

Proposed Single Storey Dwelling

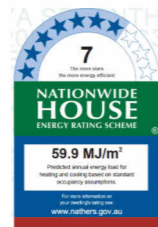
Lot 2452 - in DP 1274624
57A Seventh Avenue & Ganugan Road
Austral, NSW 2179



| SHEET | DESCRIPTION |
|-------|-------------------------------------|
| 25 | NOTIFICATION PLAN |
| 24 | TYPICAL WET AREA DETAILS |
| 23 | LANDSCAPE PLAN |
| 22 | CUT AND FILL PLAN |
| 21 | SEDIMENTATION - WASTE MANAGEMENT |
| 20 | ENSUITE DETAILS |
| 19 | LAUNDRY & BATHROOM DETAILS |
| 18 | KITCHEN DETAILS |
| 17 | FLOOR AREAS |
| 16 | FLOOR COVERING PLAN |
| 15 | SLAB PENETRATION DETAIL |
| 14 | CONCRETE SLAB PLAN |
| 13 | WINDOWS & DOORS SCHEDULES |
| 12 | SECTION A - A / DRIVEWAY GRADIENT |
| 11 | ELEVATIONS |
| 10 | ELEVATIONS |
| 9 | ROOF PLAN / EAVE VENTILATION DETAIL |
| 8 | GROUND FLOOR PLAN |
| 7 | SITE PLAN |
| 6 | BASIX |
| 5 | BASIX |
| 4 | NCC REQUIREMENTS |
| 3 | NCC REQUIREMENTS |
| 2 | WHS |
| 1 | COVER SHEET |

| REV | DATE | DESCRIPTION | BY |
|-----|----------|--|----|
| 7 | 25.02.26 | Amend plan as request | TB |
| 6 | 17.02.26 | Amended plan as per certifier's reqts. | ME |
| 5 | 05.02.26 | Amended plan as per CDC | HN |
| 4 | 30.01.26 | Amended plan as per Client's requested | HN |
| 3 | 21.01.26 | Amended plan as per Client's requested | HN |
| 2 | 24.10.25 | CDC Plan | HN |
| 1 | 01.10.25 | Preliminary plans for client comments | ME |
| REV | DATE | DESCRIPTION | BY |

CDC APPLICATION:
ALL DIMENSIONS TO BE CHECKED & CONFIRMED PRIOR TO CONSTRUCTION BY BUILDER.



| | | | | | | | | | | | |
|---|-----------------------------------|---|-----------------------------------|-------------------|---|---|--|---|---|--------------------------|---|
| ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom | CLIENT'S NAME: Mr. Sukhwinder Singh Mrs. Harinder Kaur | SHEET NAME: COVER SHEET | |  |  | P: (02) 7252-5330 E: info@sdcd.com.au A: Suite 106, Level 1 351 Oran Park Drive, Oran Park Nsw 2570. W: sdcd.com.au |  |  | CLIENT'S SIGNATURE _____ | |
| | FACADE: Modern | SITE ADDRESS: Lot 2452 - in DP 1274624 57A Seventh Avenue & Ganugan Road Austral, NSW 2179 | DRAWN: TB | JOB NO: 25196 | | | | | | REV NO: 7 | DATE _____ |
| | SPECIFICATION: STANDARD | GARAGE HAND: Rear | CHECKED: TB | DATE: 25.02.26 | | | | | | SHEET: 1 | ALL RIGHTS RESERVED. This plan is the property of Sydney Drafting & Design Pty Ltd. Copyright in this document is owned by Sydney Drafting & Design Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Sydney Drafting & Design Pty Ltd. © COPYRIGHT |
| | SCALE @ A3: | PROJECT STAGE: CDC Application | APPLY TO LODGE: | | | | | | | | |

I. FALLS, SLIPS, TRIPS
a) WORKING AT HEIGHTS

DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation. For buildings where scaffold, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES By Owner

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

HIERARCHY OF CONTROL:

ELIMINATE THE HAZARD

Remove slip and trip hazards at the design stage such as eliminating changes in floor levels and installing more power outlets to avoid trailing cords.

SUBSTITUTION

Replace flooring with a more slip-resistant surface.

ISOLATION

Prevent access to high risk areas, for example cordon off wet floor areas while cleaning is in progress.

ENGINEERING CONTROLS (REDESIGN)

- Apply floor treatments to increase slip resistance
- Improve lighting
- Stop leaks from equipment or pipes
- Provide adequate drainage
- Clearly mark edges of steps and any changes in floor height.

ADMINISTRATIVE CONTROLS

- Implement good housekeeping practices including keeping access ways clear and cleaning up spills immediately
- Use signage to warn of wet or slippery areas
- Provide training and supervision.

PERSONAL PROTECTIVE EQUIPMENT

- Wear slip-resistant footwear.

CONTROLLING THE RISK OF SLIPPING

FLOOR TYPES:

CONCRETE ROUNDED

aggregate can be slippery when concrete wears. Interior surface is often sealed to prevent dusting and absorption of liquids - this can increase slipperiness.

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.

THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.

TERRAZZO GIVES

good appearance and wears well but can be slippery when wet, when excess polish is used or when dusty.

QUARRY TILES, CERAMIC TILES

Low water absorption and good resistance to chemicals. Slippery in wet conditions if smooth, but can be moulded with aggregate or profiles to improve slip resistance - special cleaning equipment may then be required.

GLAZED CERAMIC TILES

Slippery when wet, particularly with soapy water. Some slip resistance treatments available, but preferable not to install these tiles on floors.

VINYL TILES AND SHEET EASY TO CLEAN

Use sheet form where frequent washing is required to avoid water getting under tiles. Slippery when wet, particularly if polished, however slip resistant vinyls are available. These have aggregates moulded in. Thicker and softer vinyls are more slip resistant than hard ones.

CORK

Must be sealed to prevent absorption of oil and water, but may then be slippery when wet.

STEEL PLATE

Tends to be slippery when wet or oily, particularly when worn.

RUBBER

Less effective in wet conditions. Must be fixed down well at the edges and joints or will cause a trip hazard.

PLASTIC MATTING

Interlocking PVC extrusions give good drainage and slip resistance. Hose down or steam clean.

CARPET

Carpet has a shorter life than hard floor surfaces, but it can be a cost-effective solution. Installations should be wall to wall, to avoid the hazard of a trip on edges. When used in small local areas, such as at entrances, it should be installed in a recess in the floor. Alternatively, it should be rubber-backed and with hardware wearing tapered edges. Trolleys can be harder to push on carpet, but if larger wheels are fitted and the carpet does not have a deep pile, this is not a serious problem.

FIBREGLASS GRATINGS

This product can have grit particles moulded into upper surface to provide very good slip resistance. Fluids are quickly drained away.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

- Prevent or restrict access to areas below where the work is being carried out.
- Provide toeboards to scaffolding or work platforms.
- Provide protective structure below the work area.
- Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas. For building where on-site loading/unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway.

Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used. Locations with underground power: Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing. Locations with overhead power lines: Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a barrier protection provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990: If this existing building was constructed prior to: 1990 - it therefore may contain asbestos 1986 - it therefore is likely to contain asbestos either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibres which are harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

Andrew Guirgis
Principal Certifier BDC2822

This is a design control prepared for the application of a finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required: Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

NON-RESIDENTIAL BUILDINGS

For non-residential buildings where the end-use has not been identified: This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.


For non-residential buildings where the end-use is known: This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements. All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

WHS REQUIREMENTS

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|---|-----------------------------------|--|--|--------------------------|---------------------|---|---|---|--------------------------|---|
| ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom | CLIENT'S NAME: Mr. Sukhwinder Singh Mrs. Harinder Kaur | SHEET NAME: WHS | | |   | P: (02) 7252-5330 E: info@sdcd.com.au A: Suite 106, Level 1 351 Oran Park Drive, Oran Park, Nsw 2570. W: sdcd.com.au |   | CLIENT'S SIGNATURE _____ | |
| | FACADE: Modern | SITE ADDRESS: Lot 2452 - in DP 1274624 57A Seventh Avenue & Ganugan Road Austral, NSW 2179 | DRAWN: TB | JOB NO: 25196 | REV NO: 7 | | | | DATE _____ | I accept and understand the plans and documents that have been provided to me by Sydney Drafting & Design Pty Ltd. ALL RIGHTS RESERVED. This plan is the property of Sydney Drafting & Design Pty Ltd. Copyright in this document is owned by Sydney Drafting & Design Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Sydney Drafting & Design Pty Ltd. © COPYRIGHT |
| | SPECIFICATION: STANDARD | | CHECKED: | DATE: 25.02.26 | SHEET: 2 | | | | | |
| | SCALE @ A3: | GARAGE HAND: Rear | PROJECT STAGE: CDC Application | | APPLY TO LODGE: | | | | | |

