



Design Standards

Stage 4 - September 2024

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The Sage Vision
Space to Live Naturally

Embrace a balanced life.

Sage is a new masterplanned community in the heart of the Moreton Bay Region. Live amongst natural greenspaces in a serene enclave full of tree-lined streets. An inspirational new address, crafted for those who desire balance in their everyday lives.

Sage is nestled within the existing neighbourhood of Burpengary which has a strong natural landscape character. Housing will be contemporary, reflecting current design trends, and be environmentally savvy whilst respecting earlier housing traditions of the area and the bush setting.

These Design Standards will help you to create a home that is a part of the Sage vision and give you an opportunity to visualise your future neighbourhood. These Design Standards will guide you through palette and design options, streetscape presentation and sustainability strategies which will reduce the impact of your home and lifestyle on the local environment.

These Design Standards will create a cohesive style of housing and in doing so helps to protect your investment in Sage.



Design Standards and Approval Process

Overview

To help protect the future lifestyle and investment appeal to all residents of the Sage community, Design Standards have been developed to promote:

- the Sage estate being developed with a high standard of lifestyle in mind;
- the intention of Cedar Woods to create a residential estate comprising quality housing and landscaped surrounds;
- the significant investment in the Sage estate made by Cedar Woods (as it has an interest in maintaining the value and desirability of lots within the Sage estate);
- unsold lots in the Sage estate (the value of which depends, in part, on the Sage estate continuing to be and being regarded as a quality residential community);
- the value of other lots in the Sage estate already sold to other owners (as it depends, in part, on the Sage estate continuing to be and being regarded as a quality residential community); and
- the interest of all owners of land within the Sage estate that Cedar Woods exercises supervision and control to regulate the design and construction standard of dwellings, other improvements and landscaping within the Sage estate and other matters generally.

The design of each house is a key component of achieving a harmonious and cohesive community. To achieve a successful streetscape, dwellings must include façade treatments and use of materials that contribute and enhance the contemporary setting of the development, as well as allowing individual expression.

Additionally, front yard landscaping will integrate with the main entrance of the dwelling, the garage, adjoining properties, and landscape character of the area. This allows all dwellings to be visually linked creating a unified streetscape.

The Design Standards along with government mandated building requirements must be followed. While the proposed design will need to be approved by Cedar Woods acting reasonably first, subsequent building approvals will be required from an accredited building certifier, plumbing and drainage approvals will be required from Moreton Bay Regional Council and if any planning approvals are required, this will need to be approved by Council.

The Design Standards form part of every purchasers contract of sale. This document mandates the design and approval requirements for homes in the Sage, Burpengary community. A copy should be provided to your Builder and/or architect to assist in the design and approval of your new home. The Design Standards can also be found at our website, sageburpengary.com.au

Process

Step 1. Choose your lot: consider size, orientation, and grading.

Step 2. Design your home: choose your builder. Consider house design, façade, materials, indoor and outdoor living areas.

Step 3. Compile the documentation required for the Design Approval Application and submit the completed application for approval.

Applications need to have the following:

- Design Approval Application Form;
- Proposed house plans and materials schedule complying with the Design Standards; and
- Landscape Plan complying with the Design Standards.

Step 5. Cedar Woods will review each completed application to ensure your home complies with the Design Standards. Initial and subsequent applications can take up to 10 business days. If your application requires amendments, Cedar Woods will provide written advice detailing the areas requiring clarification.

Applications to Cedar Woods will only be reviewed if all the requirements have been submitted. Approval will not be granted on a part application. If any design changes are made after Cedar Woods' approval has been granted, all documentation must be resubmitted for further approval.

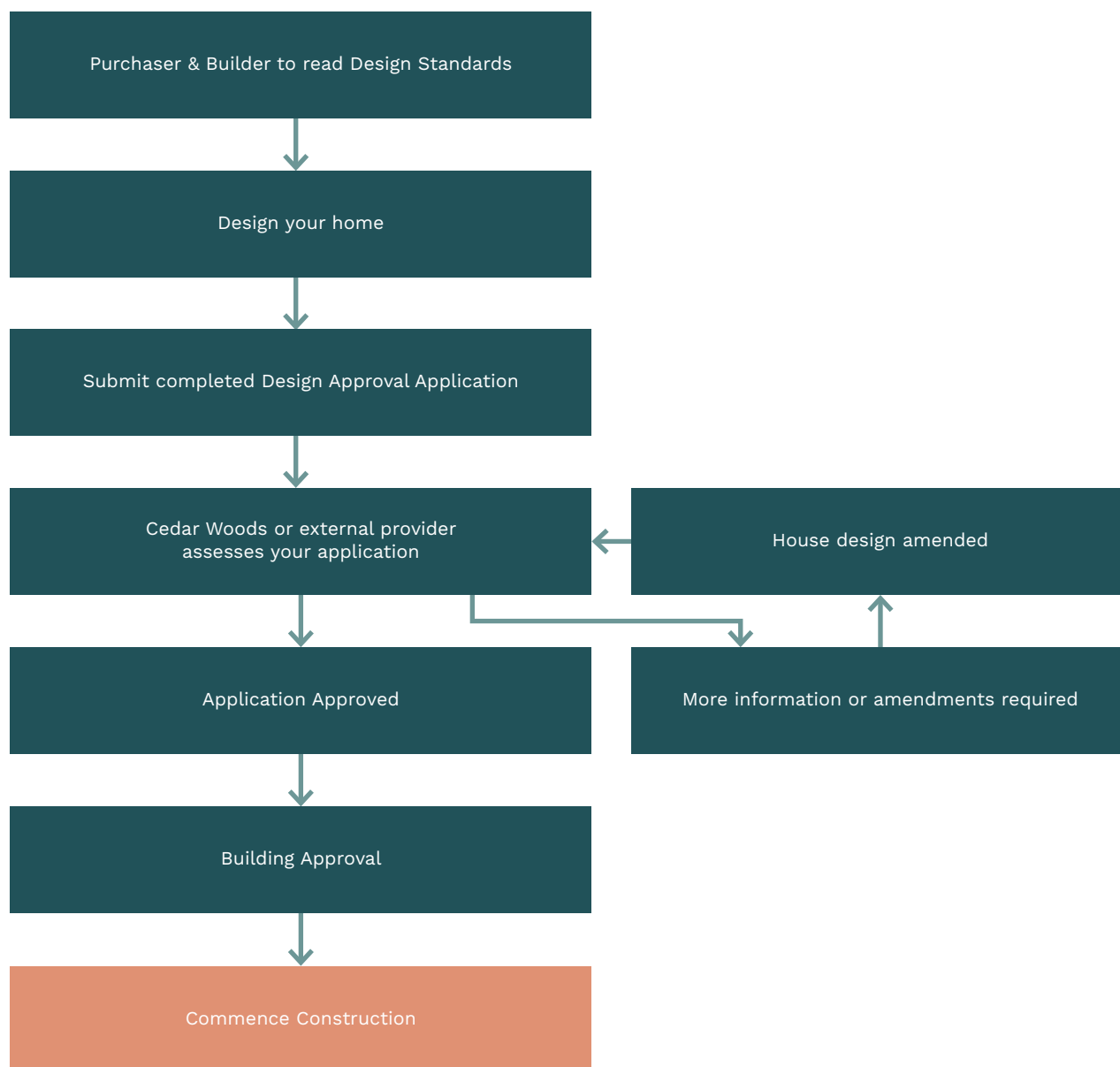
In the instance of a conflict between two or more elements of the Design Standards, Cedar Woods will assess the application on its merits and compliance in general with these standards. Cedar Woods also reserves the right to approve variations or dispensations to the Design Standards if submitted designs are considered to achieve the objectives conveyed by these Design Standards.

The decision to approve or not approve an application is determined by Cedar Woods, acting reasonably, having regard to these Design Standards. Cedar Woods' approval does not constitute a building approval nor replace the need for a building approval. A building approval must be obtained from an accredited building certifier prior to commencement of construction.

It is important to ensure that your home complies with these Design Standards, Council approvals, policies and local laws and other relevant legislation. Cedar Woods cannot vary Council's approvals, policies or local laws, and any designs approved by Cedar Woods do not override these. Examples of relevant Council or legislative requirements may include those pertaining to fences, lot drainage, bushfire protection, privacy and overlooking.

Design Approval Process

The approval of house plans by Cedar Woods is required prior to submitting the application to the statutory authorities and/or a building certifier for building approval.





Architectural and Landscape Standards

Architectural Style

The style of your home must be designed and articulated to provide interest and reflect a strong, contemporary aesthetic.

The appearance of your home is one of the most influential factors in the style and character of your street. Sage, Burpengary's character and style will be made up of your and your neighbours' individual styles; influenced by the contemporary character that is created when combining natural materials and clean lines.

All the homes in Sage should achieve the following key objectives:

- Use high quality materials and a contemporary design.
- Achieve a restrained and complimentary colour palette.
- Provide a distinctive entry to the home and an aesthetically pleasing façade.
- Provide protection from solar gain in summer, with shaded windows and openings.

