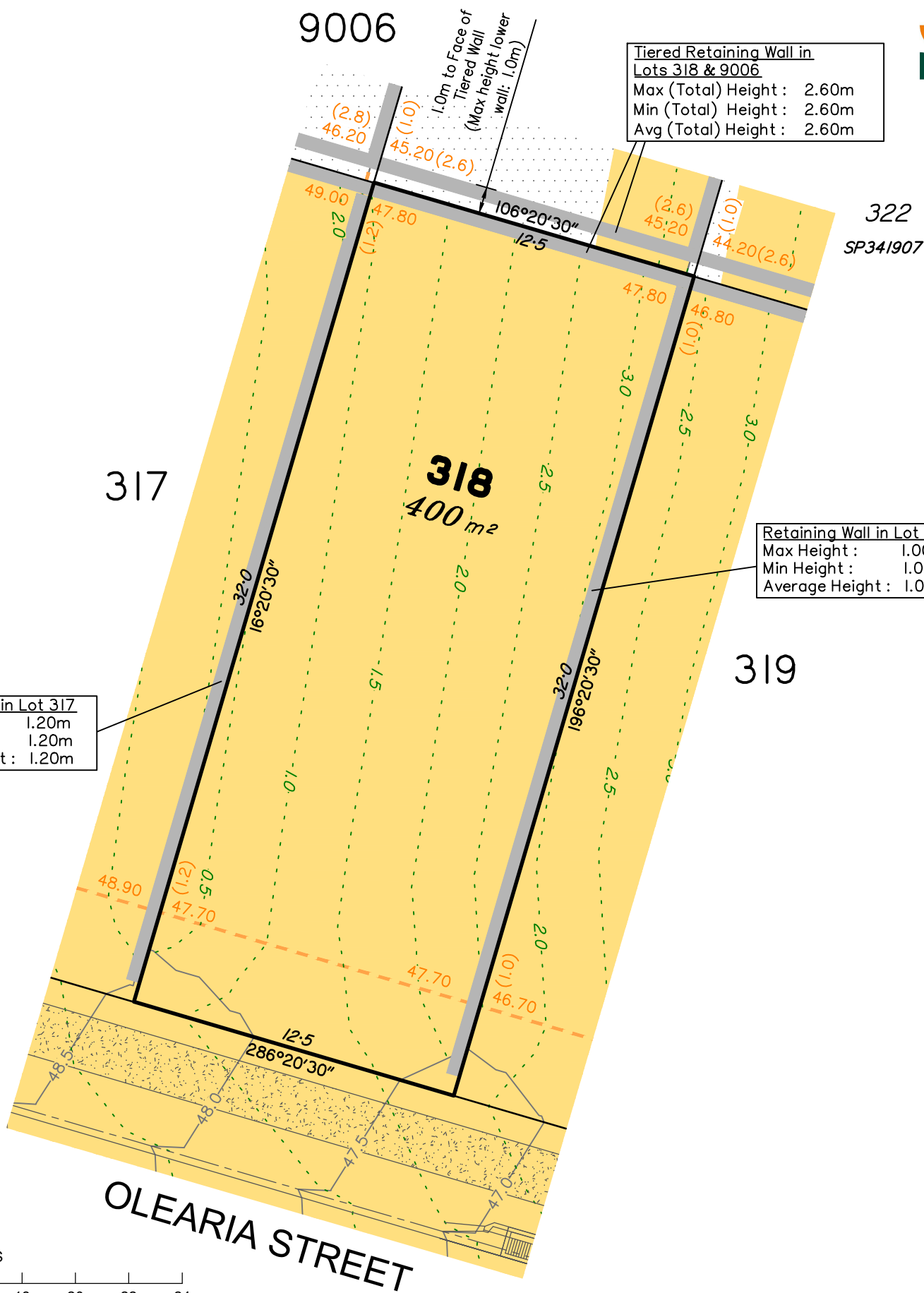
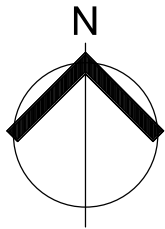
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Disclosure Plan for Proposed Lot 317 on SP348241