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|--|---|---|--|--|---|--|--|--------------------------|--------------------|--|--|-----------------|---|--|---|
| <p>Specification Notes <u>EXCAVATION:</u> The part of the site to be covered by the proposed building or buildings and an area at least 1000mm wide around that part of the site or to the boundaries of the site, whichever is the lesser, shall be cleared or graded as indicated on the site works plan. Bulk earthworks shall be in accordance with ABCB Housing Provisions Standard 2022 Part 3.2 per NCC Volume 2 H1D3, or any Engineer's Instructions. Top soil shall be cut to a depth sufficient to remove all vegetation. Excavations for all footings shall be in accordance with the Engineer's Instructions, or part NSW 4.2.3 of the ABCB Housing Provisions Standard 2022 per NCC Volume 2 H1D4.</p> <p><u>FOUNDATIONS & FOOTINGS:</u> Underfloor fill shall be in accordance with ABCB Housing Provisions Standards 2022 Part 4.2.4, per NCC Volume 2 H1D4. Termite treatment shall be carried out in accordance with ABCB Housing Provisions Standard 2022 Part 3.4, per NCC Volume 2 H1D3.</p> <p>Where relevant the following elements shall be in accordance with the Engineer's Instructions. Per NCC Volume 2 H1D4 these may reflect AS3600, AS2870, or the listed provisions from the ABCB Housing Provisions Standard 2022:</p> <ul style="list-style-type: none"> Site classification in accordance with Part 4.2.2 and AS2870 Site foundations for footings and slabs in accordance with Part 4.2.5 Slab edge support on sloping sites in accordance with Part 4.2.6 Stepped footing in accordance with Part 4.2.7 Edge rebates in accordance with Part 4.2.9. <p>The vapour barrier installed under slab-on-ground construction on shall be installed in accordance with ABCB Housing Provisions Standard 2022 NSW 4.2.8 (state variation), Damp-proofing membrane (including AS2870 as referenced). Reinforcement shall conform and be placed in accordance with the Engineer's Instructions or ABCB Housing Provisions Standard 2022 4.2.11 including AS2870 as referenced. Support to all reinforcement shall be used to correctly position and avoid any undue displacement of reinforcement during the concrete placement. Except where otherwise approved by an engineer, structural concrete shall be in accordance with ABCB Housing Provisions Standard 2022 4.2.10. Pre-mixed concrete shall be manufactured to comply with AS3600 with delivery dockets kept on site or available for inspection by the engineer, or the Local Authority. Concrete shall be placed and compacted in accordance with good building practice (ABCB Housing Provisions Standard 2022 Part 4.2.10(c)).</p> <p>All concrete slabs shall be cured in accordance with good practice (ABCB Housing Provisions Standard 2022 Part 4.2.10(c)).</p> | <p>Concrete slabs and footings shall not be placed until approval to do so is given by the engineer or the Local Authority. Unless otherwise specified bench and floor levels indicated on the site plan shall be regarded as nominal.</p> <p>Footings and slabs on ground shall be in accordance with the Engineer's Instructions or the relevant provisions of ABCB Housing Provisions Standard 2022 per NCC Volume 2 H1D4:</p> <ul style="list-style-type: none"> General requirements in accordance with Part 4.2.12 Stump footings in accordance with Part 4.2.13 Stiffened raft slabs on Class A, S and M sites in accordance with Part 4.2.14 Strip footings on Class A, S and M sites in accordance with Part 4.2.15 Footings for Class A sites in accordance with Part 4.2.16 Footings for single leaf masonry, mixed, and earth wall construction in accordance with Part 4.2.17 Footings for fireplaces on Class A and S sites in accordance with Part 4.2.18 Shrinkage control in accordance with Part 4.2.19 Concentrated loads in accordance with Part 4.2.20 Minimum edge beam dimensions in accordance with Part 4.2.21 Recessed areas of slabs in accordance with Part 4.2.22 <p>All concrete slabs, other than those supported on solid ground or properly compacted fill, shall be constructed as suspended slabs. These slabs shall be constructed in accordance with the Engineer's Instructions.</p> <p>Where specified, masonry foundation walls are to be built on specified footings to the thickness indicated on the plans and to the height of the underside of the floor bearer or bottom wall plate.</p> <p>All sub floor spaces to suspended ground floors shall be provided with adequate ventilation in accordance with the ABCB Housing Provisions Standard 2022 Part 6.2 per NCC Volume 2 H2D5.</p> <p><u>RETAINING WALLS</u> Where the Builder is required by the Schedule of Works annexed to this Specification, the Builder shall construct retaining walls as shown on the approved plans. The design and construction of earth retaining structures shall be in accordance with AS4678 as referenced in NCC Volume 2 H1D3. Where a retaining wall is not included in the Schedule of Works, the construction of any retaining wall shall be the responsibility of the Owner</p> <p><u>DRAINAGE</u> In both sewered and unsewered areas any bath, wash basin, kitchen waste, wash tubs, pedestal pan and the floor grate to a shower recess shall be located in the position shown on the plan (refer to Schedule of Works); and waste pipes with traps shall be provided to the above fittings and connected to the drainage system. The whole of the work is to be performed in accordance with NCC Volume 3 and AS/NZS3500 series and requirements of the sewerage authority concerned.</p> | <p>The Builder will provide and install a septic system where applicable to the requirements of the Local Authority and in accordance with remanufacture's instructions. Drainage shall be carried out in accordance with the ABCB Housing Provisions Standard 2022 Part 3.3 and AS/NZS3500.3 per NCC Volume 2 H2D2, and the requirements of NCC Volume 3. Stormwater drainage shall be carried out in accordance with the ABCB Housing Provisions Standard 2022 Part 3.3.5, NCC Volume 3 and AS/NZS3500.3.</p> <p>The Builder will allow for the supplying and laying of stormwater drains as shown on the site plan. Surface water drainage shall be provided in accordance with ABCB Housing Provisions Standard 2022 Part 3.3.3. Where subsoil drainage is required it shall be carried out in accordance with ABCB Housing Provisions Standard 2022 Part 3.3.4.</p> <p><u>TIMBER FRAMING</u> All timber framing shall comply with NCC Volume 2 Part H1D6(4), or alternative structural framing shall be to structural engineer's details and certification. These may reflect any of the following: Timber structure design to AS1720.1</p> <ul style="list-style-type: none"> Nailplated timber roof trusses per AS1720.5 Residential construction in non-cyclonic areas per AS1684.2 or AS1684.4 Residential construction in cyclonic areas per AS1684.3 Installation of particleboard flooring per AS1860.2 <p>Timber Engineered products may be used provided their design comply with the NCC and they are installed in accordance with the manufacturer's instructions.</p> <p>The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and accepted building practices.</p> <p>All floor framing is to be framed at the level shown on the plan.</p> <p>Wall framing is to be erected plumb and straight and securely fastened to the floor framing or floor slab. The interface between masonry veneer and wall framing will conform with AS3700 or AS4773.1 and AS4773.2, or conform with ABCB Housing Provisions Standard 2022 Part 5.2, per NCC Volume 2 H1D5.</p> <p>All solid timber lintels shall conform to the AS1684.2 or AS1684.4. Glue laminated beams conforming to AS1328 or laminated veneer lumber beams to manufacturer's specification and data sheets may also be used. Where roof truss construction is used, trusses shall be designed in accordance with AS1720 and be erected, fixed and braced in accordance with the manufacturer's instructions. Bracing units shall be determined and installed in accordance with the Engineer's Instructions or AS1684 as appropriate for the design wind velocity for the site. Bracing shall be evenly distributed throughout the building. Strip and sheet timber floors shall be installed in accordance with the AS1684.</p> | <p>Per NCC Volume 2 H4D2 and H4D3, the selection, installation and waterproofing of wet area floors shall conform to:</p> <ul style="list-style-type: none"> The ABCB Housing Provisions Standard 2022 Part 10.2; or AS3740 and Clauses 10.2.1 to 10.2.6 and Clause 10.2.12 of the ABCB Housing Provisions Standard 2022; or The manufacture installation guides when listed in the Schedule of Works. <p>Roofs shall be pitched to the slope shown on plan. The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and accepted building practices. Metal fascias shall be installed in accordance with the manufacturer's instructions and shall meet the requirements of ABCB Housing Provisions Standard 2022 Part 7.2, 9.2.1, 9.2.3 and 9.2.9.</p> <p>Unless otherwise specified and where required by the NCC posts supporting carports, verandas and porches shall be timber suitable for external use.</p> <p>All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have corrosion protection appropriate to the site in accordance with AS1684</p> <p>Where a hot water storage unit or solar panels are supported by the roof structure, the structure shall be specifically designed to support all imposed loads.</p> <p><u>STEEL FRAMING</u> Steel framing shall be installed in accordance with the manufacturer's recommendations and NCC Volume 2 H1D6(3). This may reflect AS4100, AS/NZS4600 or the NASH Standard 'Residential and Low Rise Steel Framing'</p> <p>Structural steel shall be designed and constructed in accordance with the manufacturer's recommendations and NCC Volume 2 Part H1D6(5). This may reflect AS4100, AS/NZS4600 or the Housing Provisions Standard 2022 Part 6.3 where allowed under H1D6(6).</p> <p><u>ROOFING CLADDINGS</u> All roof cladding is to comply with the relevant structural performance and weathering requirements of the NCC and be installed as per the manufacturer's specifications. The Builder shall cover the roof of the dwelling with approved tiles as selected. The roof shall be fixed and waterproofed in accordance with AS2050 or the ABCB Housing Provisions Standard 2022 Part 7.3 per NCC Volume 2 H1D7(3). Roofing adjacent to valleys should be fixed so as to eliminate water penetration. Where roof tiles are made of natural products slight variation in colour is acceptable. The Builder shall provide and install a metal roof together with accessories as determined in the contract documents in accordance with AS1562.1 or the ABCB Housing Provisions Standard 2022 7.2 per NCC 2022 H1D7(2), and the manufacturer's recommendations. Except where design prohibits, sheets shall be in single lengths from fascia to ridge. Fixing of sheets shall be in accordance with the manufacturer's instructions as required for the appropriate design and wind speed.</p> | <p>Gutters and downpipes as determined in the contract documents shall be manufactured and installed in accordance with AS/NZS 3500.3 or the ABCB Housing Provisions Standard 2022 Part 7.4, per NCC Volume 2 H2D6.</p> <p>Materials used for flashings, fasteners, gutters and downpipes and shall be compatible</p> <p>Sarking under tile roof coverings must comply with and be fixed in accordance with ABCB Housing Provisions Standard 2022 Part 7.3.4 or AS2050. Where required an anti-ponding device or board shall be installed per ABCB Housing Provisions Standard 2022 Part 7.3.5 or AS2050.</p> <p>Flashings shall comply with, and be installed in accordance with the ABCB Housing Provisions Standard 2022 Part 7.2.7 or AS1562.1 for metal roofs; and ABCB Housing Provisions Standard 2022 Part 7.3.3 or AS2050 for tiled roofs.</p> <p><u>MASONRY</u> All masonry construction and shall comply with AS3700, or AS4773.1 and AS4773.2, or ABCB Housing Provisions Standard 2022 Parts 5.2 to 5.7 as relevant, per NCC 2022 Volume 2 H1D5 and H1D4.</p> <p>Masonry units shall comply with AS3700, or AS4773.1 and AS4773.2, or ABCB Housing Provisions Standard 2022 Part 5.6.2.</p> <p>Concrete blocks are to be machine pressed, of even shape, well cured and shall comply with NCC Volume 2 H1D5 and H2D4. Concrete blockwork shall be constructed in accordance with NCC Volume 2 H1D5 and H2D4.</p> <p>Autoclaved aerated concrete blocks shall be in accordance with the manufacturer's product specification at the time the work is being carried out. Autoclaved aerated concrete wall cladding shall be in accordance with ABCB Housing Provisions Standard 2022 Part 7.5 or AS5146.1 per NCC Volume 2 H1D7(4).</p> <p>All damp proof course materials and installations shall comply with ABCB Housing Provisions Standard 2022 Part 5.7.3 and 5.7.4, or AS3700, or AS4773.1 and AS4773.2.</p> <p>The damp proof membrane shall be visible in the external face of the masonry in which it is placed and shall not be bridged by any applied coatings, render or the like.</p> <p>Where required open vertical joints (weepholes) must be created in the course immediately above any Damp Proof Course or flashing at centres in accordance with ABCB Housing Provisions Standard 2022 Part 5.7.5, or AS3700, or AS4773.1 and AS4773.2.</p> <p>Cavities for masonry veneer shall be in accordance with the ABCB Housing Provisions Standard 2022 Part 5.7.2, or AS3700, or AS4773.1 and AS4773.2.</p> | <p>Mortar mixes and joint tolerances shall comply with ABCB Housing Provisions Standard 2022 Parts 5.6.3 and 5.6.4, or AS3700, or AS4773.1 and AS4773.2. Masonry accessories shall comply with ABCB Housing Provisions Standard 2022 Part 5.6</p> <p>Vertical articulated joints shall be constructed in accordance with ABCB Housing Provisions Standard 2022 Part 5.6.8, or AS3700, or AS4773.1 and AS4773.2.</p> <p>Veneer wall ties shall comply with ABCB Housing Provisions Standard 2022 Part 5.6.5 and AS/NZS2699.1, or AS3700 or AS4773.1 and AS4773.2.</p> <p>Lintels used to support masonry above openings in walls shall comply with ABCB Housing Provisions Standard 2022 Part 5.6.7, or AS3700 or AS4773.1 and AS4773.2, per NCC Volume 2 H1D5(1). Alternatively, lintels shall comply with ABCB Housing Provisions Standard 2022 Part 6.3.5 or AS4100 per NCC Volume 2 H1D6(3). Lintels are to be provided to each wall leaf and are to be corrosion protected to a degree appropriate for the site environment and location of the lintel within the structure, in accordance with ABCB Housing Provisions Standard 2022 Part 5.6.7, or AS3700 or AS4773.2. The durability class shall be as defined in AS2699.3. Engaged piers in masonry construction shall comply with the relevant provisions of ABCB Housing Provisions Standard 2022 Parts 5.2.6 (masonry veneer) or 5.4.2 (unreinforced single leaf masonry), or AS3700, or AS4773.1 and AS4773.2. Isolated masonry piers shall comply with ABCB Housing Provisions Standard 2022 Part 5.5, or AS4773.1 and AS4773.2, or AS3700 as modified by NCC Volume 2 H1D5.</p> <p>All exposed face brickwork shall be cleaned with an approved cleaning system. Care should be taken not to damage brickwork or joints and other fittings.</p> <p><u>CLADDING & LININGS</u> Timber and composite external wall cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details or ABCB Housing Provisions Standard 2022 Part 7.5, per NCC Volume 2 H1D7(4).</p> <ul style="list-style-type: none"> Where required, the specified materials shall be used to line soffits at eaves, open verandas and porches in accordance with ABCB Housing Provisions Standard 2022 Part 7.5.5. Flashings to openings in external walls shall comply with ABCB Housing Provisions Standard Part 7.5.6. Parapet cappings shall comply with ABCB Housing Provisions Standard 2022 Part 7.5.8. Ground clearances for external cladding shall comply with ABCB Housing Provisions Standard 2022 Part 7.5.7. Autoclaved aerated concrete wall cladding shall be designed and constructed in accordance with AS5146.1. <p>Metal wall cladding shall be in accordance with AS1562.1 per NCC Volume 2 H1D7(5).</p> | <p>Unless otherwise specified, internal linings to walls and ceilings in other than wet areas shall be of gypsum plasterboards</p> <p>Plasterboard shall be fixed to studs to facilitate a smooth set finish. Internal angles to walls are to be set from floor to ceiling.</p> <p>Where specified, the joint treatment shall be fixed at the junction of all walls and ceilings. Alternatively the joint treatment required for vertical internal angles.</p> <p>Wet area linings are to be fixed in accordance with the manufacturer's recommendations. The ceiling access hole shall be of similar material to the adjacent ceiling.</p> <p><u>JOINERY</u> All joinery work (metal and timber) shall be manufactured and installed according to accepted building practices.</p> <p>External door frames shall be suitable for the exposed conditions and to receive doors. Internal jamb linings shall be suitable to receive doors as specified in the contract documents. Manufactured door frames shall be installed in accordance with the manufacturer's instructions.</p> <p>All internal and external timber door and door sets shall be installed in accordance with accepted building practice and specific manufacturer's instructions.</p> <p>Sliding and other aluminium windows and doors shall be installed in accordance with manufacturer's recommendations and AS2047. All glazing shall comply with ABCB Housing Provisions Standard Part 8.2, AS2047 or AS1288, per NCC Volume 2 H1D8, and any commitments outlined in the relevant BASIX Certificate. Architraves and skirting as nominated on the plans or listed in the Schedule of Works shall be installed in accordance with accepted building practice. Units shall be installed to manufacturer's recommendations. Bench tops shall be of a water resistant material.</p> <p><u>SERVICES</u> All plumbing shall comply with the requirements of NCC Volume 3 and the relevant supply authority. All work shall be carried out by a licensed plumber. Fittings, as listed in the Schedule of Works, shall be supplied and installed to manufacturer's specifications. Fittings, hot water systems and any rainwater harvesting systems shall be appropriate to satisfy any commitment outlined in the relevant BASIX Certificate. All electrical work is to be carried out by a licensed electrical contractor to AS/NZS3000 Electrical installations (known as the Australian/New Zealand Wiring Rules) plus any other relevant regulations. The location of lights, switches, power points and the like, is to be nominated in the contract documents. Unless otherwise specified, the electrical service shall be 240 volt, single phase supply. All installation (including LPG) shall be carried out in accordance with AS5601.1, the relevant regulations and the rules and requirements of the relevant supply authority.</p> | <p><u>FIRE SAFETY</u> Where required for fire performance the selection of materials, design and installation shall comply with the provisions of ABCB Housing Provisions Standard 2022 Part 9, per NCC Volume 2 Part H3</p> <p>Construction of external wall shall comply with ABCB Housing Provisions Standard 2022 Part 9.2.</p> <p>Construction of separating walls and floors shall comply with ABCB Housing Provisions Standard 2022 Part 9.3.</p> <p>Construction of any garage top dwelling in NSW shall comply with ABCB Housing Provisions Standard 2022 NSW Part 9.4.</p> <p>Smoke and heat alarms shall be installed in accordance with ABCB Housing Provisions Standard 2022 NSW Part 9.5.1, and Parts 9.5.2 to 9.5.4.</p> <p>Where required evacuation lighting shall be installed in accordance with ABCB Housing Provisions Standard 2022 Part 9.5.5.</p> <p><u>HEALTH & AMENITY</u> All internal wet areas are to be waterproofed in accordance with NCC Volume 2 H4D2 and H4D3. Waterproofing shall comply with:</p> <ul style="list-style-type: none"> ABCB Housing Provisions Standard 2022 Part 10.2; or AS3740 and Clauses 10.2.1 to 10.2.6 and Clause 10.2.12 of the ABCB Housing Provisions Standard 2022; or the manufacture installation guides when listed in the Schedule of Works. <p>External tiled decks and balconies, and roofing systems outside the scope of NCC Volume 2 H1D7(2) and (3), where required are to be waterproofed in accordance with AS4654.1 and AS4654.2 and relevant manufacturer's specifications, per NCC Volume 2 2022 H2D8.</p> <p>Room heights shall comply with ABCB Housing Provisions Standard 2022 Part 10.3, per NCC Volume 2 H4D4.</p> <p>The building facilities shall be installed as indicated on the plan, or in accordance with ABCB Housing Provisions Standard 2022 Part 10.4, per NCC Volume 2 H4D5.</p> <p>Natural and artificial lighting shall be installed as indicated on the plans, or in accordance with ABCB Housing Provisions Standard 2022 Part 10.5, per NCC Volume 2 H4D6.</p> <p>Ventilation shall be installed as indicated on the plans, and shall comply with ABCB Housing Provisions Standard 2022 Part 10.6 or AS1668.2, per NCC Volume 2 H4D7.</p> <p>Where required sound insulation shall comply with ABCB Housing Provisions Standard 2022 Part 10.7, per NCC Volume 2 H4D8.</p> <p>For construction approval applications submitted on or after 1 October 2023, condensation management shall be provided in accordance with ABCB Housing Provisions Standard 2022 Part 10.8, per NCC 2022 Volume 2 H4D9.</p> | | | | | | | | |
| <p>ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS.</p> | <p>HOUSE NAME: Custom</p> <p>FACADE: Modern</p> <p>SPECIFICATION: STANDARD</p> <p>SCALE @ A3:</p> <p>GARAGE HAND: Recr</p> | <p>CLIENT'S NAME: Mr. Sukhwinder Singh Mrs. Harinder Kaur</p> <p>SITE ADDRESS: Lot 2452 - in DP 1274624 57A Seventh Avenue & Ganugan Road Austral, NSW 2179</p> | <p>SHEET NAME: NCC REQUIREMENTS</p> <table border="1"> <tr> <td>DRAWN: TB</td> <td>JOB NO: 25196</td> <td>REV NO: 7</td> </tr> <tr> <td>CHECKED:</td> <td>DATE: 25.02.26</td> <td>SHEET: 3</td> </tr> <tr> <td colspan="2">PROJECT STAGE: CDC Application</td> <td>APPLY TO LODGE:</td> </tr> </table> | DRAWN: TB | JOB NO: 25196 | REV NO: 7 | CHECKED: | DATE: 25.02.26 | SHEET: 3 | PROJECT STAGE: CDC Application | | APPLY TO LODGE: |  |  <p>P: (02) 7252-5330 E: info@sdcdd.com.au A: Suite 106, Level 1 351 Oran Park Drive, Oran Park Nsw 2570. W: sdcdd.com.au</p> | <p>CLIENT'S SIGNATURE _____</p> <p>DATE _____</p> <p>I accept and understand the plans and documents that have been provided to me by Sydney Drafting & Design Pty Ltd.</p> <p>ALL RIGHTS RESERVED. This plan is the property of Sydney Drafting & Design Pty Ltd. Copyright in this document is owned by Sydney Drafting & Design Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Sydney Drafting & Design Pty Ltd.</p> <p>© COPYRIGHT</p> |
| DRAWN: TB | JOB NO: 25196 | REV NO: 7 | | | | | | | | | | | | | |
| CHECKED: | DATE: 25.02.26 | SHEET: 3 | | | | | | | | | | | | | |
| PROJECT STAGE: CDC Application | | APPLY TO LODGE: | | | | | | | | | | | | | |

Simple Cert
 Referenced: **SDCC-0905/01**
 Date: **12/05/2026**
Andrew Guirgis
 Principal Certifier **BDCC2822**
 Consultant who prepared this document
 Remains responsible for accuracy

Specification Notes

Where required a pliable building membrane shall comply with, and be installed in accordance with the following:

- NCC Volume 2 2019 Amendment1Part 3.8.7.2 (applications made prior to 1 October 2023); or
- ABCB Housing Provisions Standard 2022 Part 10.8.1 (applications made from 1 October 2023).
- When required a ventilated roof space shall be provided in accordance with:
- NCC Volume 2 2019 Amendment1Part 3.8.7.4 (applications made prior to 1 October 2023); or
- ABCB Housing Provisions Standard 2022 Part 10.8.3 (applications made from 1 October 2023).

SAFE MOVEMENT & ACCESS

Design and construction of stairways and ramps shall comply with ABCB Provisions Standard 2022 Part 11.2, per NCC Volume 2 H5D2.

Design and construction of barriers and handrails shall comply with ABCB Housing Provisions Standard 2022 Part 11.3, per NCC Volume 2 H5D3. In bedrooms, openable windows shall be protected in accordance with ABCB Housing Provisions Standard 2022 Part 11.3.7. In rooms other than bedrooms, openable windows shall be protected in accordance with ABCB Housing Provisions Standard 2022 Part 11.3.8.

ENERGY EFFICIENCY

For development consent applications submitted before 1 October 2023 and for alterations and additions, provision and installation of energy efficiency measures shall be as outlined within the BASIX certificate per NCC Volume 2 2019 Amendment 1 NSW Addition NSW 2, and where not defined by BASIX shall comply with NCC Volume 2 2019 Amendment 1, NSW Part 3.12.1, NSW Part 3.12.2, NSW 3.12.3, NSW Part 3.12.4 and NSW Part 3.12.5.