The following images are examples of architectural or façade styles that reflect the intended architectural style of homes in the Sage, Burpengary community.



Contemporary design



Restrained and complimentary colour palette



Distinctive entry and aesthetically pleasing



Shaded windows and openings
(solar gain protection)

The street elevations of homes (including secondary elevations on corner allotments) should not include stylistic references such as Federation, Edwardian, Colonial, Victorian, Georgian, Regency, Gothic, Italianate, Filigree, Tuscan, or Queenslander replica. Such characteristics are not considered to be of contemporary Australian architectural character, and therefore are not permitted.

Your home must not contain external period decorative elements. For example, finials, fretwork, wrought iron, ornate timber works, turned posts, decorative wooden lacework, corbelling and quoins as these are not considered appropriate to contemporary Australian architectural character and therefore will not be approved.

Where mouldings are used, they must be of square or rectilinear form and be painted to match the render of the dwelling.

The following images are examples of architectural or façade styles and decorative elements that will not be approved.



Regency Historical



Ornate



Colonial Replica



Queenslander



Federation Historical Reference



Decorative Mouldings



Georgian Historical

Design and Building Materials

FRONT FAÇADE DESIGN

The primary street façade must have sufficient articulation and variety, with inclusion of the following:

- Variation in the elevation with at least one substantial feature element such as a portico, verandah, or feature wall projecting forward of the building line a minimum of 1.5m.
- For two storey homes, the upper storey must extend for at least 50% of the total width and 30% of the total length of the home as viewed from the street or roadway and the upper storey facing the street or roadway must have sufficient glazing proportional to the size of the upper storey as determined by Cedar Woods.
- On lots less than 11m wide, the facade is required to incorporate a significant gable roof element to reduce the prominence of the garage door. The gable is required instead of dutch gable or hip roof elements. Please note the gable does not need to be over the garage.
- On lots greater than 11m wide, at least one habitable room should address the primary street frontage.
- On lots less than 11m wide, at least one habitable room facing the street frontage is required no less than 2m².
- Windows facing the street must make up at least 20% of the front façade excluding the area of the garage door. A lesser percentage may be approved for lots narrower than 11m, subject to design merit.

Façades must not be identical or indistinguishable within three house lots, along both sides of the street. If two applications request the same or similar façades, façade approval will be granted to the first compliant application submitted.

SECONDARY FAÇADE DESIGN

On Secondary Façades (not limited to corner lots) walls may be up to 8m long before a change in setback of at least 450mm is required for a minimum length of 2m. No change to the eave line is required.

Images below are to illustrate acceptable roof designs for lots less than 11m only.



Example of suitable significant gable roof element



Example of suitable significant gable roof element

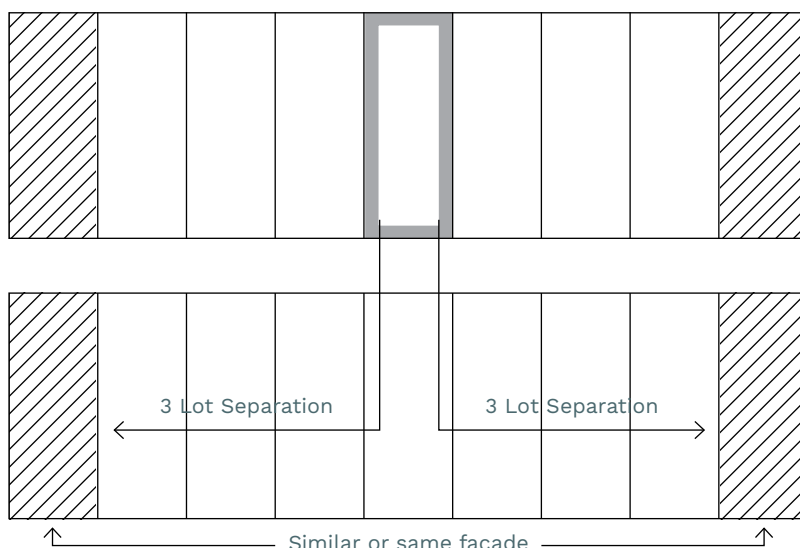


Example of unsuitable Dutch gable

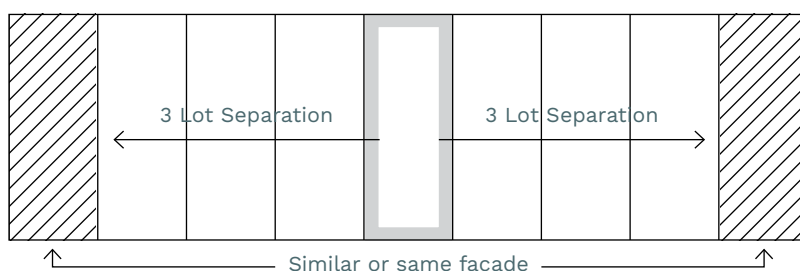


Example of unsuitable hip roof

Both sides of street



Same side of street



ENTRY DESIGN

The front entry must face the primary street frontage. Access on the secondary frontage may be considered, subject to design merit, where the built form and landscape design create an entry sequence leading to the front door.

Each dwelling must have an entrance defined by a portico or porch with a minimum slab depth of 1.5m and minimum area of 4m². Exceptions may be granted for lots with frontages of 11m or less where the building design creates adequate presence through the use of cantilevered elements, other projections of a contemporary nature or use of contrasting materials and/or colours.

A portico can be constructed with either its own roof or can have a parapet defining the structure. Porticos are to be open to the air by one side or more.

A gable roof rather than a hip roof is encouraged to assist with defining the entry to the home. A substantial gable (preferred) or a contemporary roof element (subject to design merit) is required on lots less than 11m wide to reduce the prominence of the garage door. We note the gable/roof element does not have to be over the garage and this does not apply to lots where the garage is off a rear laneway.

The front door shall be designed with a window either within the door or to the side of the door. Translucent windows or glass inserts are permitted in the front door assembly only.



Example of suitable portico



Example of suitable porch



Example of suitable substantial gable element



Example of suitable substantial gable element

ROOF DESIGN

All pitched roofs must be between 22.5 and 35 degrees with a minimum of 25 degrees encouraged for street appeal and to improve thermal performance. The pitch of a skillion roof is to be between 7 and 15 degrees.

Flat pitched and parapet roof designs will be considered, subject to design merit.

Pitched roofs are to have a minimum roof overhang (eaves) of 450mm. Skillion roofs may have a reduced overhang of 200mm.

Flush eaves are only permitted where setback a minimum of 3m from the front building line, or where a built to boundary setback is being utilised. Flushed eaves are not allowed on secondary frontages, except where the change in setback is required. Exceptions may be granted for verandahs, porticos or porches subject to design merit.

A parapet roof design will not be able to have an overhang, however openings are to be shaded by modern window hoods or recesses of at least 300mm.

The overall roof design is to be articulated to create interest. Flat pitched, skillion or curved roofs are to incorporate multiple planes to promote variety and interest within the streetscape.

To achieve a contemporary Australian architectural style, roofing must be of one of the following:

- Matt finish powder coated metal roofing, custom orb profile.
- Colorbond Roof Sheetting.
- Flat roof tiles (preferred) or low profile, contemporary roof tiles.

Trim deck profile will generally not be accepted except where not visible from adjacent properties such as behind a parapet roof in which case visibility from elevated properties will need to be considered.

Dark roof colours are prohibited to help reduce the urban heat island effect. An urban heat island occurs when a populated area experiences much warmer temperatures than nearby rural areas. The difference in temperature between urban and less-developed rural areas has to do with how well the surfaces in each environment absorb and hold heat.

Permitted roof colours include:

- Surfmist
- Classic Cream
- Paperbark
- Evening Haze
- Shale Grey
- Dune



Example of suitable pitched roof



Example of suitable parapet roof



Example of suitable skillion roof



Example of suitable gable feature to pitched roof



Example of suitable modern window hood



Example of suitable modern window hood



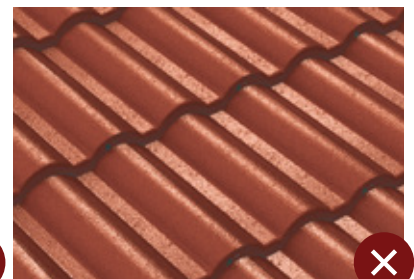
Low profile roof tile



Flat roof tile



Trimdek®



Designer roof tile

MATERIALS

The primary front façade wall material is to be rendered painted masonry (bagged and painted not permitted); or face brick, with limited accompanying use of feature materials. Additional feature materials may include:

- Timber-cladding.
- Feature bricks (non-glossy).
- Feature tiles.
- Stone (non-gloss).
- Feature lightweight cladding.
- Stone or masonry blockwork.

Innovative use of highlight feature materials such as timber and metal (for example copper or zinc) will be considered on merit.

To ensure a varied selection of external materials and diversity within the streetscape, the front façade must comply with the following requirements:

- Incorporate at least 1 and up to 3 feature materials.
- Each feature material is to comprise no more than 40% and no less than 20% cover of the facade, not including the area of the garage door.