Described as part of Lot 11 on SP139120
Existing Title Reference: 50368014

Locality of Morayfield (Moreton Bay City Council)

Level Datum: AHD der.
Origin of Levels: PM189165
RL of Origin: 31.771m
Contour Interval: 0.50m
Scale @A3 1: 200
Dwg No. 9601 S 17 DP A_317



Kinma Valley

STAGE 11

LEGEND

- Area of Cut
- Area of Fill
- Finished Surface Contours
- Depth of Fill Contours
- Retaining Wall (Height shown in brackets on lower side)
- Proposed Earthworks Pad
- Finished Design Surface Level
- Future Lot Boundary

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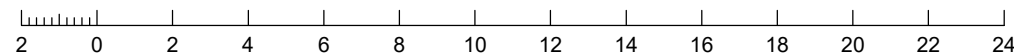
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No.	by	Date	Chkd	Description
A	MS	13/05/24	PS	Original Issue

lendlease

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



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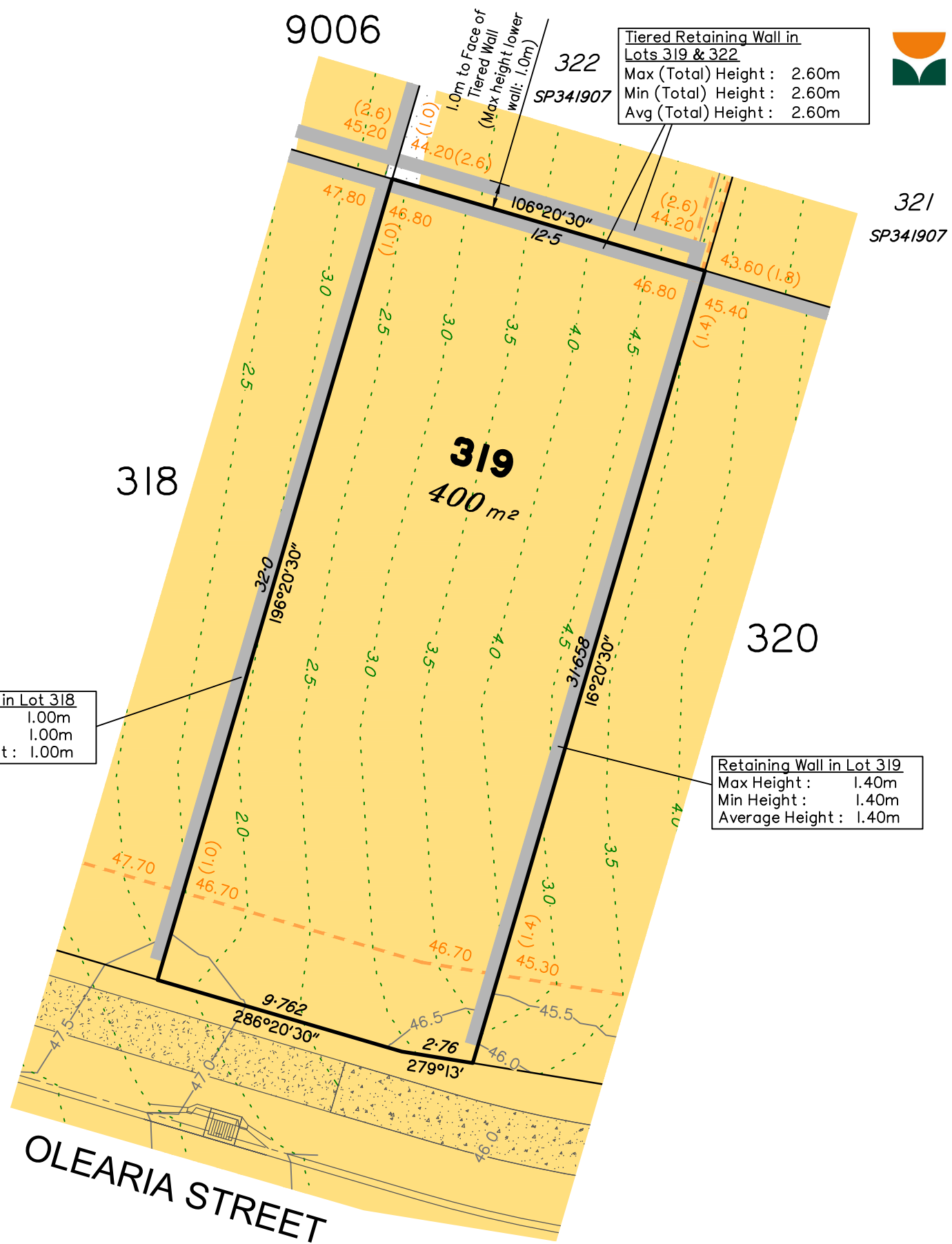
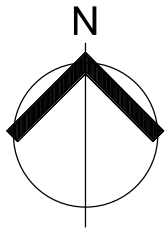
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Disclosure Plan for Proposed Lot 318 on SP348241