For development consent applications submitted on or after 1 October 2023, provisions and installation of energy efficiency measures shall be as outlined within the BASIX certificate per NCC Volume 2 2022 NSW Part H6, and where not defined by BASIX shall comply with ABCB Housing Provisions Standard 2022 NSW Part 13.2, NSW Part 13.4 and NSW Part 13.7, per NCC Volume 2 2022 NSW Part H6D2.

Where thermal insulation is used in the building fabric or services, such as air conditioning ducting or hot water systems, it shall be installed in accordance with manufacturer's recommendations to e the R-Values required by the NCC or as outlined in the relevant BASIX Certificate for NSW.

ANCILLARY FEATURES

Where the Builder is required by the Schedule of Works annexed to this Specification, the Builder shall construct any swimming pool as shown on the approved plans. Where constructed a swimming pool shall be provided with safety barriers in accordance with AS1926.1 and AS1926.2, or Clause 9 of the Swimming Pools Regulation 2018 for spa pools, per NCC Volume 2 2022 NSW H7D2(1). The recirculation system shall comply with AS1926.3 per NCC Volume 2 2022 NSW H7D2(2).

Where a swimming pool is not included in the Schedule of Works, the construction of any swimming pool and associated safety barriers and recirculation systems shall be the responsibility of the Owner.

Where a balcony or deck is attached to an external wall it shall comply with ABCB Housing Provisions d 2022 Part 12.3, per NCC Volume 2 H1D11 or the engineered specifications. d 2022 Part 12.3, per NCC Volume 2 H1D11 or the engineered specifications.

Where the Builder is required by the Schedule of Works annexed to this Specification, the construction or installation of a boiler, pressure vessel, fireplace or heating appliance shall comply with AS/NZS2918 or ABCB Housing Provisions Standard 2022 Part 12.4, per NCC Volume 2 H7D5.

Where not included in the Schedule of Works, the construction and installation of any fireplace or heating appliance shall be the responsibility of the Owner.

In alpine areas construction shall comply with ABCB Housing Provisions Standard 2022 Part 12.2, per NCC Volume 2 H7D3.

In bushfire prone areas construction shall comply with AS3959, or NASH Standard - Steel Framed Construction in Bushfire Areas; except as amended by Planning for Bushfire Protection and as modified by development consent following consultation with the NSW Rural Fire Service, or bushfire safety authority for the purposes of integrated development, per NCC Volume 2 2022 NSW H7D4.

In flood hazard areas, construction shall comply with ABCB Standard for Construction of Buildings in Flood Hazard Areas, per NCC Volume 2 H1D10. Flood Hazard Areas, per NCC Volume 2 H1D10.

TILING

Tiles shall be as listed in the Schedule of Works or as selected by the Owner. Cement mortar and other adhesives shall comply with AS3958.1 or tile manufacturer's specifications.

Installation of tiles shall be in accordance with AS3958.1 or the manufacturer's recommendations and accepted building practices.

Where practicable, spacing between tiles should be even and regular.

Expansion joints shall be installed in accordance with AS3958.1 or the tile manufacturer's specifications.

All vertical and horizontal joints between walls and fixtures e.g. bench top, bath, etc. and wall/floor junctions shall be filled with flexible mould resistant sealant.

All joints in the body of tiled surfaces shall be neatly filled with appropriate grout material as specified by the tile manufacturer or accepted building practice.

As tiles are made of natural products a slight variation in colour is acceptable.

Tiles are to be fixed to the substrate with adhesives that are compatible with the substrate and any waterproofing material.

Wall surfaces shall be tiled with selected tiles and accessories where indicated by the contract documents.

Floors shall be tiled to areas where indicated by the contract documents with selected tiles. Tiles shall be laid in a sand and cement mortar or using an adhesive, where required, edge strips or angle to exposed edges in doorways or hob-less showers in wet areas shall be provided in accordance with BCB Housing Provisions Standard 2022 Part 10.2 or AS3740, per NCC Volume 2 H4D2 and H4D3. Adequate falls shall be provided to floor wastes in accordance with ABCB Housing Provisions Standard 2022 Part 10.2.12.

PAINTING

All paint used shall be of a quality suitable for the purpose intended and the application shall be as per the manufacturer's specifications. The colours used shall be as listed in the Schedule of Works or other relevant contract document. All surfaces to be painted shall be properly prepared to manufacturer's instructions.

Simple Cert
Reference: SC25-0305/01
Date: 12/03/2026

Andrew Guirgis
Principal Certifier BDC2822
Consultant who prepared this document
remains responsible for accuracy.

| | | | | | | | | | | |
|---|-----------------------------------|--|--|--------------------------|---------------------|--|--|--|----------------------------------|--|
| ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom | CLIENT'S NAME: Mr. Sukhwinder Singh Mrs. Harinder Kaur | SHEET NAME: NCC REQUIREMENTS | | | | | P: (02) 7252-5330 E: info@sdcd.com.au A: Suite 106, Level 1 351 Oran Park Drive, Oran Park, Nsw 2570. W: sdcd.com.au | ACCREDITED BUILDING DESIGNER | CLIENT'S SIGNATURE _____ |
| | FACADE: Modern | SITE ADDRESS: Lot 2452 - in DP 1274624 57A Seventh Avenue & Ganugan Road Austral, NSW 2179 | DRAWN: TB | JOB NO: 25196 | REV NO: 7 | | | | | I accept and understand the plans and documents that have been provided to me by Sydney Drafting & Design Pty Ltd. ALL RIGHTS RESERVED. This plan is the property of Sydney Drafting & Design Pty Ltd. Copyright in this document is owned by Sydney Drafting & Design Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Sydney Drafting & Design Pty Ltd. © COPYRIGHT |
| | SPECIFICATION: STANDARD | PROJECT STAGE: CDC Application | CHECKED: | DATE: 25.02.26 | SHEET: 4 | | | | | |
| | SCALE @ A3: | | GARAGE HAND: Recar | APPLY TO LODGE: | | | | | | |

BASIX™ Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Single Dwelling

Certificate number: 1831698S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Thursday, 05 February 2026
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NatHERS certificate 2CSNC3XTA1.

| Project summary | | |
|---------------------------|---------------------------------|-------------|
| Project name | 57A SEVENTH AVENUE | |
| Street address | 57A SEVENTH AVENUE AUSTRAL 2179 | |
| Local Government Area | Liverpool City Council | |
| Plan type and plan number | Deposited Plan DP1274624 | |
| Lot no. | 2452 | |
| Section no. | - | |
| Project type | dwelling house (detached) | |
| No. of bedrooms | 3 | |
| Project score | | |
| Water | ✓ 40 | Target 40 |
| Thermal Performance | ✓ Pass | Target Pass |
| Energy | ✓ 66 | Target 66 |
| Materials | ✓ -100 | Target n/a |

| Certificate Prepared by | |
|-------------------------|------------------------------|
| Name / Company Name: | Wollongong Energy Efficiency |
| ABN (if applicable): | 36 598 504 322 |

Description of project

| Project address | |
|--|---------------------------------|
| Project name | 57A SEVENTH AVENUE |
| Street address | 57A SEVENTH AVENUE AUSTRAL 2179 |
| Local Government Area | Liverpool City Council |
| Plan type and plan number | Deposited Plan DP1274624 |
| Lot no. | 2452 |
| Section no. | - |
| Project type | |
| Project type | dwelling house (detached) |
| No. of bedrooms | 3 |
| Site details | |
| Site area (m ²) | 253 |
| Roof area (m ²) | 173 |
| Conditioned floor area (m ²) | 92.1 |
| Unconditioned floor area (m ²) | 1.6 |
| Total area of garden and lawn (m ²) | 98 |
| Roof area of the existing dwelling (m ²) | 0 |

| Assessor details and thermal loads | | |
|--|------------|-------------|
| NatHERS assessor number | HERA10149 | |
| NatHERS certificate number | 2CSNC3XTA1 | |
| Climate zone | 28 | |
| Area adjusted cooling load (MJ/m ² .year) | 19 | |
| Area adjusted heating load (MJ/m ² .year) | 41 | |
| Project score | | |
| Water | ✓ 40 | Target 40 |
| Thermal Performance | ✓ Pass | Target Pass |
| Energy | ✓ 66 | Target 66 |
| Materials | ✓ -100 | Target n/a |

| Thermal Performance and Materials commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| Simulation Method | | | |
| Assessor details and thermal loads | | | |
| The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development. | | | |
| The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol. | | | |
| The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below. | | | |
| The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. | ✓ | ✓ | ✓ |
| The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. | | ✓ | ✓ |
| The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate. | ✓ | ✓ | ✓ |

| Thermal Performance and Materials commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| Construction | | | |
| The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below. | ✓ | ✓ | ✓ |
| The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below. | | | ✓ |

| Construction | Area - m ² | Insulation |
|---|-----------------------|--|
| floor - concrete slab on ground, waffle pod slab. | 108.7 | not specified |
| garage floor - concrete slab on ground, waffle pod slab. | 15 | not specified |
| external wall: brick veneer, frame: timber - untreated softwood. | all external walls | not specified+ foil/sarking |
| external garage wall: brick veneer, frame: timber - untreated softwood. | 27.6 | not specified |
| external garage wall: cavity brick, frame: no frame. | 8 | not specified |
| internal wall: plasterboard, frame: timber - untreated softwood. | 101.9 | not specified |
| ceiling and roof - flat ceiling / pitched roof, framed - metal roof, timber - untreated softwood. | 173.12 | ceiling: not specified; roof: not specified. |

| Thermal Performance and Materials commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| Glazing | | | |
| The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table. | ✓ | ✓ | ✓ |

| Frames | Maximum area - m ² |
|-----------|-------------------------------|
| aluminium | 30.08 |
| timber | 2.08 |
| uPVC | 0 |
| steel | 0 |
| composite | 0 |

| Glazing | Maximum area - m ² |
|---------|-------------------------------|
| single | 9.46 |
| double | 22.7 |
| triple | 0 |

| Energy Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| Hot water | | | |
| The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars. | ✓ | ✓ | ✓ |
| Cooling system | | | |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 1 star (average zone) | | ✓ | ✓ |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 1 star (average zone) | | ✓ | ✓ |
| Heating system | | | |
| The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 1 star (average zone) | | ✓ | ✓ |
| The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 1 star (average zone) | | ✓ | ✓ |
| Ventilation | | | |
| The applicant must install the following exhaust systems in the development: | | | |
| At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off | | ✓ | ✓ |
| Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off | | ✓ | ✓ |
| Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off | | ✓ | ✓ |
| Artificial lighting | | | |
| The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. | | ✓ | ✓ |
| Natural lighting | | | |
| The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting. | ✓ | ✓ | ✓ |

| Energy Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting. | ✓ | ✓ | ✓ |
| Other | | | |
| The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling. | | ✓ | |

| Legend | | | |
|--|--|--|--|
| In these commitments, "applicant" means the person carrying out the development. | | | |
| Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development). | | | |
| Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. | | | |
| Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued. | | | |

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

| Water Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| Fixtures | | | |
| The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development. | | ✓ | ✓ |
| The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development. | | ✓ | ✓ |
| The applicant must install taps with a minimum rating of 5 star in the kitchen in the development. | | ✓ | |
| The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development. | | ✓ | |
| Alternative water | | | |
| Rainwater tank | | | |
| The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. | ✓ | ✓ | ✓ |
| The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). | | ✓ | ✓ |
| The applicant must connect the rainwater tank to: | | | |
| • all toilets in the development | | ✓ | ✓ |
| • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) | | ✓ | ✓ |

| | | | | | | | | |
|--|-----------------------------------|--|--|--|--|---|--------------------------|---------------------|
| ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom | CLIENT'S NAME: Mr. Sukhwinder Singh Mrs. Harinder Kaur | SHEET NAME: BASIX | | | CLIENT'S SIGNATURE _____ DATE _____ I accept and understand the plans and documents that have been provided to me by Sydney Drafting & Design Pty Ltd. ALL RIGHTS RESERVED. This plan is the property of Sydney Drafting & Design Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Sydney Drafting & Design Pty Ltd. © COPYRIGHT | | |
| | FACADE: Modern | SITE ADDRESS: Lot 2452 - in DP 1274624 57A Seventh Avenue & Ganugan Road Austral, NSW 2179 | DRAWN: TB | | | | JOB NO: 25196 | REV NO: 7 |
| | SPECIFICATION: STANDARD | | CHECKED: | | | | DATE: 25.02.26 | SHEET: 5 |
| | SCALE @ A3: | GARAGE HAND: Rear | PROJECT STAGE: CDC Application | | | | APPLY TO LODGE: | |
| P: (02) 7252-5330 E: info@sdcd.com.au A: Suite 106, Level 1 351 Oran Park Drive, Oran Park, Nsw 2570. W: sdcd.com.au | | | | | | | | |

Simple Cert
 Reference: SC25-0305/01
 Date: 12/03/2026

Andrew Guirgis
 Principal Certifier BDC2822
 Consultant who prepared this document
 remains responsible for accuracy.

BASIX Commitments

| | |
|-------------------------|------------------|
| Assessor | Jacob Guarnaccia |
| Date | 5/02/2024 |
| BASIX Certificate No. | 18316985 |
| NATHERS Certificate No. | 2C5NC3XTA1 |

Project details

| | |
|---------|---------------------------------|
| Address | 57A SEVENTH Avenue AUSTRAL 2179 |
| Council | Liverpool City Council |

Thermal Comfort

| | | |
|--------------------------------------|--|-------------|
| Floors | 225mm Waffle Pod | |
| Ceiling Between Floors | N/A | |
| External Walls | BRICK VENEER - R2.7 + Reflective Foil (Dark) | |
| Internal Walls | R2.5 to internal garage & laundry walls | |
| Ceilings Below Roof | R6.0 + R3.0 to edge batts where required | |
| Roof | R1.3 (Light) | |
| Windows: | U-Value | SHGC |
| ESS Sliding Window (52mm) SG 4EA | 4.57 | 0.63 |
| ESS Awning Window (52mm) SG 4EA | 5 | 0.54 |
| Aluminium Sliding Window DG 4EA-6-4 | 3.99 | 0.51 |
| Al Sliding Door DG 4EA/12/4 | 3.4 | 0.53 |
| ESS Awning Window (52mm) DG 4EA-12-4 | 3.77 | 0.47 |
| Cedar Hinged Door SG 4EA | 2.89 | 0.48 |
| Skylights: | N/A | N/A |

Water

| | |
|--------------------|-------------------------------|
| Landscape Area | 98m ² |
| Shower Heads | 4 star (+ 6 but <= 7.5 L/min) |
| Toilets | 4 star |
| Kitchen Taps | 5 star |
| Basin Taps | 5 star |
| Alternative Water | 3,000L Rainwater Tank |
| Roof Water to Tank | 100m ² |
| Alt. Water Uses | Garden Tap & Toilets |
| Pool | N/A |

Energy

| | |
|-------------|--|
| Hot Water | Gas Instant 6 star |
| AC | 1-Phase ducted A/C 1 star |
| Ventilation | Kitchen, Laundry & Bath ducted to roof |
| PV System | N/A |
| Cooking | Gas Cooktop & Electric Oven |
| Drying | N/A |
| Lighting | N/A |