The above combination and ratio of materials is to be used as a guide to achieve a contemporary façade. Approval of any material, combination or ratio of materials is at the discretion of Cedar Woods.



Materials and colour finishes used for the front façade must return by a minimum of 1.8m on the side elevations, inclusive of the built to boundary wall.

For 2 storey homes the material and colour finishes used for the front facade must return to the first point of articulation for both levels inclusive of the built to boundary side of the lot.

On all front and secondary facade elevations visible from the street, infill panels above doors, windows and garages must be constructed from the same material as the bulk of the surrounding external building materials with the exception of garage doors. Unpainted cement sheeting panels are not permitted.

Restraint is encouraged when choosing feature materials and colours. Patterned designs, as well as ornate and periodic specific styles are not permitted. Feature garage doors are discouraged.

The following materials or finishes will generally not be accepted on any element or feature on your home, including the side and rear facades unless stated otherwise:

- Exposed or painted steel posts are not permitted where visible from the street unless treated and/or repeated sufficiently to create a pleasing aesthetic.
- Face brickwork that is deemed to be excessively mottled or textured.
- Double height face brickwork unless done as a feature element.
- Unpainted galvanised metal or zincalume or any reflective material.
- Leadlight or stained glass.
- Reflective glass or reflective tinting. Coloured and textured glass is generally not acceptable but may be considered if used discretely.
- Tinted windows are generally not acceptable unless required to achieve energy rating standards.
- Diamond, hexagonal or ornate security grills are not permitted on the front or secondary façade of your home.
- Roller shutters and decorative feature bars or grilles on security doors are not permitted on any window visible from the street.
- Unpainted or uncoated materials such as concrete, finished blockwork or cement sheeting panels.
- Second-hand materials.

If used, lintels over garage doors must keep with the architectural character of the home.

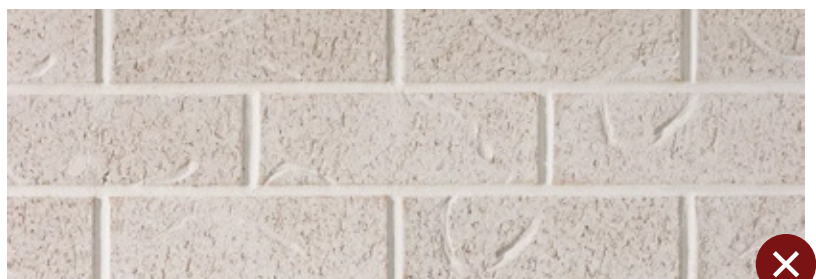
Window frames, screens and grills must match the colour of the door or be of a neutral colour to reduce visual impact.

Window coverings (i.e. curtains, blinds, shutters) must be installed within 4 weeks of occupation of the home. Sheets or other temporary coverings are not permitted at any time.

SECONDARY FACADES

A Secondary Facade is any facade visible from a road reserve (not limited to corner lots), easement, public walkway, footpath, open space or park.

The materials, window treatments, embellishments and colour scheme used on the primary facade must be replicated on the secondary facade and extend for the full length of the dwelling visible from the public area.



Excessively textured brick

Colour Schemes

Your colour scheme selection is intended to enhance the streetscape appearance. Colour schemes must be primarily muted, but limited and controlled feature highlight colours may be approved. Base colour palettes should be contemporary and will be assessed on merit.

Examples of acceptable base colour palettes are shown here.

In order to reduce the heat island effect and to improve the solar performance of the home, roof colours are limited to those that achieve a Solar Absorbance (SA) thermal value of no more than 0.60. Examples of compliant colours from the Colorbond® steel colour range include:

- Whitehaven
- Dover White
- Surfmist
- Southerly
- Shale Grey
- Bluegum
- Windspray
- Classic Cream
- Paperbark
- Evening Haze
- Dune

Green and red tones are not permitted on roofing, gutters, fascia's or garage doors. Specifically, these Colorbond colours are not permitted:

- Cottage Green
- Manor Red
- Pale Eucalypt

A minimum of two and a maximum of three variations of colour (excluding windows, doors, and garage doors) must be incorporated with a distinct and noticeable contrast in colours. Feature, contrast or highlight colours must not dominate the façade of the design. Approval of feature colours will be considered on a design-by-design basis and must contribute to the overall façade and streetscape. Bright and unnatural colour selections will not be approved.



Note: Colour grouping is indicative only. Colours are an indicative representation only and must not be relied upon for accurate colour matching. Colorbond® and Dulux® are registered

Retaining Walls

Retaining walls forward of the building are discouraged and should not be necessary. To reconcile level differences between the home and the street, Cedar Woods encourages gentle battering which, when planted, leads to a softer streetscape than can be achieved through hard retaining.

Where retaining walls are proposed they must comply with the following requirements:

Any retaining walls visible from the street or open space must only be constructed from the following materials:

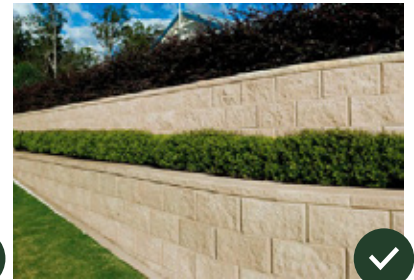
- Rendered masonry.
- Rendered blockwork.
- Small format stone where the same stone is used a feature material in the front façade of the home.
- Pointed stone retaining materials.
- Black or dark textured coloured concrete sleeper walls.

Any retaining walls visible from the street and over 900mm in height must be stepped or terraced with horizontal terraces extending no less than one third the wall height.

The following materials are not acceptable for retaining walls, where visible from the street or public spaces:

- Timber.
- Plain, untextured concrete sleeper walls.
- Large format stone blocks or boulders.
- Unpointed, DIY blockwork.

Retaining walls installed by Cedar Woods cannot be altered as they are most likely constructed to meet local authority and engineering requirements. Homes or structures adjacent to these walls must be appropriately constructed to ensure structural integrity is maintained.



Siting and Setbacks

All homes must be sited in accordance with the Council approved setbacks, the Queensland Development Code and the relevant Site Plan. The Site Plan may nominate built to boundary setbacks and provide other siting requirements such as mandatory driveway locations. Built to boundary setbacks are not permitted on lots over 450m² or if not shown on the Site Plan included in the sales contract.

IMPORTANT: It is the responsibility of the purchaser and your builder to review and comply with the council setbacks or apply for relaxations via a certifier and/or Council's building approvals process and to consider any associated application costs that may be incurred. Please refer to Moreton Bay Regional Council's setback requirements.

The pad height for your home should not significantly alter the finished surface level of your lot and should not result in additional retaining walls being required. The pad height and finished floor level should be considered in relation to the retaining walls installed by Cedar Woods to ensure additional retaining will not be required.



Dual Occupancy

Dual occupancy builds are not permitted.

Dual occupancy means a residential use of premises for 2 households involving:

1. Two dwellings (whether attached or detached) on a single lot; and
2. any domestic outbuilding associated with the dwellings.



Garaging

All home designs with 3 or less bedrooms require a garage with a minimum opening width of 4200mm. All home designs with 4 or more bedrooms require a garage with a minimum opening width of 4800mm. Single car garages and carports will not be permitted.

Garages must not dominate the streetscape with particular attention paid to articulation of the walls and roof, use of quality feature materials and contrast in colours. The garage should be articulated (stepped back) a minimum of 500mm from the Front Building Line, 1m is preferred. Exceptions will be approved on lots less than 11m wide where the design provides sufficient articulation through the use of a prominent gable roof element.

Parking for trailers, caravans and boats must be located such that the vehicle is kept out of view from the street. Parking a vehicle in excess of 3000kg on an allotment is not permitted.

All garage doors to the front façade or any elevation that faces the street must be a sectional overhead door that is complementary to the external colour scheme. Ornate window features or transparent panels will not be approved. Roller doors must not be used when visible from the street.

Cedar Woods may consider and approve other garage door styles if this element is in keeping with the contemporary character of the neighbourhood. Triple garages are discouraged but will be assessed on merit. Articulation will be required for triple garaging to be considered.

Driveways

The driveway is to be constructed of exposed aggregate concrete. Plain grey, broom finish and coloured concrete is prohibited. Contemporary paving, will be approved on merit.

The driveway is to be sized to enable two cars to be parked side by side.

For a property with a frontage greater than 11m, the driveway must be 4.8m wide at the property boundary.

For a property with a frontage less than 11m, the driveway must be 4.2m wide at the property boundary.