Described as part of Lot 11 on SP139120
Existing Title Reference: 50368014

Locality of Morayfield (Moreton Bay City Council)

Level Datum: AHD der.
Origin of Levels: PM189165
RL of Origin: 31.771m
Contour Interval: 0.50m
Scale @A3 1: 200
Dwg No. 9601 S 17 DP A_318



Kinma Valley

STAGE 11

LEGEND

- Area of Cut
- Area of Fill
- Finished Surface Contours
- Depth of Fill Contours
- Retaining Wall (Height shown in brackets on lower side)
- Proposed Earthworks Pad
- Finished Design Surface Level
- Future Lot Boundary

Not all items in this legend may be relevant to the lot shown on this plan.

NOTES

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Development approval for Reconfiguration of a Lot was granted for this Lot by Moreton Bay City Council on 18/05/2023. (Application No: DA/2022/5083). For updates to the development approval visit www.moretonbay.qld.gov.au

Operational works approval for this lot was granted by Moreton Bay City Council on 03/10/2023. (Application No. DA/2023/3540)

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No.	by	Date	Chkd	Description
A	MS	13/05/24	PS	Original Issue

SCALE @ A3 1:200 - LENGTHS ARE IN METRES

2 0 2 4 6 8 10 12 14 16 18 20 22 24

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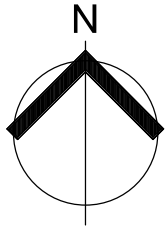
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Disclosure Plan for Proposed Lot 319 on SP348241