Email: jacob@wollongongenergyefficiency.com

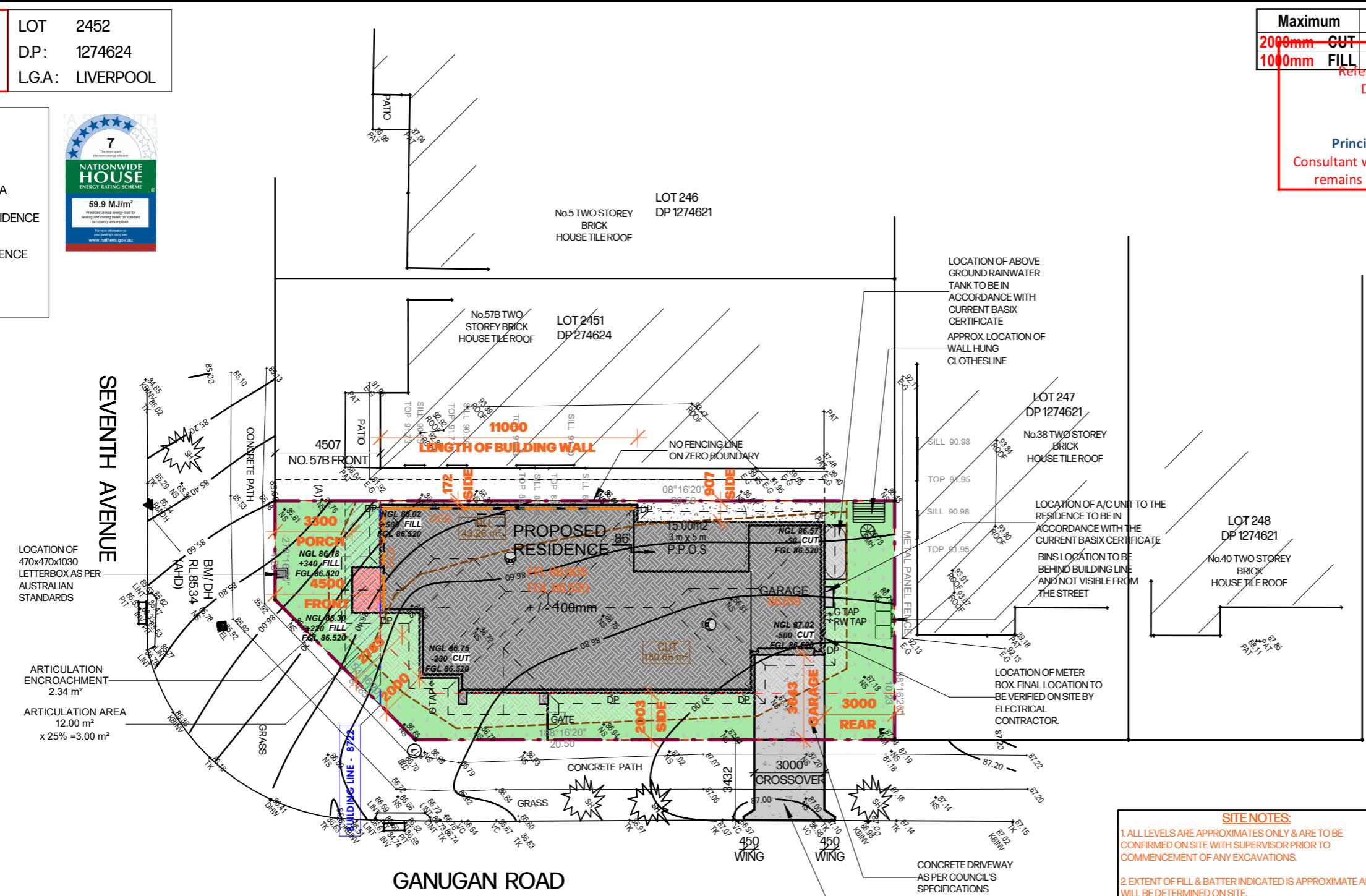
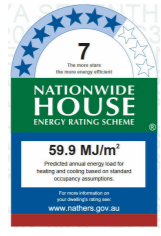
ABN: 36 598 504 322

| | | | | | | | | | |
|---|---|--|---|---|---|---|---|---|---|
| ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom FACADE: Modern SPECIFICATION: STANDARD SCALE @ A3: _____ GARAGE HAND: Rear | CLIENT'S NAME: Mr. Sukhwinder Singh Mrs. Harinder Kaur SITE ADDRESS: Lot 2452 - in DP 1274624 57A Seventh Avenue & Ganugan Road Austral, NSW 2179 | SHEET NAME: BASIX DRAWN: TB JOB NO: 25196 REV NO: 7 CHECKED: DATE: 25.02.26 SHEET: 6 PROJECT STAGE: CDC Application APPLY TO LODGE: |  |  | P: (02) 7252-5330 E: info@sdcd.com.au A: Suite 106, Level 1 351 Oran Park Drive, Oran Park Nsw 2570. W: sdcd.com.au |  |  | CLIENT'S SIGNATURE _____ DATE _____ I accept and understand the plans and documents that have been provided to me by Sydney Drafting & Design Pty Ltd. ALL RIGHTS RESERVED. This plan is the property of Sydney Drafting & Design Pty Ltd. Copyright in this document is owned by Sydney Drafting & Design Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Sydney Drafting & Design Pty Ltd. © COPYRIGHT |
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CDC APPLICATION:
 ALL DIMENSIONS TO BE CHECKED & CONFIRMED PRIOR TO CONSTRUCTION BY BUILDER.

LOT 2452
 D.P.: 1274624
 L.G.A.: LIVERPOOL

- LEGEND:**
- GRASS AREA
 - HARDSTAND/ CONCRETE AREA
 - PROPOSED RESIDENCE
 - EXISTING RESIDENCE
 - PEBBLES



| Maximum | Proposed |
|-------------|----------|
| 2000mm CUT | 500mm |
| 1000mm FILL | 500mm |

Reference: SC25-0305/00
 Date: 12/03/2026

Andrew Guirgis
 Principal Certifier BDC2892
 Consultant who prepared this document remains responsible for accuracy

WIND CLASSIFICATION: "TBC"
 SLAB CLASSIFICATION: "H1"

PROPERTY DESCRIPTION
 LGA: LIVERPOOL

GREENFIELD HOUSING CODE
 COMPLYING DEVELOPMENT CERTIFICATE REFER TO HOUSING CODE FOR REQUIREMENTS.

SITE CALCULATIONS

| | |
|---|-----------------------|
| SITE AREA | 253.10 m ² |
| LOT WIDTH | 8.722m |
| BALCONY AREA | 0.00 m ² |
| GROSS FLOOR AREA | |
| *GARAGE G.F.A EXCLUDES 1 CAR PARKING SPACE (18m ²) | |
| *EXCLUDES: BASEMENTS, STORAGE, VEHICLE ACCESS, TERRACES & BALCONIES WITH OUTER WALLS <1.4M HIGH AND VOIDS | |
| GROUND FLOOR G.F.A: | 97.27 m ² |
| FIRST FLOOR G.F.A: | 0.00 m ² |
| GARAGE G.F.A: 15.11 m ² - 1xCAR SPACE = | 0.00 m ² |
| GROSS FLOOR AREA TOTAL: | 97.27 m ² |
| MAX. GROSS FLOOR AREA: | 189.83 m ² |
| LANDSCAPE | |
| GROUND FLOOR: | 108.02 m ² |
| GARAGE: | 18.64 m ² |
| PORCH/VERANDAH: | 2.34 m ² |
| ALFRESCO: | 9.08 m ² |
| PROPOSED FOOTPRINT: | 138.08 m ² |
| EXISTING STRUCTURES: | 0.00 m ² |
| DRIVEWAY / PATHWAY: | 11.25 m ² |
| LANDSCAPE LESS THAN 1.5m WIDE: | 5.39 m ² |
| TOTAL LANDSCAPE AREA: (38.87%) | 98.38 m ² |
| LANDSCAPE MINIMUM: (1.5M WIDE)(10%) | 25.31 m ² |
| FRONT YARD LANDSCAPING: (35.51%) | 26.75 m ² |
| REAR YARD LANDSCAPING: (72.81%) | 71.63 m ² |
| FRONT LANDSCAPE MINIMUM: (25%) | 9.50 m ² |
| REAR LANDSCAPE MINIMUM: (50%) | 12.66 m ² |



- I. RETAINING WALL TO BE WHOLLY WITHIN PROPERTY
 - II. RETAINING WALL NOT TO REDIRECT THE FLOW OF ANY SURFACE WATER OR GROUND WATER, OR CAUSE SEDIMENT TO BE TRANSPORTED, ONTO AN ADJOINING PROPERTY
 - III. RETAINING WALL TO HAVE ADEQUATE DRAINAGE LINES CONNECTED TO THE STORMWATER DRAINAGE SYSTEM FOR THE SITE
 - IV. RETAINING WALL NOT TO HAVE A TOTAL HEIGHT MEASURED VERTICALLY FROM THE BASE OF THE RETAINING WALL OR STRUCTURAL SUPPORT TO ITS UPPERMOST PORTION THAT IS MORE THAN THE HEIGHT OF THE ASSOCIATED EXCAVATION OR FILL
 - V. RETAINING WALL TO BE INSTALLED IN ACCORDANCE WITH ANY MANUFACTURER'S SPECIFICATIONS
- NCC 2022 (BCA) & ABCB Housing Provisions items reflected on plans:
 A. Reference to NCC 2022 in notes & specifications - Remove any reference to NCC 2019
- B. Part 9.2 - Ensure brick boundary Wall extends to ends of bed 2 and living room - Important!
- C. Part 9.2 - Boundary Wall Notes:
 I. Boundary Wall to be Fire Rated from footing to underside of roof to comply with NCC & achieve an FRL of 60/60/60
 II. Boundary wall from footing to underside of the roof
 III. No services within boundary wall
 IV. Steel and timber beams not to penetrate boundary wall

ALL OFF - STREET CAR PARKING SPACES AND VEHICLE ACCESS MUST COMPLY WITH AS/NZS 2890.12004. PARKING FACILITIES, PART 1: OFF - STREET CAR PARKING.

- SITE NOTES:**
- ALL LEVELS ARE APPROXIMATES ONLY & ARE TO BE CONFIRMED ON SITE WITH SUPERVISOR PRIOR TO COMMENCEMENT OF ANY EXCAVATIONS.
 - EXTENT OF FILL & BATTER INDICATED IS APPROXIMATE AND WILL BE DETERMINED ON SITE.
 - SEDIMENT BARRIERS AND SILTATION CONTROL IS SITE SPECIFIC AND IS TO COMPLY WITH COUNCIL REQUIREMENTS.
 - EXISTING VEGETATION ON SITE TO BE REMOVED EXCEPT WHERE INDICATED TO BE RETAINED.
 - NO WATERWAY OR WATERCOURSES ON SITE.
 - TERMITE PROTECTION TO AS3660.
 - TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE

| | |
|---------------------------|----------------------|
| ARTICULATION ENCROACHMENT | 2.34 m ² |
| ARTICULATION AREA | 12.00 m ² |
| DRIVEWAY | 10.89 m ² |
| CROSSOVER | 10.60 m ² |

SITE INDUCTION
 BEFORE ENTERING SITE PLEASE REVIEW, AND MAKE YOURSELF FAMILIAR WITH EMERGENCY CONTACTS. SITE SPECIFIC HAZARDS AND THE SITE SPECIFIC INDUCTION INFORMATION THAT IS LOCATED ON THE SITE INDUCTION SIGN. IF YOU HAVE ANY TROUBLE UNDERSTANDING THIS INSTRUCTION, CONTACT THE SITE SUPERVISOR OR EMERGENCY CONTACT NUMBER LOCATED ON THE SIGN.

SITE SPECIFIC HAZARDS
 * OVERHEAD POWERLINES
 * EXISTING TREES



ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS.

HOUSE NAME: **Custom**
 FACADE: **Modern**
 SPECIFICATION: **STANDARD**
 SCALE @ A3: 1:200
 GARAGE HAND: **Rear**

CLIENT'S NAME:
Mr. Sukhwinder Singh
Mrs. Harinder Kaur

SITE ADDRESS:
 Lot 2452 - in DP 1274624
 57A Seventh Avenue & Ganugan Road
 Austral, NSW 2179

SHEET NAME:
 SITE PLAN

DRAWN: TB
 CHECKED: TB
 PROJECT STAGE: CDC Application

JOB NO: 25196
 DATE: 25.02.26
 APPLY TO LODGE: 7

REV NO: 7
 SHEET: 7

LETSWORK™

P: (02) 7252-5330
 E: info@sdcd.com.au
 A: Suite 106, Level 1 351 Oran Park Drive, Oran Park, Nsw 2570.
 W: sdcd.com.au

Design Matters
 National Building Designer
 ACCREDITED MEMBER

CLIENT'S SIGNATURE _____

DATE _____

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COMPLIANCE WITH PART 10.2 WET AREA WATERPROOFING

PART 10.2.2 SHOWER AREA (ENCLOSED AND UNENCLOSED)

- FOR SHOWER AREA WITH A HOB, STEP DOWN OR LEVEL THRESHOLD, THE FOLLOWING APPLIES:
 - THE FLOOR OF THE SHOWER AREA MUST BE WATERPROOF, INCLUDING AND HOB OR STEP-DOWN (SEE FIGURE 10.2.2); AND
 - THE WALLS OF THE SHOWER AREA MUST BE WATERPROOF NOT LESS THAN 1800mm ABOVE THE FLOOR SUBSTRATE (SEE FIGURE 10.2.2)
 - WALL/FLOOR JUNCTIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF (SEE FIGURE 10.2.2)
 - PENETRATIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF.
- A SHOWER WITH A PREFORMED SHOWER BASE MUST COMPLY WITH THE REQUIREMENTS OF (1), EXCEPT FOR (a) WHICH IS NOT APPLICABLE.

NOTES - WHERE A SHOWER IS ABOVE A BATH OR SPA, USE REQUIREMENTS FOR SHOWER.

PART 10.2.3 AREA OUTSIDE SHOWER AREA

- FOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORING, THE FLOOR OF THE ROOM MUST BE WATER RESISTANT.
- FOR TIMBER FLOORS INCLUDING PARTICLE BOARD, FLYWOOD AND OTHER TIMBER-BASED FLOORING MATERIALS, THE FLOOR OF THE ROOM MUST BE WATERPROOF.
- WALL/FLOOR JUNCTIONS MUST BE -
 - WATERPROOF AND
 - WHERE A FLASHING IS USED, THE HORIZONTAL LED MUST NOT BE LESS THAN 40mm

CDC APPLICATION:
ALL DIMENSIONS TO BE CHECKED & CONFIRMED PRIOR TO CONSTRUCTION BY BUILDER.



NOTES:
1. ALL PLUMBING SETOUT DIMENSIONS ARE FROM THE TIMBER FRAME.
2. INTERNAL ELEVATIONS ARE INDICATIVE ONLY. ALL CUPBOARD DIMENSIONS TO BE SITE MEASURED.
3. TRADESMAN TO ALLOW EXTRA 30-40mm FOR ANY MOUNTED TAPWARE HEIGHTS.

NOTE:
ARTICULATION JOINTS SHOWN ON PLAN ARE IN ACCORDANCE WITH ABCB HOUSING PROVISION PART 5.2.5

NOTE:
PROVIDE METHOD OF WATERPROOFING AS PER SIMPLIFIED WITH THE PART OF 10.2 OF THE ABCB HOUSING PROVISIONS 2.6 AND 10.2.12 OF THE ABCB HOUSING PROVISIONS STANDARD 2022.
Reference: SC25-0395/01
Date: 27/03/2026
Andrew Guirgis
Principal Certifier BDC2822
Consultant who prepared this document remains responsible for accuracy.

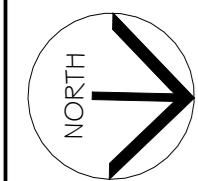
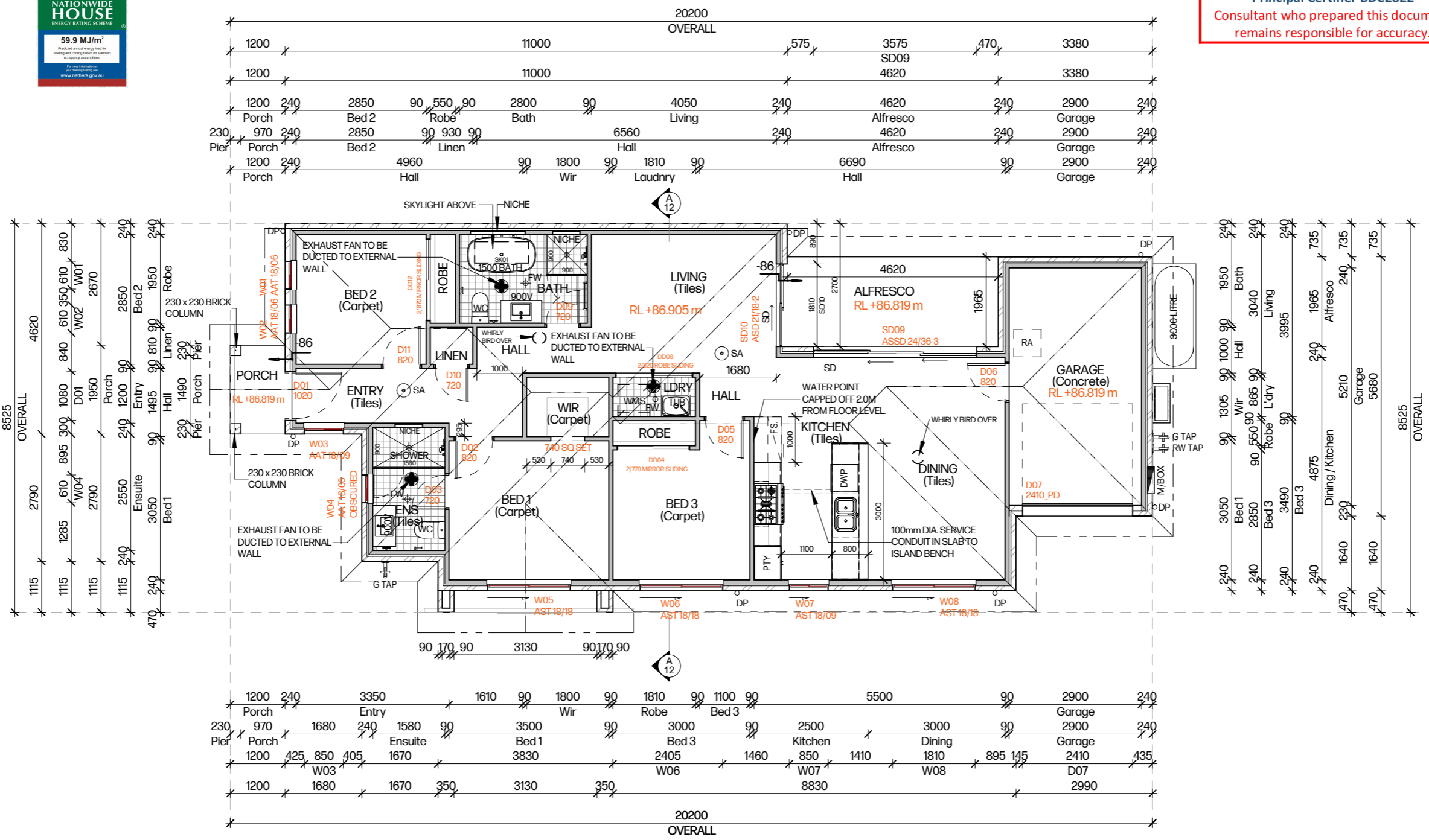
NOTE:
• ALL STEEL BEAMS AND COLUMNS IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DETAILS.
• CENTRE POINTS FOR KITCHEN SINKS AND STOVE MAY VARY. SUBJECT TO FINAL KITCHEN LAYOUT BY KITCHEN MANUFACTURER.
• WASTE STACKS TO BE VERIFIED ON SITE, PRIOR TO THE POUR OF CONCRETE SLAB.
• AC DUCT LOCATION TO BE VERIFIED ON SITE WITH CONTRACTOR.