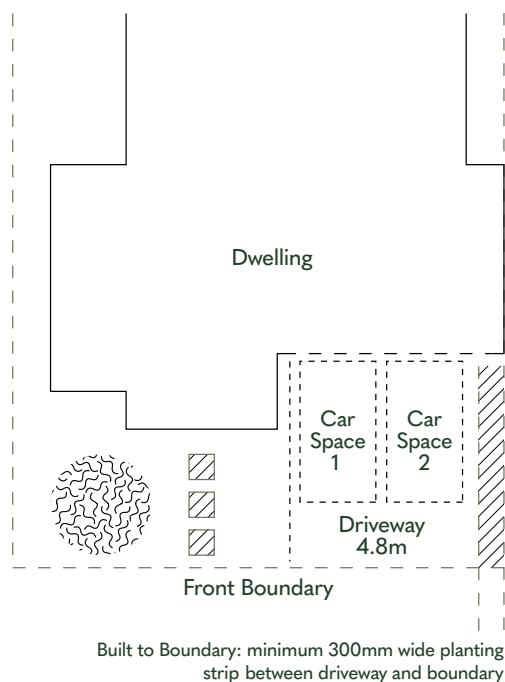
A minimum distance of 500mm between the side boundary and the edge of the driveway is

required to incorporate a planting strip. If the garage is sited on the boundary a minimum of 300mm is required. Cedar Woods recommends a conduit is installed underneath the driveway to the planting strip to enable the future installation of irrigation and/or lighting.

Driveways and crossovers must be compliant with all local council planning requirements.

All crossovers and driveways are to be completed prior to occupation.

There is to be no movement of any driveway location. Individual driveway locations are approved and displayed on the Plan of Development. A change to driveway locations can disrupt on street parking, tree planting locations, letterbox locations and driveway locations on adjoining lots.



Landscaping

A maximum of 50% of the front and secondary property setback areas (not including driveways, decks or paths) are to be turfed.

The remaining 50% (or greater) of the front and secondary street property setbacks are to apply a mixture of shrubs, plants and trees as per the minimum planting standards below:

MINIMUM PLANTING STANDARDS			
The following specifies the minimum planting standards per lot based on lot frontage widths.			
LOT FRONTAGE (WIDTH)	MINIMUM PLANTING STANDARDS PER LOT		
	TREES	SHRUBS	GROUNDCOVERS
10.99 metres and less	1	8	22
11 to 12.99 metres	1	9	27
13 to 14.99 metres	2	10	31
Greater than 15 metres	2	15	45
Minimum Plant Size (Pot Diameter [top])	1.5m high when planted	140mm pot	140mm pot

Suggested front yard designs & planting lists – see Annexure A

All landscaping to the primary and secondary property boundaries must be completed within 6 weeks of practical completion or occupation of the home.

A Landscaping Plan demonstrating the above requirements must be submitted as part of the covenant approval package.

Fencing (including screening)

Please ensure all proposed fencing is discussed with your adjoining neighbour prior to construction. Please refer to the relevant Neighbourhood Disputes Resolution Act 2011 and/or any guidelines in your State & Local Government regarding fencing requirements.

Side and rear fencing will be 1.8m high, timber lapped and capped paling fence with exposed 100mm x 100mm timber posts and must be installed prior to occupation of the home. When a fence has a road or open space interface, horizontal rails must be placed on the internal side and the external side of the fence must be painted in Dulux Black™ within one month of occupation of the home. Any extension, screening or additional materials attached to the top of any fencing will be in non-compliance of the covenant. Any such item will be required to be removed by the owner of the property at the owner's expense.

Where the retaining wall steps down, the fence will also step down to follow the retaining wall, but no raking is permitted. For corner lots, fencing on the secondary frontage must be setback 4m from the building line. Fencing to the side boundaries must not begin forward of the façade, unless that side boundary forms the rear boundary of an adjoining lot.

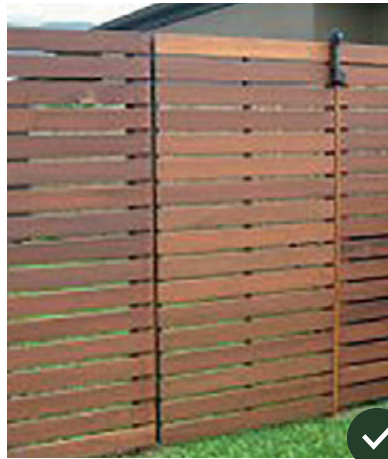
Side wing fencing and gates between the side boundary and the house must be installed within one month of occupation of the house. These are to be set back 800mm from the front façade. Where timber is used for side wing fences or gates the timber side wing must be dressed timber and be painted or stained. Rough sawn timber wrought iron and metal sheeting are not permitted as materials for side wing fences and gates.

Fencing on the front boundary is not encouraged as it reduces passive street surveillance and restricts presentation of the home to the street. Front fencing may be considered to enclose a front courtyard if it is rendered masonry with horizontal infill panels, integrated and complementary to the home. These will be assessed on a case-by-case basis. Front gates, if incorporated within a front fence, must match the infill panels.

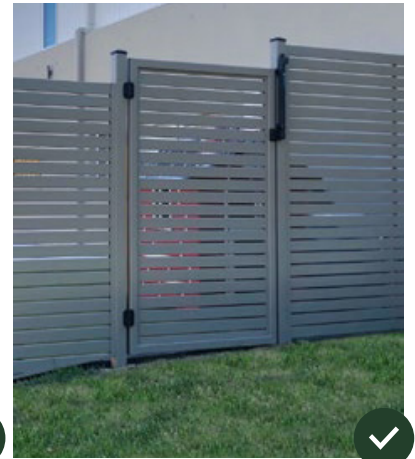
Where fencing or gates are within 6m of the dwelling and the plan of development shows the lot as being affected by a BAL 29 rating or higher, then hardwood (non-combustible) fencing will be required.

For vacant lots that have been sold and settled, the individual owner is responsible for the

presentation of the lot and is encouraged to fence or hoard their lot. Should excavated material or rubbish be dumped upon the lot, the owner is to address this directly with the adjoining owners/builders.



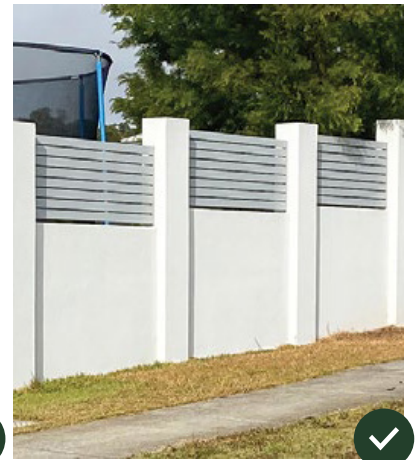
Stained and dressed horizontal timber slat fence and gate



Powder coated metal slat fence and gate



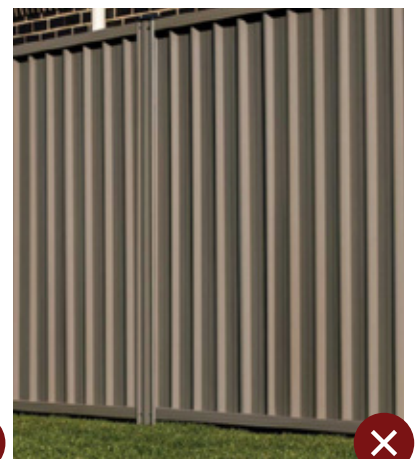
Double paled, capped and painted fence and gate



Rendered masonry with horizontal infill panels



Rough sawn timber fence



Colorbond fence

External Buildings and Other Items

OUTBUILDINGS

Outbuildings such as sheds must;

- be located to the rear of the property;
- complement the main dwelling;
- must not be visible from the street; and,
- must not exceed 12m² in floor area and 3.6m in height.

Owners are to comply with local council planning requirements when considering outbuildings.

Outbuildings must not be constructed of materials other than rendered masonry, stone, rendered or painted concrete sheeting, timber or coloured non-reflective metal. Galvanised metal sheeting is not an acceptable material for outbuildings.

SERVICES

Roof mounted equipment such as solar hot water system tanks (not including solar panels), pool heating systems, antennas, and satellite dishes, must:

- not be located on the primary frontage;
- at their highest point, must not exceed the peak ridge of the roof of the dwelling; and
- on corner lots, must only be located on secondary frontages where it is impractical to locate them elsewhere.

Solar panels and their frames visible from the street or public open space should follow the roof pitch to reduce prominence and bulk.

External plumbing (excluding drainage downpipes) and reticulated or wired services must not be visible from the street.

Meter boxes must be located on the side of the dwelling or on secondary frontages, positioned at 90 degrees from the street frontage and coloured/painted to match the adjacent walls.

Natural gas is available in Sage via a reticulated gas network which can be used for cooking, heating, and hot water.

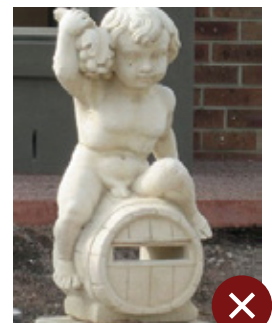
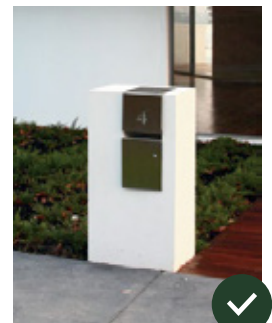
The following items must be positioned so they are not visible from the street. If this is genuinely not possible, they may be screened in a manner that complements the home, so they are not visible from the street:

- Water tanks
- Clothes lines
- Heating systems
- Evaporative coolers
- Air conditioning units
- Pools
- Pool filters
- Rubbish bins

LETTERBOXES

Letterboxes must be positioned on the front boundary adjacent to either the driveway or path with the house number clearly displayed.