Described as part of Lot 11 on SP139120
Existing Title Reference: 50368014

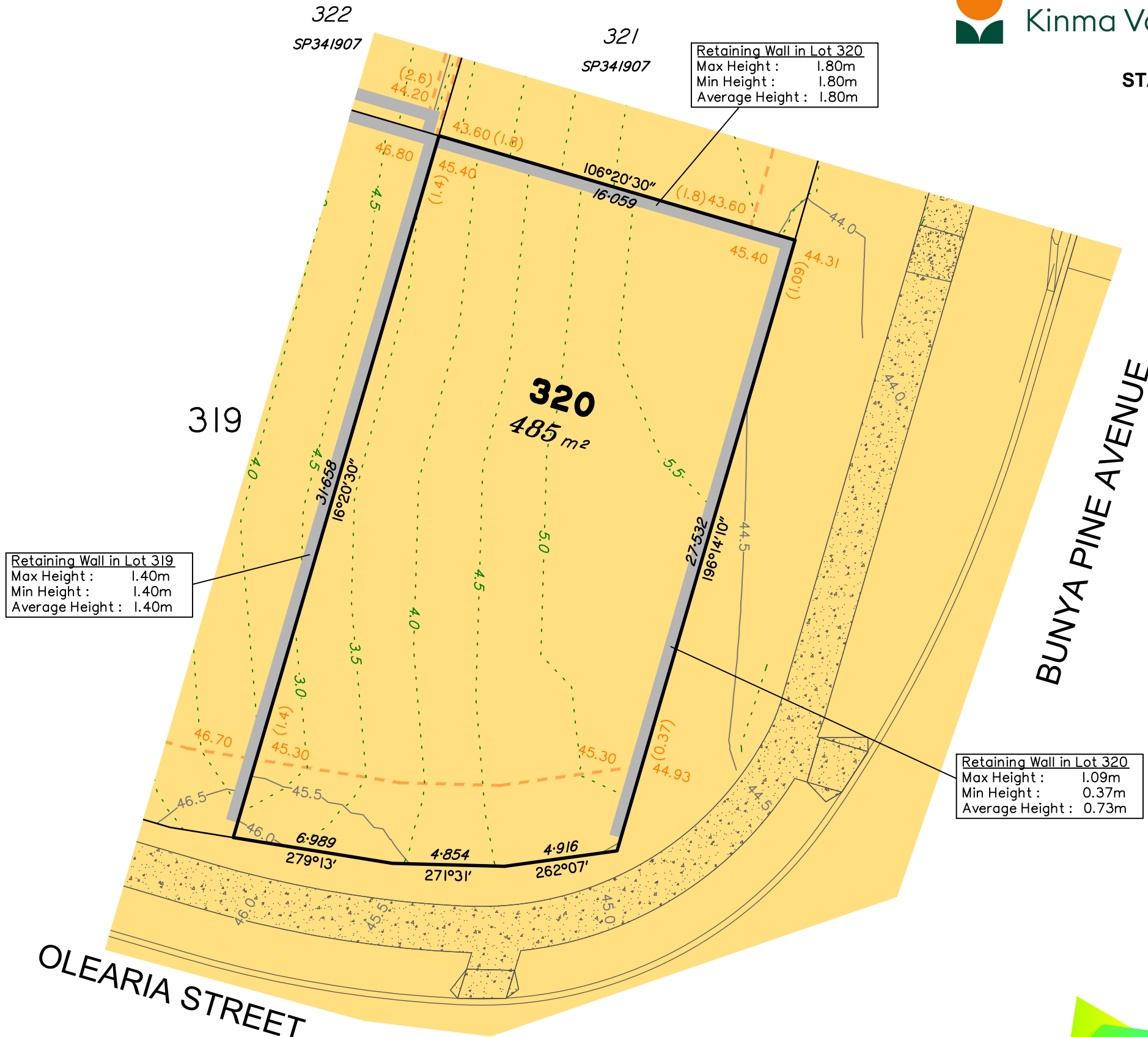
Locality of Morayfield (Moreton Bay City Council)

Level Datum: AHD der.
Origin of Levels: PM189165
RL of Origin: 31.771m
Contour Interval: 0.50m
Scale @A3 1: 200
Dwg No. 9601 S 17 DP A_319



Kinma Valley

STAGE 11



LEGEND

- Area of Cut
- Area of Fill
- Finished Surface Contours
- Depth of Fill Contours
- Retaining Wall (Height shown in brackets on lower side)
- Proposed Earthworks Pad
- Finished Design Surface Level
- Future Lot Boundary

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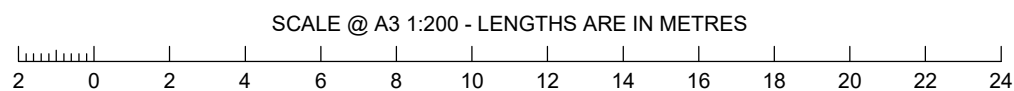
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Issues	No.	by	Date	Chkd	Description
	A	MS	13/05/24	PS	Original Issue



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Disclosure Plan for Proposed Lot 320 on SP348241

Described as part of Lot 11 on SP139120
Existing Title Reference: 50368014

Locality of Morayfield (Moreton Bay City Council)

Level Datum: AHD der.
Origin of Levels: PM189165
RL of Origin: 31.771m
Contour Interval: 0.50m
Scale @A3 1: 200
Dwg No. 9601 S 17 DP A_320