CONSTRUCTION NOTES:

- ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT BASIX CERTIFICATE.
- ARTICULATION JOINTS TO BE A MAXIMUM OF 6.0M APART. TO ENGINEER'S DETAILS.
- ANY RETAINING WALL TO ENGINEER DETAILS.
- ALL WINDOWS TO COMPLY WITH BASIX CERTIFICATE.
- CHECK ALL DIMENSIONS PRIOR STARTING ANY WORK REPORT ANY DISCREPANCIES.
- NO ALLOWANCE HAS BEEN MADE FOR SHRINKAGE OR MILLING.
- POSITION OF METER BOX TO BE CONFIRMED ON SITE.
- LEVELS SHOWN ARE APPROXIMATE AND TO BE VERIFIED ON SITE BY SURVEYOR.
- FIGURED DIMENSIONS MUST TAKE PREFERENCE TO SCALING.
- DRAINAGE CONCEPT PLAN IS SCHEMATIC ONLY.
- RELATED WORKS TO BE VERIFIED BY LICENCES DRAINER OR HYDRAULIC ENGINEER PRIOR TO COMMENCEMENT OF ANY WORK.
- BUILDER IS TO STRICTLY COMPLY WITH ALL RELEVANT BUILDING CODE OF AUSTRALIA CONSTRUCTION REQUIREMENTS AND AUSTRALIAN STANDARDS.
- ALL DIMENSION ON ARCHITECTURAL PLANS ARE TIMBER FRAME TO TIMBER FRAME.

LEGEND:

| | |
|--|------------------------|
| | AIR CONDITIONING DUCTS |
| | SMOKE ALARM |
| | EXHAUST FAN |
| | GAS POINT |
| | LIFT OFF HINGES |
| | FLOOR JOIST DIRECTION |
| | GARDEN TAP LOCATION |
| | RAINWATER TAP LOCATION |
| | DOWN PIPE LOCATION |
| | FLOOR WASTE |
| | STEEL POST |
| | TELESCOPIC STEEL POST |
| | ARTICULATION JOINTS |



GROUND FLOOR PLAN

AREAS

| | |
|---------------|-----------------------|
| SITE: | 253.09 m ² |
| GROUND FLOOR: | 108.02 m ² |
| FIRST FLOOR: | 0.00 m ² |
| GARAGE: | 18.64 m ² |
| PORCH: | 2.34 m ² |
| BALCONY: | 0.00 m ² |
| ALFRESCO: | 9.08 m ² |
| TOTAL: | 138.08 m ² |
| SQUARES: | 14.86 SQ |

ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS.

HOUSE NAME: **Custom**
FACADE: **Modern**
SPECIFICATION: **STANDARD**
SCALE @ A3: 1:100
GARAGE HAND: **Rear**

CLIENT'S NAME:
Mr. Sukhwinder Singh
Mrs. Harinder Kaur

SITE ADDRESS:
Lot 2452 - in DP 1274624
57A Seventh Avenue & Ganugan Road
Austral, NSW 2179

SHEET NAME:
GROUND FLOOR PLAN

DRAWN: **TB** JOB NO: **25196** REV NO: **7**

CHECKED: DATE: **25.02.26** SHEET: **8**

PROJECT STAGE: **CDC Application** APPLY TO LODGE:

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A: Suite 106, Level 1 351 Oran Park Drive, Oran Park, Nsw 2570.
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CLIENT'S SIGNATURE _____

DATE _____

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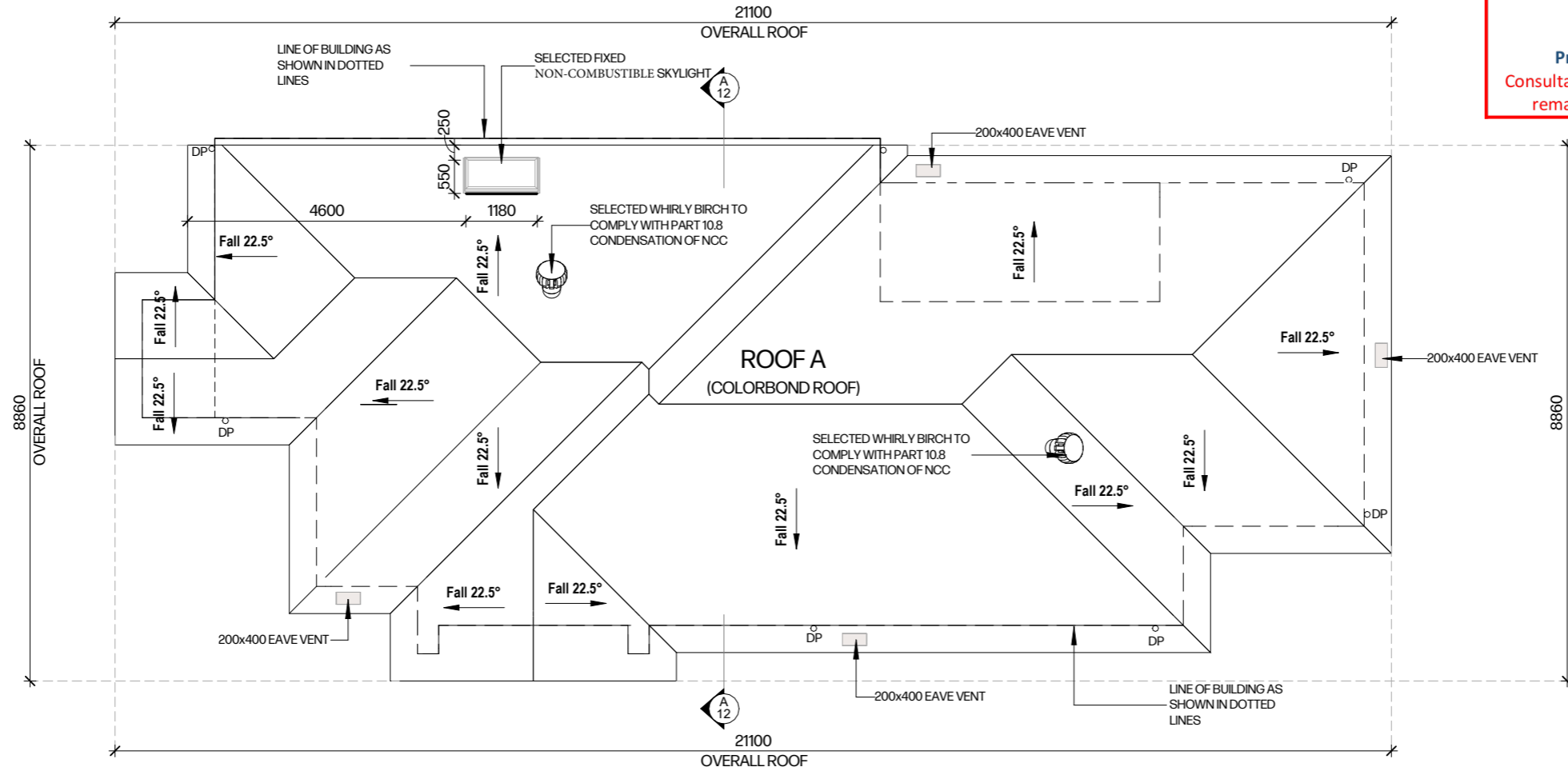
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Consultant who prepared this document remains responsible for accuracy.



- CONSTRUCTION NOTES:**
- ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT BASIX CERTIFICATE.
 - ARTICULATION JOINTS TO BE A MAXIMUM OF 6.0M APART, TO ENGINEER'S DETAILS.
 - ANY RETAINING WALL TO ENGINEER DETAILS.
 - ALL WINDOWS TO COMPLY WITH BASIX CERTIFICATE.
 - CHECK ALL DIMENSIONS PRIOR STARTING ANY WORK REPORT ANY DISCREPANCIES.
 - FINISHED GROUND LEVELS AS SHOWN ON PLAN ARE SUBJECT TO CURRENT SITE CONDITIONS.
 - ALL CALCULATED DIMENSIONS ARE SUBJECT TO SITE MEASURE DURING CONSTRUCTION.
 - NO ALLOWANCE HAS BEEN MADE FOR SHRINKAGE OR MILLING.
 - POSITION OF METER BOX TO BE CONFIRMED ON SITE.
 - LEVELS SHOWN ARE APPROXIMATE AND TO BE VERIFIED ON SITE BY SURVEYOR.
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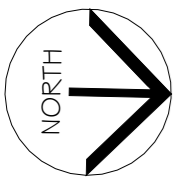
- NOTES:**
1. PLIABLE MEMBRANE TO HAVE A VAPOUR PERMEANCE OF NO LESS THAN 1.14ug/N.s AS REQUIRED BY THE NCC 2022 BCA VOL. 2 HOUSING PERVISIONS 10.8.1(2)(b).
 2. CEILING INSTALLATION TO HAVE A MINIMUM GAP OF 20mm BETWEEN INSULATION AND SARKING TO COMPLY WITH NCC 2022 VOL. 2 HOUSING PROVISIONS 10.8.3(1)(b).

PART 10.8 - CALCULATION - MAIN

| | |
|--|--------------------|
| EAVES VENTS (OPENNESS FACTOR OR FREE AIR - 350 cm) | |
| 7000 X 21100 m = | 147700 m /35,000 |
| = 4.22 | = 4 Eave Vents |
| HIGH LEVEL VENTS (OPENNESS FACTOR OR FREE AIR - 652 cm) | |
| 5000 mm/m X 21100 m = | 105500 m /65,200 |
| = 1.62 | = 2 Whirly Vent(s) |

ROOF SCHEDULE

| MARK | AREA | TYPE |
|--------------|-----------------------------|----------------|
| ROOF A | 172.05 m ² | COLORBOND ROOF |
| TOTAL | 172.05 m² | |

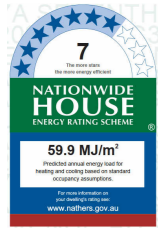


ROOF PLAN / EAVE VENTILATION DETAIL

| | | | | | | | | |
|---|-----------------------------------|--|---|--|--|--|--------------------------|--|
| ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom | CLIENT'S NAME: Mr. Sukhwinder Singh Mrs. Harinder Kaur | SHEET NAME: ROOF PLAN / EAVE VENTILATION DETAIL | | | | CLIENT'S SIGNATURE _____ | |
| | FACADE: Modern | SITE ADDRESS: Lot 2452 - in DP 1274624 57A Seventh Avenue & Ganugan Road Austral, NSW 2179 | DRAWN: TB | JOB NO: 25196 | | | REV NO: 7 | DATE _____ |
| | SPECIFICATION: STANDARD | GARAGE HAND: Rear | CHECKED: | DATE: 25.02.26 | | | SHEET: 9 | I accept and understand the plans and documents that have been provided to me by Sydney Drafting & Design Pty Ltd. ALL RIGHTS RESERVED. This plan is the property of Sydney Drafting & Design Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Sydney Drafting & Design Pty Ltd. © COPYRIGHT |
| | SCALE @ A3: 1:100 | PROJECT STAGE: CDC Application | APPLY TO LODGE: | P: (02) 7252-5330 E: info@sdcd.com.au A: Suite 106, Level 1 351 Oran Park Drive, Oran Park Nsw 2570. W: sdcd.com.au | | | | |

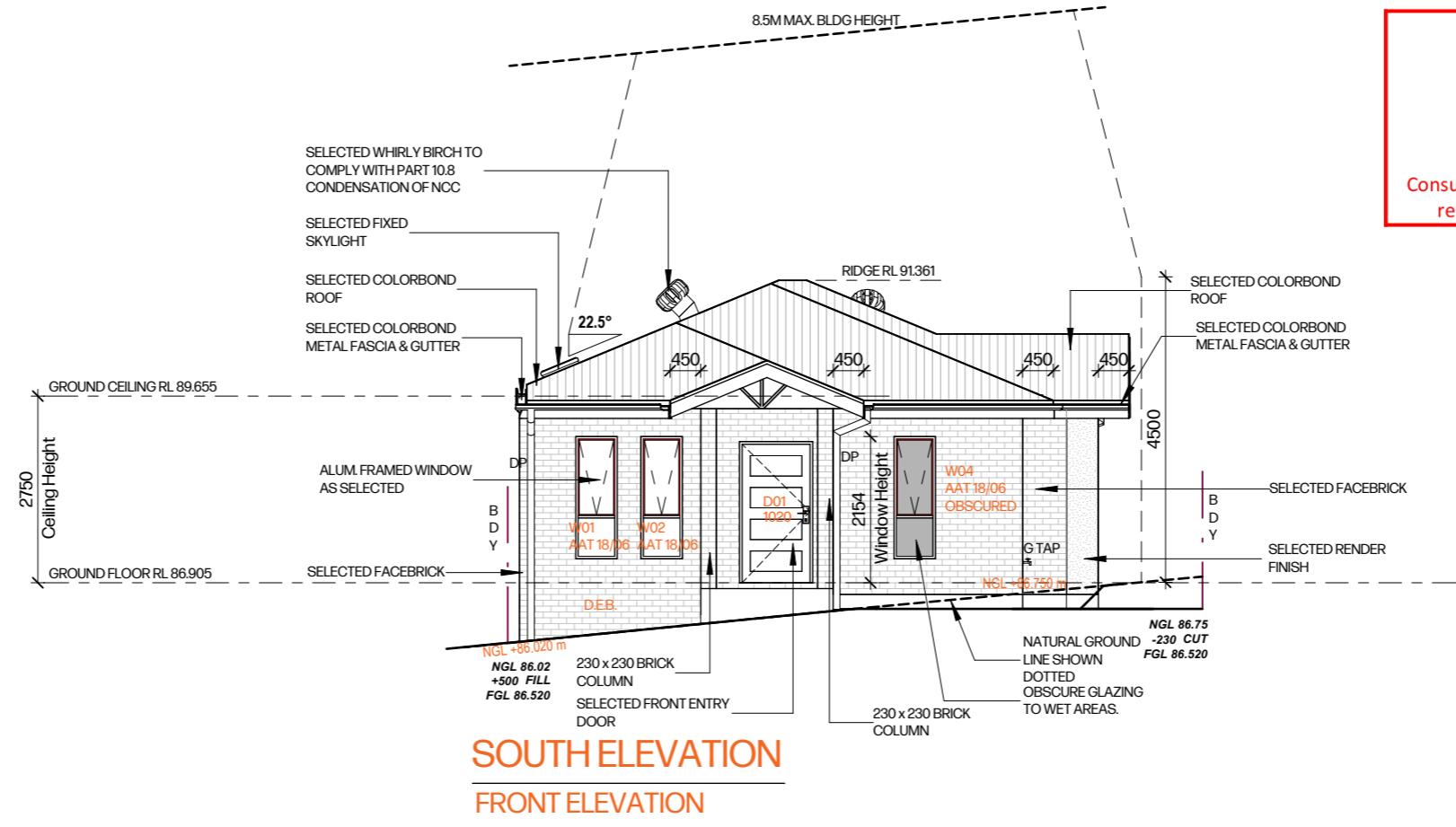
CDC APPLICATION:

ALL DIMENSIONS TO BE CHECKED & CONFIRMED PRIOR TO CONSTRUCTION BY BUILDER.