Letterboxes should be of a contemporary style and ideally, the letterbox should match either the render to dwelling or colour of the garage door. Temporary, ornamental or pole mounted letterboxes will not be permitted.



SEWER OR MANHOLE ZONE OF INFLUENCE

Please ensure all works that are carried out which are adjacent to any sewer or manholes including but not limited to landscaping and earthworks are to be applied and to ensure that the sewer or manhole is not impacted upon. This may include covering, burying, modifying, changing and causing damage to the manhole. Any works carried out that impact on the manhole will need to be rectified at the property owner's expense.

PRESENTATION AND MAINTENANCE OF YOUR LOT

An owner/builder must not permit; cause or authorise any damage to:

- any adjoining lot and/or
- any other part of the Sage Community including but not limited to footpaths, kerb and channel, roadways and/or landscaping.

Where such damage occurs and Cedar Woods is required to undertake repairs and rectifications, the owner/builder of the lot will be responsible to pay the reasonable cost of these works.

Where Cedar Woods is required to undertake repairs and rectifications, you agree that Cedar Woods and its contractors may enter the property carry out those repairs on the following terms:

- Cedar Woods must give reasonable notice before accessing the property;
- Cedar Woods must, so far as reasonably possible, cause minimal disturbance to any occupant of the Land; and
- Cedar Woods must repair any damage it causes to the property.

Your property must be kept in a clean and tidy state at all times. Silt fences and rubble driveways are in place and must be maintained during the total construction of your home. Where rubbish, soil and grass cuttings are washed or blown from your lot and Cedar Woods determines, acting reasonably, it is necessary to remove this rubbish, you will be responsible to pay for the reasonable cost of the removal.

The owner/builder must maintain an industrial waste bin or fully wrapped cage bin on site at all times. The bin is to be established on site as soon as construction has commenced. This waste bin must be regularly emptied and must be covered when full so no material escapes the waste bin. The site must be cleared of any rubbish or building material on a daily basis with this rubbish and building material placed into the waste bin each afternoon when building activity has finished for the day.

No excavated material, rubbish or dumping shall be placed on any adjoining lot, private or public area within Sage. For vacant lots that have been sold and settled, the individual owner is responsible for the presentation of the lot. Should excavated material or rubbish be dumped upon the lot, the owner is to address this directly with the adjoining owners/builders. When the home is constructed, the owner is responsible for maintaining the front and secondary street frontages.

Sustainable Design

Environmentally Sustainable Design (ESD) principles are encouraged at Sage. Your efforts to reduce your household's impact on the environment play a significant role and some simple yet effective suggestions are outlined below:

- Work with your designer to ensure your indoor and outdoor living areas are facing north wherever possible.
- Design your floor plan to allow for zoning of separate uses for more efficient mechanical heating and cooling.
- Maximise cross flow ventilation opportunities and install ceiling fans to reduce reliance on air conditioning.
- Choose fittings and appliances which can minimise the overall energy and water consumption of your home.

Some effective options include installing:

- LED lighting.
- Gas or electric boosted solar hot water systems.
- Appliances with high energy efficiency ratings.
- Taps with a minimum WELS 5-star rating.
 - Toilets with a minimum WELS 4-star rating.
 - Shower roses with a minimum WELS 3-star rating and water consumption of less than or equal to 7.5L per minute.
- Reduce the use of potable water outside the home by installing rainwater tanks and grey water recycling systems.
- Install separate bins in the kitchen for waste, recycling and compost and invest in a worm farm to minimise household waste that goes to landfill.

Cedar Woods strongly encourages you to consider further methods of increasing the energy efficiency rating of your home and working closely with your designer to ensure your home is as efficient and sustainable as possible.



Responsible Pet Ownership

Sage is bounded by nature corridors and 30% of the Sage community is proposed to be dedicated as active open space.

The active open space will be available for use by the community whilst the nature corridors are intended to create habitat for native wildlife.

The nature corridors have been designed to allow native animals safe passage through the area. Residents can assist in protecting native wildlife by being a responsible pet owner and following the RSPCA's steps to Living with Wildlife. The factsheet also provides other advice on how to make your home and the community safer for native wildlife. Additionally, please refer to the following link for further information:

Sage Burpengary Residents Guide – Protecting and Supporting Koala Population at Hunt Rd





Submitting
Your Application

Application Submission Process

The application requirements listed allow Cedar Woods to thoroughly review house and landscape designs to ensure the best possible outcome for your neighbourhood.

Applications are to be submitted via email to: sage.design@cedarwoods.com.au

Your Design Approval Application must include the following in order for it to be assessed:

- Completed Design Approval Application Form.
- 1:200 scale site plan including:
 - Dimensions and areas of proposed building structures;
 - Setbacks to all boundaries and private open space dimensions;
 - Original and proposed finished ground levels, including changes in level;
 - Position of water tanks, TV antennas, air conditioning units, evaporative cooling units, solar water heaters, solar panels, solar pool heating systems, and outbuildings;
 - Lot boundaries, dimensions, areas and North point;
 - Driveways, paths, parking areas, all hardstand surfaces;
 - Details of proposed retaining walls, including wall heights;
 - Bin storage location and associated screening;
 - Gates, side wing and front fences;
 - Clotheslines; and
 - Letterboxes.
- 1:100 scale floor plans, roof plans and elevations including:
 - Internal layout including rooms, balconies, verandahs, decks, windows, openings, dimensions and finished floor levels;
 - Roof form, pitch and pitching point (ceiling height); and
 - All elevations are fully dimensioned with natural and finished ground levels.
- Materials and Colour Schedule including:
 - Building materials proposed to be used for external walls, roofing, pathways, driveways, fencing, gates, retaining walls;
 - Colour schedule for external walls, retaining, pathways, and driveways; and
 - Sketch and/or 3D images detailing external colour selections.
- Landscape Plan complying with the Design Standards.

Application Form

ALLOTMENT DETAILS

Lot number Street

OWNER DETAILS

Name

Mailing address

Phone Mobile

Email

BUILDER DETAILS

Name

Company

Mailing address

Phone Mobile

Email

ATTACHMENTS

- ☐ Design Approval Application Form.
- ☐ Site plan.
- ☐ Full set of building plans including floor plan, roof plan and elevations.
- ☐ Schedule of materials and colour selection.
- ☐ Landscape plan.

I/We certify that the attached application is a true and accurate representation of the home I/we intend to construct. In the event changes are made to the proposed plans, I/we undertake to resubmit this application for approval of such changes and agree to incur any additional fees which may result from this process.

SIGNED DATE



Moving In

Moving In Process

NOTIFY CEDAR WOODS OF PRACTICAL COMPLETION

Provide the following information to sage.design@cedarwoods.com.au;

- Final Inspection Certificate (Form 21).
- A photo of the front of your completed home, fencing and landscaped front yard.
- Anticipated move in date.

Cedar Woods will then inspect the completed home and will either provide confirmation that the home, including fencing and front yard landscaping, has been completed in accordance with the design standards or will, acting reasonably, outline any corrective action required to achieve compliance.

When compliance has been achieved, Cedar Woods will arrange for the design standards compliance rebate to be released as per the contract of sale.





Disclaimers and Acknowledgements

DISCLAIMERS

Cedar Woods reserves the right to amend these Design Standards over time to reflect changes in development, construction practices and planning regulations. Cedar Woods reserves the right to apply, enforce, vary, or waive any of the requirements if on balance the application embodies the objectives of the design principles and conforms to the contemporary Australian architectural vision.

If Cedar Woods amends these Design Standards, it must promptly notify and provide you with a copy of the amended Design Standards.

If Cedar Woods allows a dispensation from the Design Standards, the dispensation will neither set a precedent nor imply that the approval will be repeated.

The purpose of images and illustrations contained within this document is to illustrate the Design Standards they apply to only. In the case that an image or illustration does not fully comply with the Design Standards this will not override the wording or intent contained within this document, and approval for same will not be granted.

ACKNOWLEDGEMENTS

Images within this document have been sourced from GJ Gardner, Metricon, Plantation Homes, Heritage Homes, Heritage Homesteads, Highbury Homes, Coral Homes, Hallmark Homes, Austral Masonry, Cornerstone Boulder Walls, Greenscene Gardenscope, DR Homes, Newhaven Homes, Dulux, Celebration Homes, Architectural Cladding Pty Ltd, Colorbond, Boral CSR Bricks Pty Ltd, Bold Living, Monster Homes, Brighton Homes and Bristle Roofing.

GLOSSARY OF TERMS

Front Building Line

The front building line of the home is defined as a solid wall on the front façade of the home. A pier, nib wall, portico or open structure will not be permitted as a solid wall of the home.

Façade Area

Façade Area is calculated as a square metre measure of the entire vertical surface of the elevation of the house visible from the Street or Public Area

Secondary Façade

Any area of the home visible from a public area.

Public Area

Any area accessible to the public including but not limited to parks, conservation areas, walkable waterfront, walkways/footpaths and easements.



Annexure A: Front Yard Design and Recommended Planting List

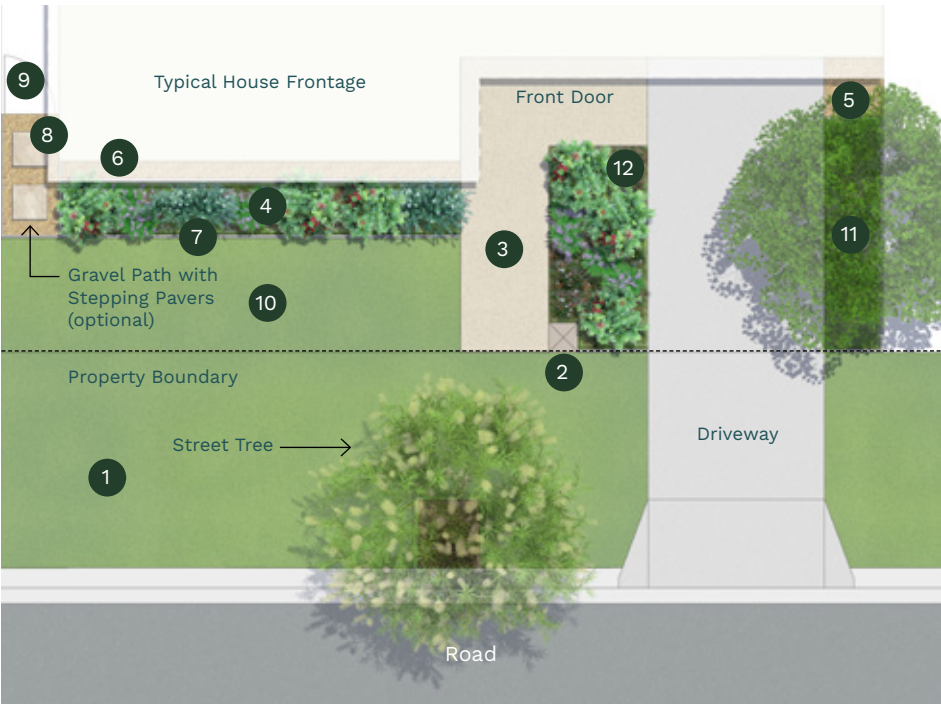
Front Yard Design

NATURAL GARDEN

A formalised layout that incorporates a mixture of native and cultivar plant species (produced by selective breeding) commonly found within South East Queensland.

A low maintenance water sensitive option that looks to minimise garden upkeep and maximise aesthetic. Flowering predominately in spring and summer, this layout attracts native bird life to the garden.

PLAN



LEGEND

- 1. Turf to verge
- 2. Letterbox
- 3. Optional pathway to house entry
- 4. Proposed shrubs
- 5. Gravel maintenance area (optional)
- 6. Optional gravel strip to edge of house
- 7. Concrete, metal or timber edge (mandatory)
- 8. Indicative electrical box
- 9. House side gate
- 10. Turf
- 11. Residential tree
- 12. Groundcovers

TURFING

A maximum of 50% of the front and secondary property boundaries (not including driveways, decks or paths) are to be turfed.

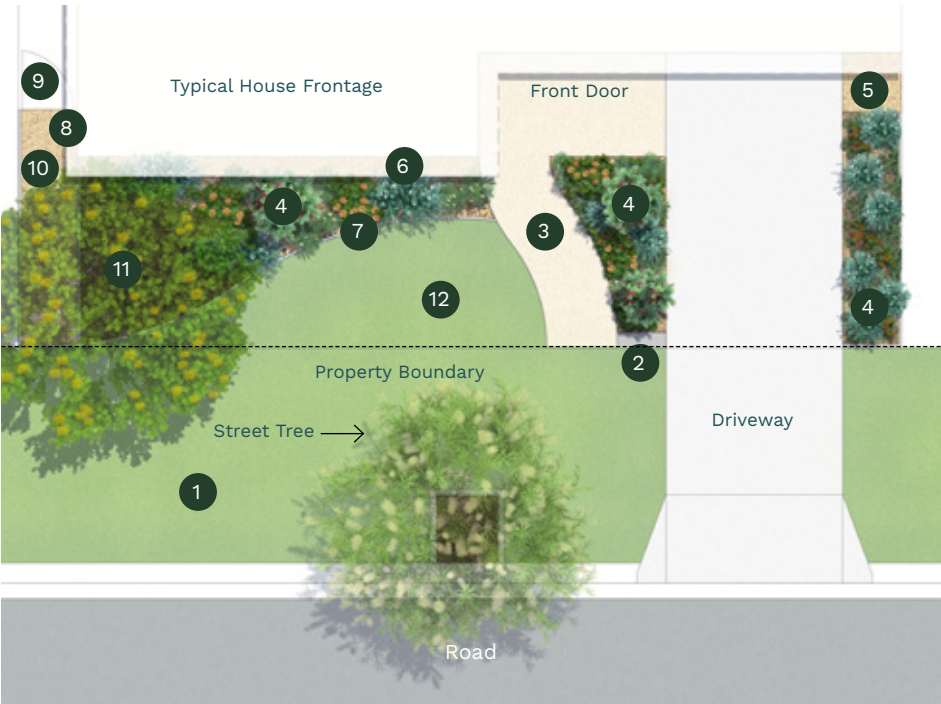
MINIMUM PLANTING STANDARDS			
The following specifies the minimum planting standards per lot based on lot frontage widths.			
LOT FRONTAGE (WIDTH)	MINIMUM PLANTING STANDARDS PER LOT		
	TREES	SHRUBS	GROUNDCOVERS
10.99 metres and less	1	8	22
11 to 12.99 metres	1	9	27
13 to 14.99 metres	2	10	31
Greater than 15 metres	2	15	45
Minimum Plant Size (Pot Diameter [top])	1.5m high when planted	140mm pot	140mm pot

AUSTRALIANA GARDEN

An informal layout that incorporates locally endemic plant species, commonly found within the Moreton Bay Region.

Flowering predominately in spring and summer, this colorful and textural garden layout attracts birds, lizards and bees. Comprised only of native plant species, the Australiana garden is designed to be low maintenance and water sensitive.

PLAN



LEGEND

- 1. Turf to verge
- 2. Letterbox
- 3. Optional pathway to house entry
- 4. Proposed shrubs
- 5. Gravel maintenance area (optional)
- 6. Optional gravel strip to edge of house
- 7. Concrete, metal or timber edge (mandatory)
- 8. Indicative electrical box
- 9. House side gate
- 10. Turf
- 11. Residential tree
- 12. Groundcovers

TURFING

A maximum of 50% of the front and secondary property boundaries (not including driveways, decks or paths) are to be turfed.

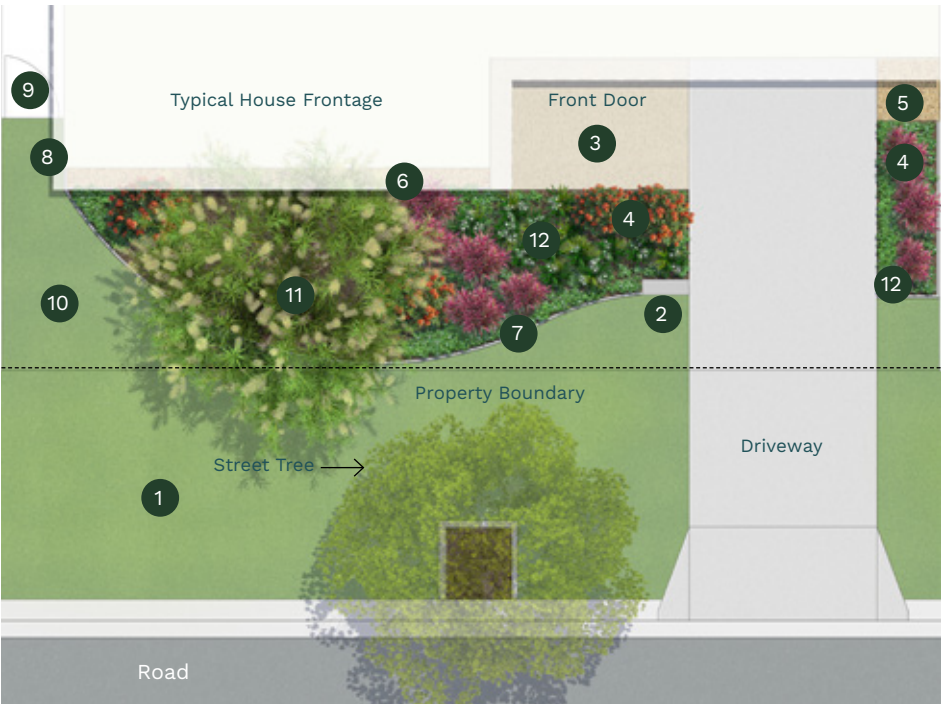
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	TREES	SHRUBS	GROUNDCOVERS
10.99 metres and less	1	8	22
11 to 12.99 metres	1	9	27
13 to 14.99 metres	2	10	31
Greater than 15 metres	2	15	45
Minimum Plant Size (Pot Diameter [top])	1.5m high when planted	140mm pot	140mm pot

SUB-TROPICAL GARDEN

A design layout that celebrates the subtropical location of South East Queensland, through the incorporating of layered and textured plant species into an organic layout.