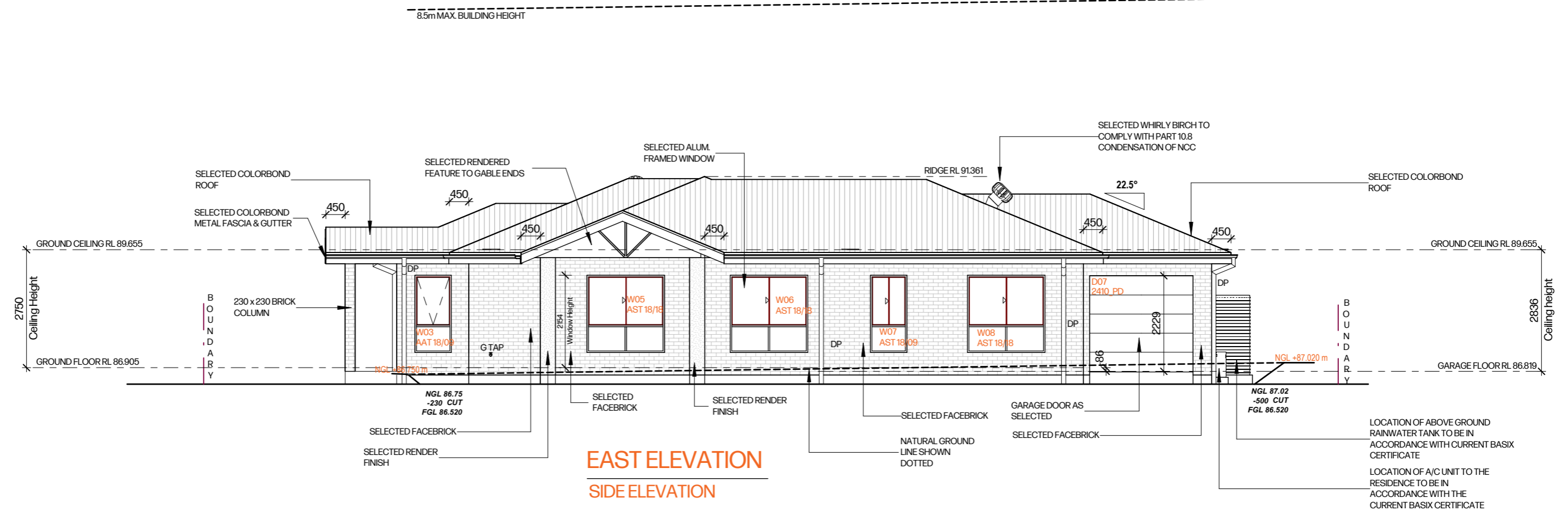


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SOUTH ELEVATION
FRONT ELEVATION

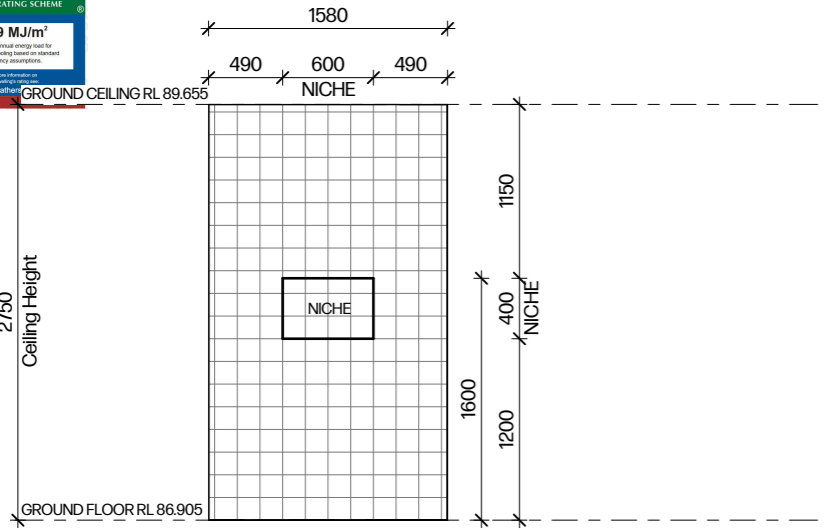
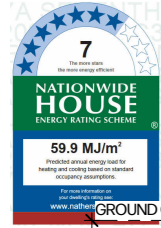


EAST ELEVATION
SIDE ELEVATION

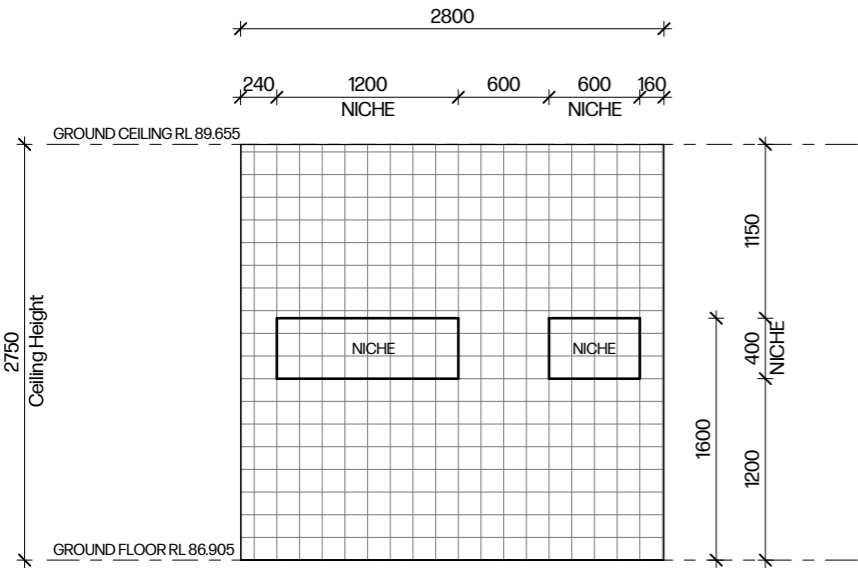
ELEVATIONS

| | | | | | | | | | |
|---|----------------|--|-----------------|---------|---|--|--|--|--------------------------|
| ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: | CLIENT'S NAME: | SHEET NAME: | | | P: (02) 7252-5330 E: info@sdcd.com.au A: Suite 106, Level 1 351 Oran Park Drive, Oran Park, Nsw 2570. W: sdcd.com.au | | | CLIENT'S SIGNATURE _____ |
| | FAÇADE: | Mr. Sukhwinder Singh Mrs. Harinder Kaur | ELEVATIONS | | | | | | DATE _____ |
| | SPECIFICATION: | SITE ADDRESS: | DRAWN: | JOB NO: | | | | | REV NO: |
| | STANDARD | Lot 2452 - in DP 1274624 57A Seventh Avenue & Ganugan Road Austral, NSW 2179 | TB | 25196 | | | | | 7 |
| SCALE @ A3: | GARAGE HAND: | CHECKED: | DATE: | SHEET: | ALL RIGHTS RESERVED. This plan is the property of Sydney Drafting & Design Pty Ltd. Copyright in this document is owned by Sydney Drafting & Design Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Sydney Drafting & Design Pty Ltd. © COPYRIGHT | LOCATION OF ABOVE GROUND RAINWATER TANK TO BE IN ACCORDANCE WITH CURRENT BASIX CERTIFICATE LOCATION OF A/C UNIT TO THE RESIDENCE TO BE IN ACCORDANCE WITH THE CURRENT BASIX CERTIFICATE | | | |
| 1:100 | Rear | PROJECT STAGE: | APPLY TO LODGE: | 10 | | | | | |

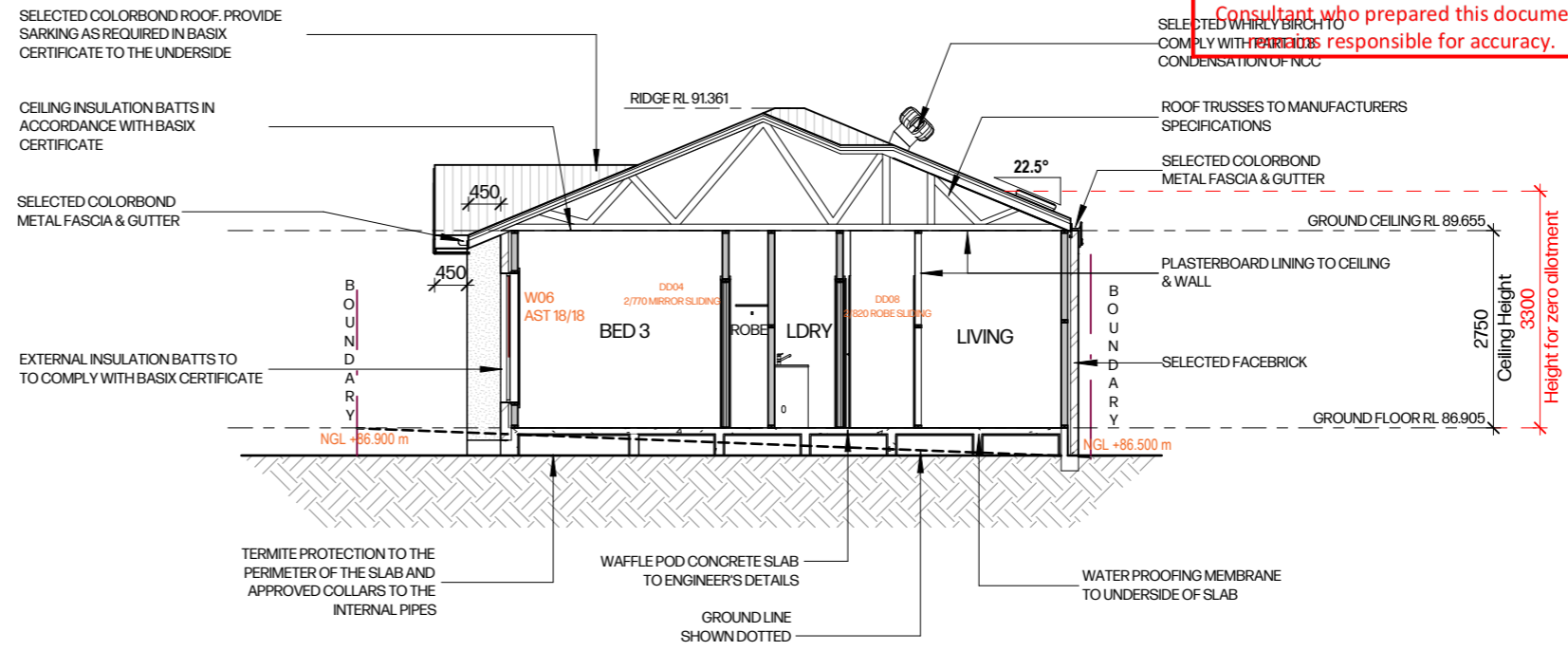
CDC APPLICATION:
ALL DIMENSIONS TO BE CHECKED & CONFIRMED PRIOR TO CONSTRUCTION BY BUILDER.



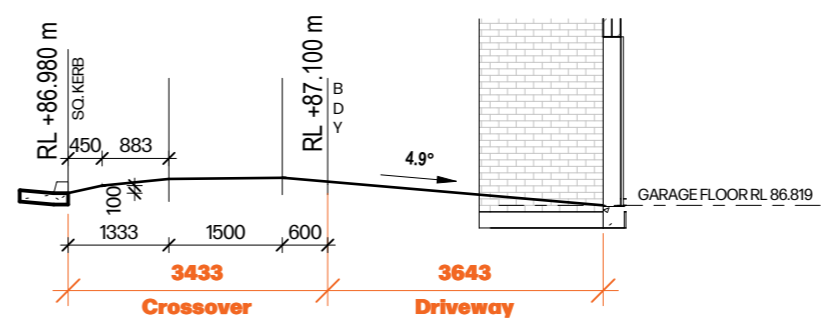
ENSUITE NICHE DETAIL
SCALE 1:50



BATH NICHE DETAIL
SCALE 1:50



SECTION A-A
SCALE 1:100



DRIVEWAY GRADIENT
SCALE 1:100

Simple Cert
Reference: SC25-0305/01
Date: 12/03/2026

Andrew Guirgis
Principal Certifier BDC2822
Consultant who prepared this document is responsible for accuracy.

- CONSTRUCTION NOTES:**
- ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT BASIX CERTIFICATE.
 - ARTICULATION JOINTS TO BE A MAXIMUM OF 6000 MM APART. TO ENGINEER'S DETAILS.
 - ANY RETAINING WALL TO ENGINEER DETAILS.
 - ALL WINDOWS TO COMPLY WITH BASIX CERTIFICATE.
 - CHECK ALL DIMENSIONS PRIOR STARTING ANY WORK REPORT ANY DISCREPANCIES.
 - FINISHED GROUND LEVELS AS SHOWN ON PLAN ARE SUBJECT TO CURRENT SITE CONDITIONS.
 - ALL CALCULATED DIMENSIONS ARE SUBJECT TO SITE MEASURE DURING CONSTRUCTION.
 - NO ALLOWANCE HAS BEEN MADE FOR SHRINKAGE OR MILLING.
 - POSITION OF METER BOX TO BE CONFIRMED ON SITE.
 - LEVELS SHOWN ARE APPROXIMATE AND TO BE VERIFIED ON SITE BY SURVEYOR.
 - FIGURED DIMENSIONS MUST TAKE PREFERENCE TO SCALING.
 - DRAINAGE CONCEPT PLAN IS SCHEMATIC ONLY.
 - RELATED WORKS TO BE VERIFIED BY LICENCES DRAINER OR HYDRAULIC ENGINEER PRIOR TO COMMENCEMENT OF ANY WORK.
 - BUILDER IS TO STRICTLY COMPLY WITH ALL RELEVANT BUILDING CODE OF AUSTRALIA CONSTRUCTION REQUIREMENTS AND AUSTRALIAN STANDARDS.
 - ALL DIMENSION ON ARCHITECTURAL PLANS ARE TIMBER FRAME TO TIMBER FRAME.

NOTE:
PROVIDE METHOD OF WATERPROOFING AS PER COMPLIANCE WITH THE PART OF 10.2 OF THE ABCB HOUSING PROVISIONS STANDARD 2022 (BCA), AND / OR AS 3740.2041, 10.2.1 TO 10.2.6 AND 10.2.12 OF THE ABCB HOUSING PROVISIONS STANDARD 2022.