Creating interest through the integration of multiple foliage textures, colour and a diversity of flower structures, this garden transforms with the seasons offering interest year round.

PLAN



LEGEND

- 1. Turf to verge
- 2. Letterbox
- 3. Optional pathway to house entry
- 4. Proposed shrubs
- 5. Gravel maintenance area (optional)
- 6. Optional gravel strip to edge of house
- 7. Concrete, metal or timber edge (mandatory)
- 8. Indicative electrical box
- 9. House side gate
- 10. Turf
- 11. Residential tree
- 12. Groundcovers

TURFING

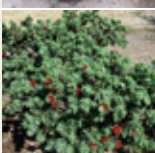
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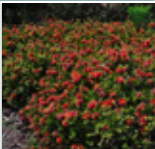
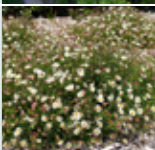
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	TREES	SHRUBS	GROUNDCOVERS
10.99 metres and less	1	8	22
11 to 12.99 metres	1	9	27
13 to 14.99 metres	2	10	31
Greater than 15 metres	2	15	45
Minimum Plant Size (Pot Diameter [top])	1.5m high when planted	140mm pot	140mm pot

Recommended Planting List

PLANTING THEME

Natural Garden

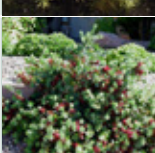
RECOMMENDED PLANTING SCHEDULE								
Code	Species Name	Common Name	Minimum Installation Size	Estimated Mature Size	Minimum Planting Density	Stake Req'd	Fauna Attracting	Image
Trees								
ATR fit	Atractocarpus fitzalanii	Native Gardenia	1.5m	Height: 10m to 15m Spread: 5m to 10m	1 per lot	Yes	Yes - Bees, Nectar Eating Birds, Seed Eating Birds, Insects	
CUP ana	Cupaniopsis anacardioides	Tuckeroo	1.5m	Height: 5m to 8m Spread: 3m to 5m	1 per lot	Yes	Yes - Birds	
ELA eum	Elaeocarpus eumundi	Quandong	1.5m	Height: 10m to 15m Spread: 5m to 10m	1 per lot	Yes	Yes - Nectar Eating Birds, Seed Eating Birds	
TRI lau	Tristaniopsis laurina	Water Gum	1.5m	Height: 5m to 15m Spread: 3m to 6m	1 per lot	Yes	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
WAT flo	Waterhousea floribunda	Weeping Lilly Pilly	1.5m	Height: 10m to 15m Spread: 5m to 10m	1 per lot	Yes	Yes - Bees, Nectar Eating Birds, Seed Eating Birds	
Shrubs								
ACM smi	Acmena Smithii 'Hot Flush'	Hot Flush	140mm	Height: 1.5m to 3m Spread: 1m to 1.5m	800mm spacing	No	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
Ade ser	Adenanthos sericeus	Woolly Bush	140mm	Height: 1m to 4m Spread: 1m to 1.5m	800mm spacing	No	Yes - Nectar Eating Birds	
CAL LJ	Callistemon 'Little John'	Little John	140mm	Height: 0.75m to 1m Spread: 0.5m to 1m	3 per 1m ²	No	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	

Code	Species Name	Common Name	Minimum Installation Size	Estimated Mature Size	Minimum Planting Density	Stake Req'd	Fauna Attracting	Image
Shrubs								
ERE mac	Eremophila maculata	Emu Bush	140mm	Height: 0.4m to 1m Spread: 1m to 2m	2 per 1m ²	No	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
MEL thy	Melaleuca thymifolia	Thyme Honey Myrtle	140mm	Height: 1.0m to 1.2m Spread: 1.0m to 2.0m	3 per 1m ²	No	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
RHA spi	Rhagodia spinescens	Salt Bush	140mm	Height: 0.5m to 1.5m Spread: 1.5m to 3.0m	2 per 1m ²	No	Yes - Lizards	
SYZ aus	Syzygium australe	Lilly Pilly	140mm	Height: 2m to 4m Spread: 1.5m to 2m	800mm spacing	No	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
WES fru	Westringia fruticosa	Coastal Rosemary	140mm	Height: 0.5m to 1m Spread: 0.5m to 1m	2 per 1m ²	No	Yes - Bees, Butterflies, Other insects	
Groundcovers								
CAL pea	Callistemon pearsonii	Rocky Rambler	140mm	Height: 0.5m to 1m Spread: 0.5m to 0.7m	3 per 1m ²	No	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
CAS gla	Casuarina glauca	Cousin-It	140mm	Height: 0.2m Spread: 1m to 1.5m	3 per 1m ²	No	No	
DIA cae	Dianella caerulea	Blue Flax Lily	140mm	Height: 0.5 -1m Spread: 0.5m to 1.5m	3 per 1m ²	No	Yes - Seed Eating Birds	
DIE bic	Dietes bicolor	Yellow Wild Iris	140mm	Height: 0.5m to 0.8m Spread: 0.7m to 1m	3 per 1m ²	No	Yes - Bees and Other insects	
ERI kar	Erigeron karvinskianus	Seaside Daisy	140mm	Height: 0.3m to 0.6m Spread: 0.6m to 1m	3 per 1m ²	No	Yes - Bees and Other insects	

Code	Species Name	Common Name	Minimum Installation Size	Estimated Mature Size	Minimum Planting Density	Stake Req'd	Fauna Attracting	Image
Groundcovers								
GOO Gla	Goodenia ovata	Edna Walling Coverup	140mm	Height: 0.2m to 0.5m Spread: 0.5m to 1.5m	2 per 1m ²	No	Yes - Bees	
GRE RM	Grevillea 'Royale Mantle'	Royale Mantle	140mm	Height: 0.1m to 0.2m Spread: 3.0m to 6.0m	3 per 1m ²	No	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects, Lizards	
LIR mus	Liriope muscari	Evergreen Giant	140mm	Height: 0.3m to 0.6m Spread: 0.3m to 0.6m	4 per 1m ²	No	Yes - Bees, Butterflies	
LIR SW	Liriope muscari 'Stripey White'	Stripey White	140mm	Height: 0.5m Spread: 0.5m	4 per 1m ²	No	No	
LAV den	Lavandula dentata	French Lavendar	140mm	Height: 1m to 1.5m Spread: 0.5m to 1m	2 per 1m ²	No	Yes - Bees, Butterflies	
POA lab	Poa labillardieri	Tussock Grass	140mm	Height: 0.5 to 1m Spread: 0.4 to 0.5m	3 per 1m ²	No	Yes - Lizards	

PLANTING THEME

Australiana Garden

RECOMMENDED PLANTING SCHEDULE								
Code	Species Name	Common Name	Minimum Installation Size	Estimated Mature Size	Minimum Planting Density	Stake Req'd	Fauna Attracting	Image
Trees								
GREban	Buckinghamia celsissima	Ivory Curl Tree	1.5m	Height: 8m to 15m Spread: 1m to 4m	1 per lot	Yes	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
CUPana	Cupaniopsis anacardioides	Tuckeroo	1.5m	Height: 5m to 8m Spread: 3m to 5m	1 per lot	Yes	Yes - Birds	
TABarg	Tabebuia Argentea	Yellow Trumpet Tree	1.5m	Height: 8m to 15m Spread: 3m to 5m	1 per lot	Yes	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
WATflo	Waterhousea floribunda	Weeping Lilly Pilly	1.5m	Height: 10m to 15m Spread: 5m to 10m	1 per lot	Yes	Yes - Bees, Nectar Eating Birds, Seed Eating Birds	
Shrubs								
CAL LJ	Callistemon 'Little John'	Little John	140mm	Height: 0.75m to 1m Spread: 0.5m to 1m	3 per 1m ²	No	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
Ade ser	Adenanthos sericeus	Woolly Bush	140mm	Height: 1m to 4m Spread: 1m to 1.5m	800mm spacing	No	Yes - Nectar Eating Birds	
BAN aem	Banksia aemula	Wallum Banksia	140mm	Height: 3m to 4m Spread: 1m to 2.5m	2 per 1m ²	No	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
BAN spi	Banksia spinulosa	Golden Candlestick	140mm	Height: 1m to 2m Spread: 0.5m to 1.5m	2 per 1m ²	No	Yes - Bees, Nectar Eating Birds	
CAL cit	Callistemon citrinus	Endeavour	140mm	Height: 2m to 3m Spread: 2m to 3m	1 per 1m ²	No	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	