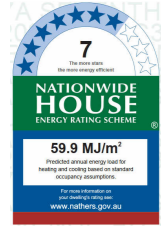
NOTES
DRIVEWAY GRADIENT AS PER AS2890.1 - 2004

SECTION A - A / DRIVEWAY GRADIENT

| | | | | | | | |
|---|-----------------------------------|--|---|--------------------------|--|--|---------------------|
| ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom | CLIENT'S NAME: Mr. Sukhwinder Singh Mrs. Harinder Kaur | SHEET NAME: SECTION A - A / DRIVEWAY GRADIENT | | | | |
| | FACADE: Modern | SITE ADDRESS: Lot 2452 - in DP 1274624 57A Seventh Avenue & Ganugan Road Austral, NSW 2179 | DRAWN: TB | JOB NO: 25196 | | | REV NO: 7 |
| | SPECIFICATION: STANDARD | | CHECKED: | DATE: 25.02.26 | | | SHEET: 12 |
| | SCALE @ A3: As indicated | GARAGE HAND: Rear | PROJECT STAGE: CDC Application | APPLY TO LODGE: | | | |
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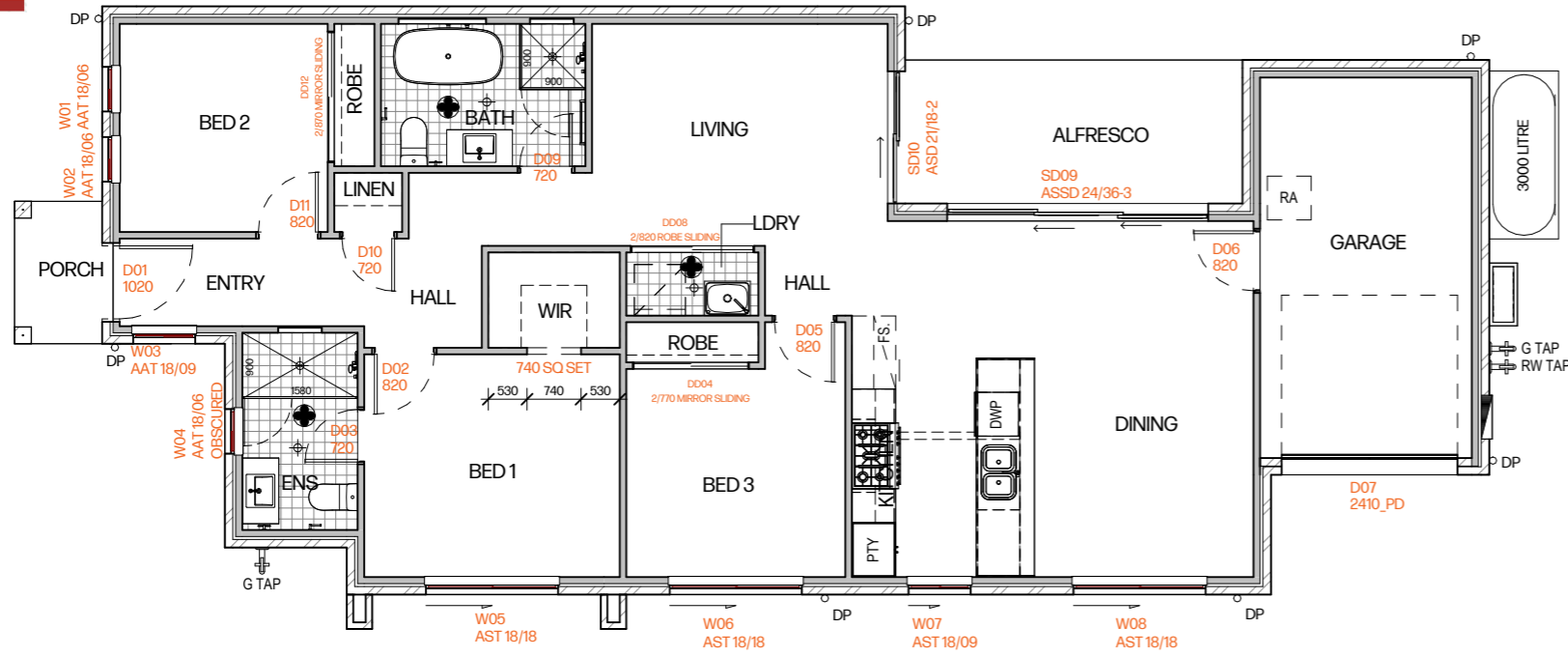
P: (02) 7252-5330
E: info@sdcd.com.au
A: Suite 106, Level 1 351
Oran Park Drive, Oran Park
Nsw 2570.
W: sdcd.com.au

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Reference: SC25-0305/01
Date: 12/03/2026

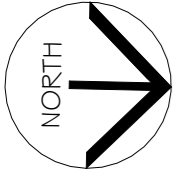
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Principal Certifier BDC2822
Consultant who prepared this document
remains responsible for accuracy.



| WINDOW & SLIDING DOOR SCHEDULE | | | | |
|--------------------------------|--------|-------|------------------------------------|-------------------------|
| MARK | HEIGHT | WIDTH | FRAME TYPE | GLAZING |
| GROUND FLOOR | | | | |
| W01 | 1800 | 610 | ALUM. FRAME AWNING WINDOW | REFER TO BASIX/ NATHERS |
| W02 | 1800 | 610 | ALUM. FRAME AWNING WINDOW | REFER TO BASIX/ NATHERS |
| W03 | 1800 | 850 | ALUM. FRAME AWNING WINDOW | REFER TO BASIX/ NATHERS |
| W04 | 1800 | 610 | ALUM. FRAME AWNING OBSCURED WINDOW | REFER TO BASIX/ NATHERS |
| W05 | 1800 | 1810 | ALUM. FRAME SLIDING WINDOW | REFER TO BASIX/ NATHERS |
| W06 | 1800 | 1810 | ALUM. FRAME SLIDING WINDOW | REFER TO BASIX/ NATHERS |
| W07 | 1800 | 850 | ALUM. FRAME SLIDING WINDOW | REFER TO BASIX/ NATHERS |
| W08 | 1800 | 1810 | ALUM. FRAME SLIDING WINDOW | REFER TO BASIX/ NATHERS |
| SD09 | 2410 | 3575 | ALUM. FRAME SLIDING DOOR | REFER TO BASIX/ NATHERS |
| SD10 | 2154 | 1810 | ALUM. FRAME SLIDING DOOR | REFER TO BASIX/ NATHERS |
| GROUND CEILING | | | | |
| SK01 | 1180 | 550 | STANDARD ALUMINIUM | REFER TO BASIX/ NATHERS |

| DOOR SCHEDULE | | | | |
|---------------|---------------------------|--------|-------|-----------------|
| MARK | Family | HEIGHT | WIDTH | LOCATION |
| D01 | Entry Door | 2040 | 1000 | ENTRY |
| D02 | Internal_Door | 2040 | 820 | BED 1 |
| D03 | Internal_Door | 2040 | 720 | ENSUITE |
| D04 | Robe Doors_Sliding_2_door | 2040 | 1560 | ROBE TO BED 3 |
| D05 | Internal_Door | 2040 | 820 | BED 3 |
| D06 | Internal_Door | 2040 | 820 | GARAGE / DINING |
| D07 | Garage_Door | 2229 | 2410 | GARAGE |
| D08 | Robe Doors_Sliding_2_door | 2040 | 1660 | LAUNDRY |
| D09 | Internal_Door | 2040 | 720 | BATH |
| D10 | Internal_Door | 2040 | 720 | LINEN |
| D11 | Internal_Door | 2040 | 820 | BED 2 |
| D12 | Robe Doors_Sliding_2_door | 2040 | 1760 | ROBE TO BED 2 |

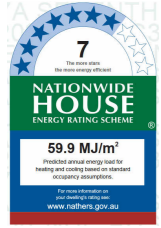
- WINDOWS TO BE IN ACCORDANCE WITH CURRENT BASIX CERTIFICATE.
- WINDOWS SIZES TO BE CHECKED BY BUILDER & WINDOW MANUFACTURE. REPORT ANY DISCREPANCIES PRIOR ORDERING.
- BATHROOM AND ENSUITE WINDOWS TO BE OBSCURED GLAZING AS SELECTED. CONFIRM WITH BUILDER
- CONFIRM HEIGHTS & WIDTHS OF DOORS PRIOR ORDERING.
- CONFIRM HEIGHTS OF GARAGE DOORS
- CONFIRM ALL DOOR HEIGHTS & WIDTH WITH MANUFACTURERS REPORT ANY DISCREPANCIES PRIOR TO ORDERING



GROUND FLOOR PLAN

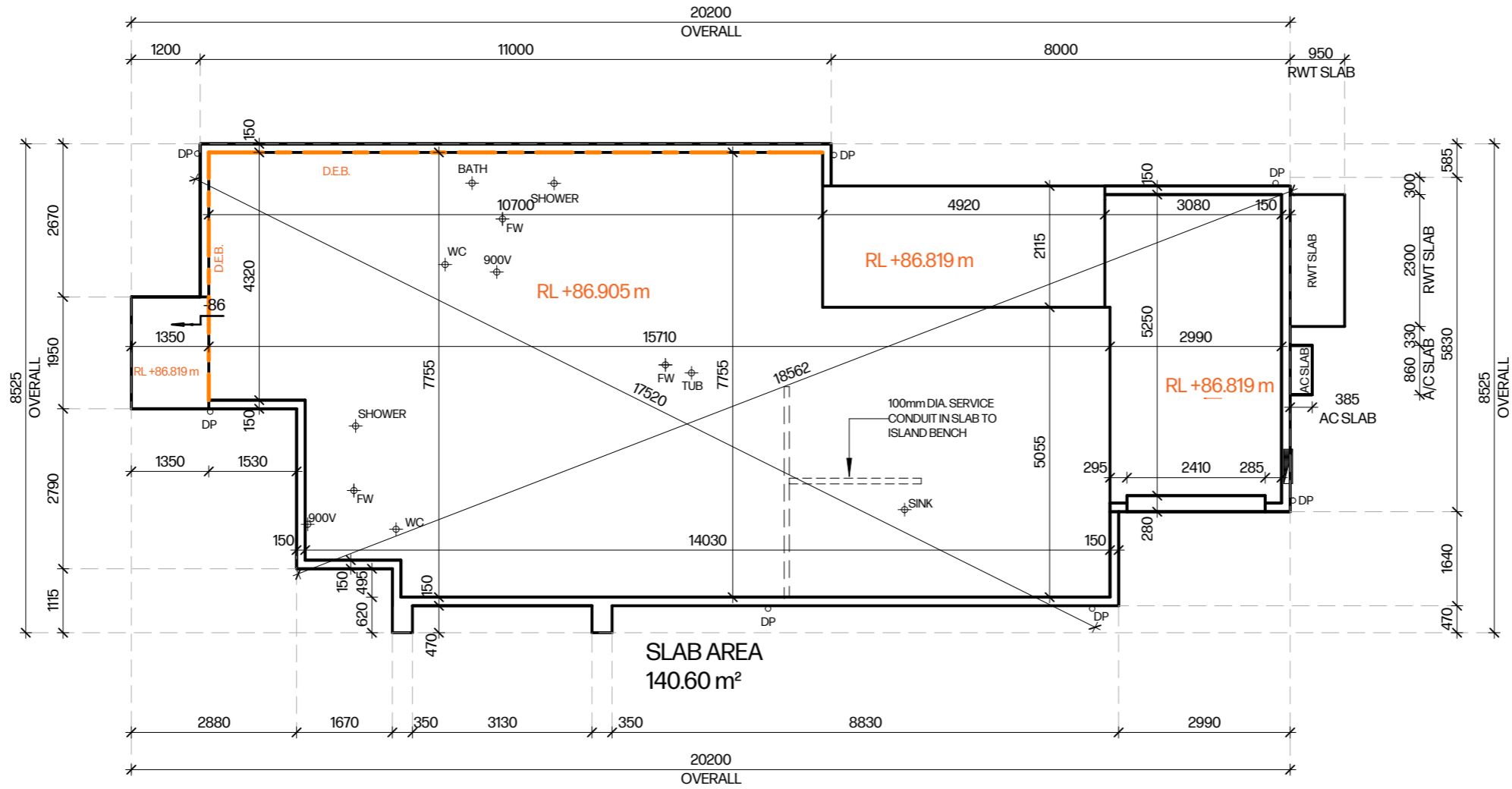
| | | | | | | | |
|---|--|--|---|---|--|--|--|
| ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom | CLIENT'S NAME: Mr. Sukhwinder Singh Mrs. Harinder Kaur | SHEET NAME: WINDOWS & DOORS SCHEDULES | | | | |
| | FACADE: Modern | SITE ADDRESS: Lot 2452 - in DP 1274624 57A Seventh Avenue & Ganugan Road Austral, NSW 2179 | DRAWN: TB | JOB NO: 25196 | | | REV NO: 7 |
| | SPECIFICATION: STANDARD | SCALE @ A3: 1:100 | GARAGE HAND: Rear | CHECKED: DATE: 25.02.26 | | | SHEET: 13 |
| | PROJECT STAGE: CDC Application | | APPLY TO LODGE: | | | | P: (02) 7252-5330 E: info@sdcd.com.au A: Suite 106, Level 1 351 Oran Park Drive, Oran Park Nsw 2570. W: sdcd.com.au |
| CLIENT'S SIGNATURE _____ | | DATE _____ | | I accept and understand the plans and documents that have been provided to me by Sydney Drafting & Design Pty Ltd. ALL RIGHTS RESERVED. This plan is the property of Sydney Drafting & Design Pty Ltd. Copyright in this document is owned by Sydney Drafting & Design Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Sydney Drafting & Design Pty Ltd. © COPYRIGHT | | | |

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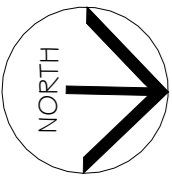
Simple Cert
Reference: SC25-0305/01
Date: 12/03/2026

Andrew Guirgis
Principal Certifier BDC2822
Consultant who prepared this document remains responsible for accuracy.



NOTES:
- Slab plan to be read in conjunction with the architectural plans.
- Drainage points and penetration to the slab are approximate only and are to be confirmed on site.
- Slab plan to be used for the sole purpose of setting out the slab.
- Slab plan shall not be used to determine location of thickening beams and any structural elements.
- Queries or discrepancies are to be resolved prior to commencement of excavation.
- Refer to Engineers drawings for structural details and concrete specification.
- Refer to Engineers drawings for plumbing and other service penetration details.
- If in doubt contact the building or designer for the project.
- All proposed finish floor levels are subject to confirmation with step downs nominated prior to excavation by the builder.
- Excavator and/or concreter.

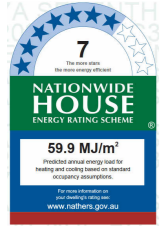
NOTES:
- ALL REBATES TO BE 150mm U.N.O
- GARAGE REBATES TO BE 280mm WIDE x 15mm RECESS. REFER TO ENGINEER'S DETAILS.
- ALL DIMENSIONS ARE TAKEN FROM EXTERNAL FACE OF BRICKWORK.
- REFER TO WET AREA DETAIL FLOOR PLANS FOR SERVICE LOCATIONS.



CONCRETE SLAB PLAN

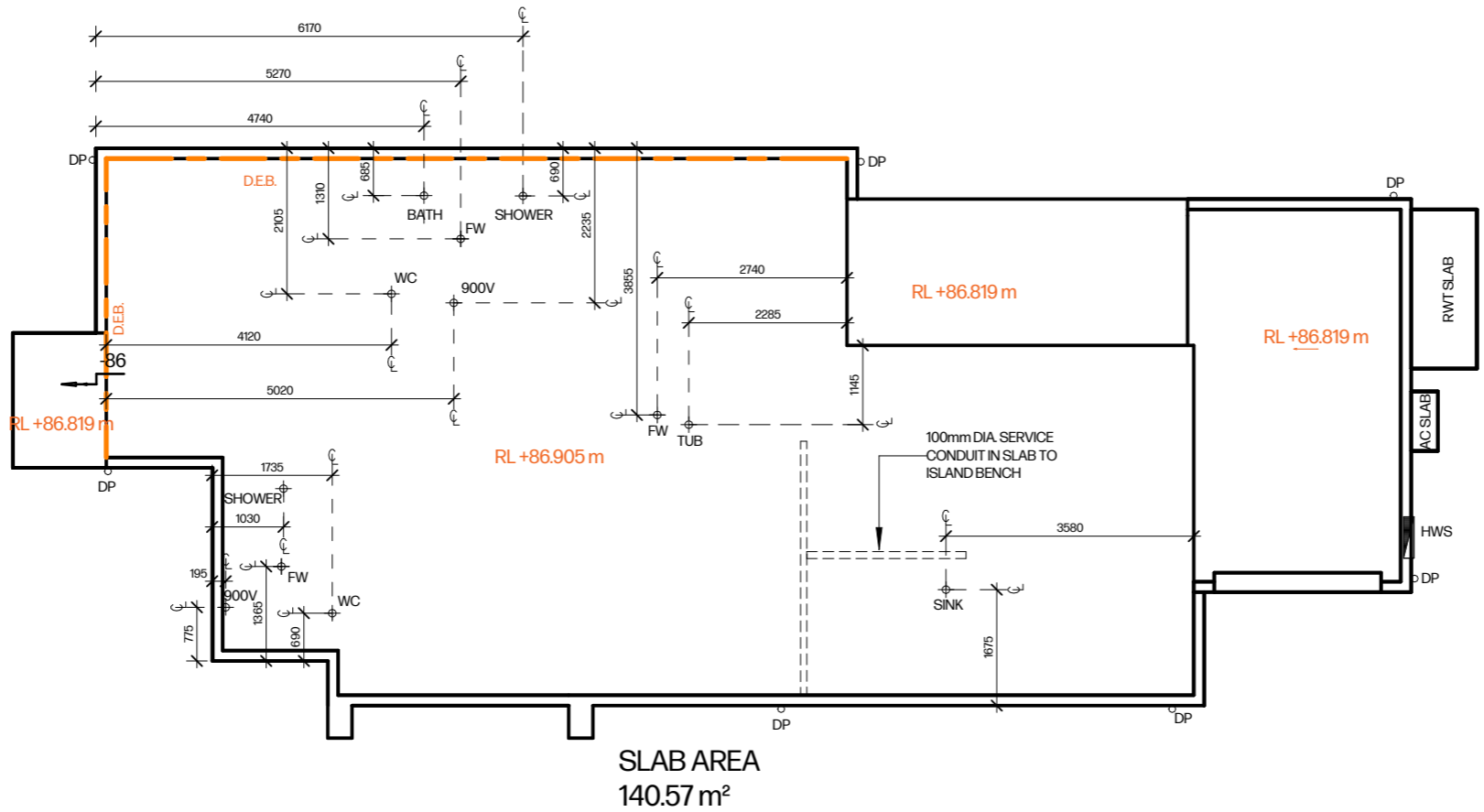
| | | | | | | | |
|---|-----------------------------------|--|--|--------------------------|---|---|---------------------|
| ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom | CLIENT'S NAME: Mr. Sukhwinder Singh Mrs. Harinder Kaur | SHEET NAME: CONCRETE SLAB PLAN | | | <small>ACCREDITED BUILDING DESIGNER</small> | |
| | FACADE: Modern | SITE ADDRESS: Lot 2452 - in DP 1274624 57A Seventh Avenue & Ganugan Road Austral, NSW 2179 | DRAWN: TB | JOB NO: 25196 | | | REV NO: 7 |
| | SPECIFICATION: STANDARD | | CHECKED: | DATE: 25.02.26 | | | SHEET: 14 |
| | SCALE @ A3: 1:100 | GARAGE HAND: Rear | PROJECT STAGE: CDC Application | APPLY TO LODGE: | | | |
| | | CLIENT'S SIGNATURE _____ | | | DATE _____ I accept and understand the plans and documents that have been provided to me by Sydney Drafting & Design Pty Ltd. ALL RIGHTS RESERVED. This plan is the property of Sydney Drafting & Design Pty Ltd. Copyright in this document is owned by Sydney Drafting & Design Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Sydney Drafting & Design Pty Ltd. © COPYRIGHT | | |

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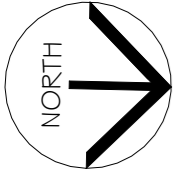
Simple Cert
Reference: SC25-0305/01
Date: 12/03/2026

Andrew Guirgis
Principal Certifier BDC2822
Consultant who prepared this document
remains responsible for accuracy.