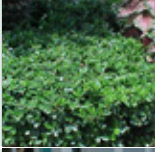
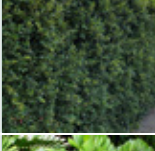
Code	Species Name	Common Name	Minimum Installation Size	Estimated Mature Size	Minimum Planting Density	Stake Req'd	Fauna Attracting	Image
Shrubs								
GREban	Grevillea banksii x pteridifolia	Grevillea	140mm	Height: 3m to 4m Spread: 2m to 3m	3 per 1m ²	No	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
MELthy	Melaleuca thymifolia	Thyme Honey Myrtle	140mm	Height: 1.0m to 1.2m Spread: 1.0m to 2.0m	3 per 1m ²	No	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
RHAspi	Rhagodia spinescens	Salt Bush	140mm	Height: 0.5m to 1.5m Spread: 1.5m to 3.0m	2 per 1m ²	No	Yes - Lizards	
SYZaus	Syzygium australe	Lilly Pilly	140mm	Height: 2m to 4m Spread: 1.5m to 2m	800mm spacing	No	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
WESfru	Westringia fruticosa	Coastal Rosemary	140mm	Height: 0.5m to 1m Spread: 0.5m to 1m	2 per 1m ²	No	Yes - Bees, Butterflies, Other insects	
Groundcovers								
ANIfla	Anigozanthos flavidus	Kangaroo Paw	140mm	Height: 0.5m Spread: 1m to 1.5m	3 per 1m ²	No	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
BANspi	Banksia spinulosa	Birthday Candles	140mm	Height: 0.5m to 1m Spread: 0.5m to 0.7m	3 per 1m ²	No	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
CALpea	Callistemon pearsonii	Rocky Rambler	140mm	Height: 0.5m to 1m Spread: 0.5m to 0.7m	3 per 1m ²	No	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
CARapp	Carex appressa	Tall Sedge	140mm	Height: 0.5m to 1.2m Spread: 0.5m to 1m	3 per 1m ²	No	No	
CASgla	Casuarina glauca	Cousin-It	140mm	Height: 0.2m Spread: 1m to 1.5m	3 per 1m ²	No	No	

Code	Species Name	Common Name	Minimum Installation Size	Estimated Mature Size	Minimum Planting Density	Stake Req'd	Fauna Attracting	Image
Groundcovers								
DIA cae	Dianella caerulea	Blue Flax Lily	140mm	Height: 0.5 -1m Spread: 0.5m to 1.5m	3 per 1m ²	No	Yes - Seed Eating Birds	
DIE bic	Dietes bicolour	Yellow Wild Iris	140mm	Height: 0.5m to 0.8m Spread: 0.7m to 1m	3 per 1m ²	No	Yes - Bees and Other insects	
GRE BR	Grevillia 'Bronze Rover'	Bronze Rover	140mm	Height: 0.2m to 0.3m Spread: 1.0m to 2.0m	2 per 1m ²	No	Yes - Bees, Nectar eating birds, Butterflies, Other insects	
GRE RM	Grevillia 'Royale Mantle'	Royale Mantle	140mm	Height: 0.1m to 0.2m Spread: 3.0m to 6.0m	3 per 1m ²	No	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects Lizards	
LIR mus	Liriope muscari	Evergreen Giant	140mm	Height: 0.3m to 0.6m Spread: 0.3m to 0.6m	4 per 1m ²	No	Yes - Bees, Butterflies	

PLANTING THEME

Sub-Tropical Garden

RECOMMENDED PLANTING SCHEDULE								
Code	Species Name	Common Name	Minimum Installation Size	Estimated Mature Size	Minimum Planting Density	Stake Req'd	Fauna Attracting	Image
Trees								
ATR fit	Atractocarpus fitzalanii	Native Gardenia	1.5m	Height: 10m to 15m Spread: 5m to 10m	1 per lot	Yes	Yes - Bees, Nectar Eating Birds, Seed Eating Birds, Insects	
BRA ace	Brachychiton acerifolius	Illawarra Flame Tree	1.5m	Height: 10m to 20m Spread: 5m to 15m	1 per lot	Yes	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
BUC cel	Buckinghamia celsissima	Ivory Curl Tree	1.5m	Height: 8m to 15m Spread: 1m to 4m	1 per lot	Yes	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
ELA eum	Elaeocarpus eumundi	Quandong	1.5m	Height: 10m to 15m Spread: 5m to 10m	1 per lot	Yes	Yes - Nectar Eating Birds, Seed Eating Birds	
MAG gra	Magnolia grandiflora	Magnolia 'Teddy Bear'	1.5m	Height: 5m to 6m Spread: 2m to 3m	1 per lot	Yes	Yes - Bees, Birds	
TRI lau	Tristaniopsis laurina	Water Gum	1.5m	Height: 5m to 15m Spread: 3m to 6m	1 per lot	Yes	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
WAT flo	Waterhousea floribunda	Weeping Lilly Pilly	1.5m	Height: 10m to 15m Spread: 5m to 10m	1 per lot	Yes	Yes - Bees, Nectar Eating Birds, Seed Eating Birds	
Shrubs								
ACM smi	Acmena Smithii 'Hot Flush'	Hot Flush	140mm	Height: 1.5m to 3m Spread: 1m to 1.5m	800m spacings	No	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
ALC imp	Alcantarea imperialis	Silver Plum	140mm	Height: 1.5m Spread: 2m	1 per 1m ²	No	No	

Code	Species Name	Common Name	Minimum Installation Size	Estimated Mature Size	Minimum Planting Density	Stake Req'd	Fauna Attracting	Image
Shrubs								
ALP mut	Alpinia mutica	False Cardamom Ginger	140mm	Height: 1.5 to 2m Spread: 1 to 1.5m	1 per 1m ²	No	No	
COR aus	Corydine australis	Corydine	140mm	Height: 2m to 2.4m Spread: 1m to 1.5m	500mm spacings	No	Yes - Bees, Nectar Eating Birds, Butterflies, Other insects	
FIC GI	Ficus 'Green Island'	Green Island Fig	140mm	Height: 0.5m to 1m Spread: 1m to 1.5m	2 per 1m ²	No	Yes - Bees, Other insects, Lizards	
IXO DO	Ixora 'Dwarf Orange'	Ixora Prince of Orange	140mm	Height: 0.3m Spread: 0.5m	3 per 1m ²	No	No	
PHO RR	Photinia Red Robin	Red Robin	140mm	Height: 1.5 - 2.5m Spread: 1.5m	800mm spacings	No	No	
SYZ aus	Syzygium australe	Lilly Pilly	140mm	Height: 2m to 4m Spread: 1.5m to 2m	800mm spacings	No	Yes - Bees, Nectar Eating Birds, Seed Eating Birds, Butterflies, Other insects	
ZAM fur	Zamia furfuracea	Cardboard Cycad	140mm	Height: 1m Spread: 1.5 to 2m	800mm spacings	No	No	
Groundcovers								
CAR ros	Carpobrotus rossii	Native Pigface	140mm	Height: 0.2m to 0.3m Spread: 1m to 3m	3 per 1m ²	No	Yes - Bees, Butterflies, Other insects	
CAS gla	Casuarina glauca	Cousin-It	140mm	Height: 0.2m Spread: 1m to 1.5m	3 per 1m ²	No	No	
CRA ova	Crassula ovata	Jade Plant	140mm	Height: 1.5m Spread: 1m	2 per 1m ²	No	No	

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Groundcovers								
CRI ped	Crinum pedunculatum	Swamp Lily	140mm	Height: 1.5m to 3.0m Spread: 1.0m to 3.0m	3 per 1m ²	No	No	
DIA cae	Dianella caerulea	Blue Flax Lily	140mm	Height: 0.5 -1m Spread: 0.5m to 1.5m	3 per 1m ²	No	Yes - Seed Eating Birds	
DIE bic	Dietes bicolour	Yellow Wild Iris	140mm	Height: 0.5m to 0.8m Spread: 0.7m to 1m	3 per 1m ²	No	Yes - Bees and Other insects	
HYM lit	Hymenocallis littoralis	Spider Lily	140mm	Height: 0.5m to 0.7m Spread: 0.5m to 0.7m	3 per 1m ²	No	No	
LIR mus	Liriope muscari	Evergreen Giant	140mm	Height: 0.3m to 0.6m Spread: 0.3m to 0.6m	4 per 1m ²	No	Yes - Bees, Butterflies	
LIR SW	Liriope muscari 'Stripey White'	Stripey White	140mm	Height: 0.5m Spread: 0.5m	4 per 1m ²	No	No	
PHI xan	Philodendron xanadu	Xanadu	140mm	Height: 1.5m Spread: 1.5m	2 per 1m ²	No	No	
POG pan	Pogonatherum paniceum	Panda Grass	140mm	Height: 0.5m Spread: 0.5m	2 per 1m ²	No	No	
STE reg	Strelitzia reginae	Bird of Paradise	140mm	Height: 1.5m Spread: 0.9m to 1m	2 per 1m ²	No	No	
TRA jas		Star Jasmine	140mm	Height: 2m to 4m Spread: 2m to 4m	2 per 1m ²	No	Yes - Bees	

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Groundcovers								
TRA spa	Tradescantia spathacea	Moses in the Cradle	140mm	Height: 0.2m Spread: 0.2m	4 per 1m ²	No	No	
ZOY ten	Zoysia tenuifolia	No-Mow Grass	140mm	Height: 0.2m Spread: 0.2m	4 per 1m ²	No	No	



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