NOTES:
- Slab plan to be read in conjunction with the architectural plans.
- Drainage points and penetration to the slab are approximate only and are to be confirmed on site.
- Slab plan to be used for the sole purpose of setting out the slab.
- Slab plan shall not be used to determine location of thickening beams and any structural elements.
- Queries or discrepancies are to be resolved prior to commencement of excavation.
- Refer to Engineers drawings for structural details and concrete specification.
- Refer to Engineers drawings for plumbing and other service penetration details.
- If in doubt contact the building or designer for the project.
- All proposed finish floor levels are subject to confirmation with step downs nominated prior to excavation by the builder.
- Excavator and/or concretor.

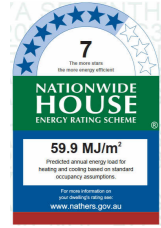
NOTES:
- ALL REBATES TO BE 150mm U.N.O
- GARAGE REBATES TO BE 280mm WIDE x 15mm RECESS. REFER TO ENGINEER'S DETAILS.
- ALL DIMENSIONS ARE TAKEN FROM EXTERNAL FACE OF BRICKWORK.
- REFER TO WET AREA DETAIL FLOOR PLANS FOR SERVICE LOCATIONS.



SLAB PENETRATION DETAIL

| | | | | | | | | | | | |
|---|-----------------------------------|--|---|--------------------------|--|--|---|--|--|--------------------------|---|
| ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom | CLIENT'S NAME: Mr. Sukhwinder Singh Mrs. Harinder Kaur | SHEET NAME: SLAB PENETRATION DETAIL | | | | P: (02) 7252-5330 E: info@sccd.com.au A: Suite 106, Level 1 351 Oran Park Drive, Oran Park, Nsw 2570. W: sccd.com.au | | | CLIENT'S SIGNATURE _____ | |
| | FACADE: Modern | SITE ADDRESS: Lot 2452 - in DP 1274624 57A Seventh Avenue & Ganugan Road Austral, NSW 2179 | DRAWN: TB | JOB NO: 25196 | | | | | | REV NO: 7 | DATE I accept and understand the plans and documents that have been provided to me by Sydney Drafting & Design Pty Ltd. |
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| | SCALE @ A3: 1:100 | GARAGE HAND: Rear | APPLY TO LODGE: | | | | | | | | © COPYRIGHT |

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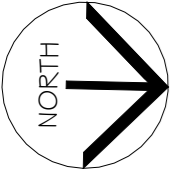


FLOOR COVERING

- CARPET FLOORING
- CONCRETE FLOORING
- EXTERNAL TILING
- TILE FLOORING
- TIMBER FLOORING
- WET AREA TILINGS

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Reference: SC-0305/01
Date: 12/03/2026
Andrew Guigas
Principal Certifier BDC2822
Consultant who prepared this document remains responsible for accuracy.

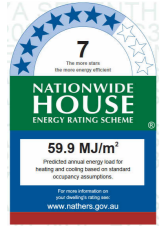
| FLOOR COVERINGS SCHEDULE | |
|--------------------------|-----------------------|
| BED 2 | 8.12 m ² |
| WIR | 2.35 m ² |
| BED 1 | 10.68 m ² |
| ROBE | 1.07 m ² |
| ROBE | 1.00 m ² |
| BED 3 | 9.25 m ² |
| CARPET FLOORING: 6 | 32.47 m ² |
| PORCH | 2.23 m ² |
| ALFRESCO | 9.08 m ² |
| EXTERNAL TILING: 2 | 11.31 m ² |
| LINEN | 0.75 m ² |
| DINING | 14.63 m ² |
| KITCHEN | 12.02 m ² |
| HALL | 1.14 m ² |
| LIVING | 12.31 m ² |
| ENTRY | 4.02 m ² |
| HALL | 4.82 m ² |
| TILE FLOORING: 7 | 49.68 m ² |
| BATH | 5.46 m ² |
| ENS | 4.27 m ² |
| LDRY | 1.57 m ² |
| WET AREA TILINGS: 3 | 11.29 m ² |
| Grand total | 104.76 m ² |



GROUND FLOOR COVERINGS PLAN

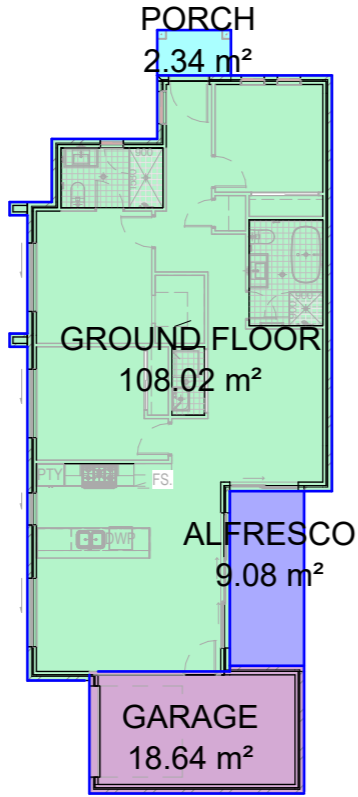
| | | | | | | | | | |
|---|-----------------------------------|--|--|--------------------------|--|--|---|--------------------------|---|
| ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom | CLIENT'S NAME: Mr. Sukhwinder Singh Mrs. Harinder Kaur | SHEET NAME: FLOOR COVERING PLAN | | | | P: (02) 7252-5330 E: info@sdcd.com.au A: Suite 106, Level 1 351 Oran Park Drive, Oran Park, Nsw 2570. W: sdcd.com.au | CLIENT'S SIGNATURE _____ | |
| | FACADE: Modern | SITE ADDRESS: Lot 2452 - in DP 1274624 57A Seventh Avenue & Ganugan Road Austral, NSW 2179 | DRAWN: TB | JOB NO: 25196 | | | | REV NO: 7 | DATE I accept and understand the plans and documents that have been provided to me by Sydney Drafting & Design Pty Ltd. |
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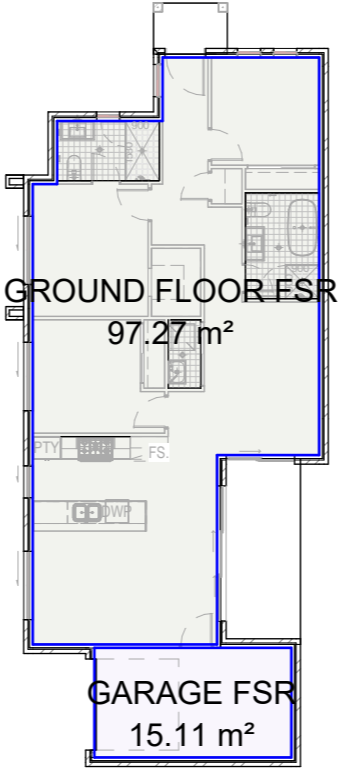


| AREAS | |
|---------------|-----------------------|
| SITE: | 253.09 m ² |
| GROUND FLOOR: | 108.02 m ² |
| FIRST FLOOR: | 0.00 m ² |
| GARAGE: | 18.64 m ² |
| PORCH: | 2.34 m ² |
| BALCONY: | 0.00 m ² |
| ALFRESCO: | 9.08 m ² |
| TOTAL: | 138.08 m ² |
| SQUARES: | 14.86 SQ |

| FLOOR SPACE AREA | |
|------------------|-----------------------|
| NAME | AREA |
| GROUND FLOOR FSR | 97.27 m ² |
| GARAGE FSR | 15.11 m ² |
| TOTAL | 112.37 m ² |



1. GROUND FLOOR AREA



1. GROUND FLOOR FSR

WIND CLASSIFICATION: "TBC"
SLAB CLASSIFICATION: "H1"

Simple Cert
Reference: SC25-0305/00
Date: 12/03/2026

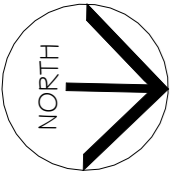
Andrew Guirgis
Principal Certifier BDC2822
Consultant who prepared this document remains responsible for accuracy

PROPERTY DESCRIPTION
LGA: LIVERPOOL
GREENFIELD HOUSING CODE
COMPLYING DEVELOPMENT CERTIFICATE REFER TO HOUSING CODE FOR REQUIREMENTS.

| SITE CALCULATIONS | |
|---|-----------------------|
| SITE AREA | 253.10 m ² |
| LOT WIDTH | 8.722m |
| BALCONY AREA | 0.00 m ² |
| GROSS FLOOR AREA | |
| *GARAGE G.F.A EXCLUDES 1 CAR PARKING SPACE (18m ²) | |
| *EXCLUDES: BASEMENTS, STORAGE, VEHICLE ACCESS, TERRACES & BALCONIES WITH OUTER WALLS <1.4M HIGH AND VOIDS | |
| GROUND FLOOR G.F.A: | 97.27 m ² |
| FIRST FLOOR G.F.A: | 0.00 m ² |
| GARAGE G.F.A: 15.11 m ² - 1xCAR SPACE = | 0.00 m ² |
| GROSS FLOOR AREA TOTAL: | 97.27 m ² |
| MAX. GROSS FLOOR AREA: | 189.83 m ² |
| LANDSCAPE | |
| GROUND FLOOR: | 108.02 m ² |
| GARAGE: | 18.64 m ² |
| PORCH/VERANDAH: | 2.34 m ² |
| ALFRESCO: | 9.08 m ² |
| PROPOSED FOOTPRINT: | 138.08 m ² |
| EXISTING STRUCTURES: | 0.00 m ² |
| DRIVEWAY / PATHWAY: | 11.25 m ² |
| LANDSCAPE LESS THAN 1.5m WIDE: | 5.39 m ² |
| TOTAL LANDSCAPE AREA: (38.87%) | 98.38 m ² |
| LANDSCAPE MINIMUM: (1.5M WIDE)(10%) | 25.31 m ² |
| FRONT YARD LANDSCAPING: (35.51%) | 26.75 m ² |
| REAR YARD LANDSCAPING: (72.81%) | 71.63 m ² |
| FRONT LANDSCAPE MINIMUM: (25%) | 9.50 m ² |
| REAR LANDSCAPE MINIMUM: (50%) | 12.66 m ² |



| | |
|----------|----------------------|
| DRIVEWAY | 10.89 m ² |
|----------|----------------------|



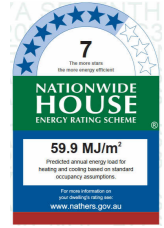
FLOOR AREAS

| | | | | | | | | |
|---|-----------------------------------|---|-----------------------------------|-------------------|--|--|--|--------------|
| ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom | CLIENT'S NAME: Mr. Sukhwinder Singh Mrs. Harinder Kaur | SHEET NAME: FLOOR AREAS | | | | CLIENT'S SIGNATURE _____ DATE _____ I accept and understand the plans and documents that have been provided to me by Sydney Drafting & Design Pty Ltd. ALL RIGHTS RESERVED. This plan is the property of Sydney Drafting & Design Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Sydney Drafting & Design Pty Ltd. © COPYRIGHT | |
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| | SPECIFICATION: STANDARD | | CHECKED: | DATE: 25.02.26 | | | | SHEET: 17 |
| | SCALE @ A3: 1:200 | GARAGE HAND: Rear | PROJECT STAGE: CDC Application | APPLY TO LODGE: | | | | |

P: (02) 7252-5330
E: info@sdcd.com.au
A: Suite 106, Level 1 351
Oran Park Drive, Oran Park
Nsw 2570.
W: sdcd.com.au

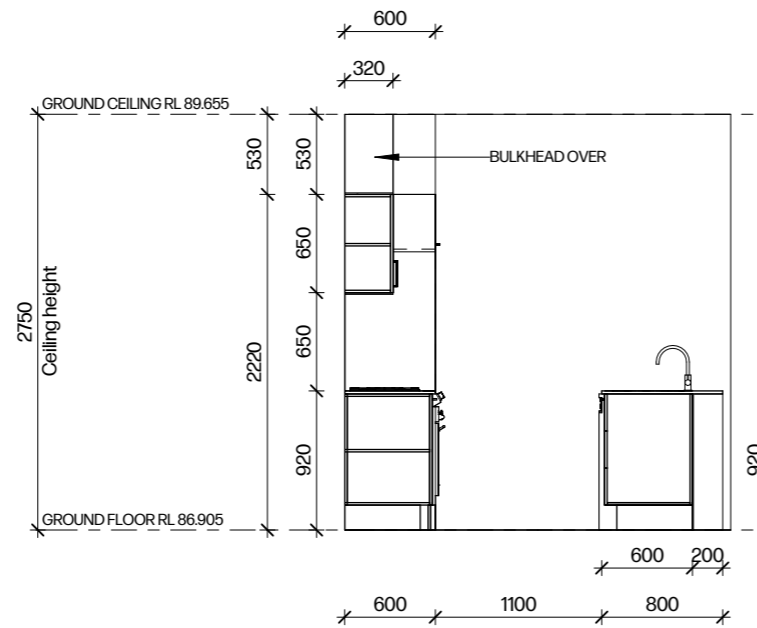


CDC APPLICATION:
ALL DIMENSIONS TO BE CHECKED & CONFIRMED PRIOR TO CONSTRUCTION BY BUILDER.

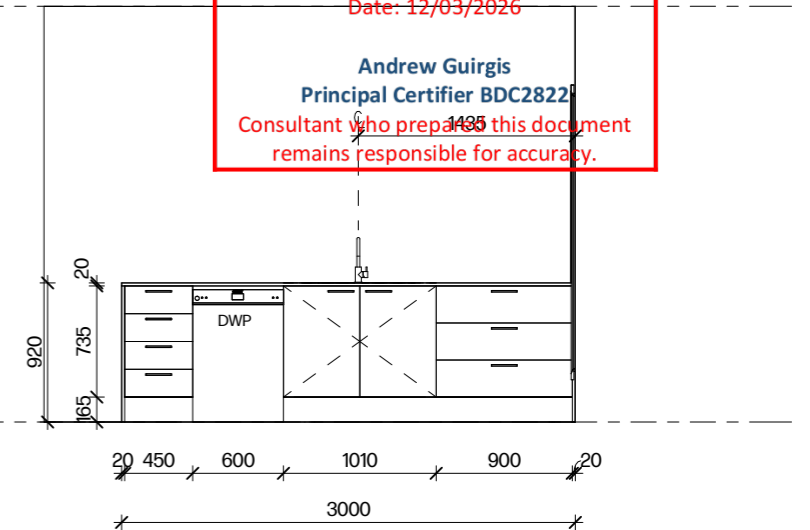


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Reference: SC25-0305/01
Date: 12/03/2026

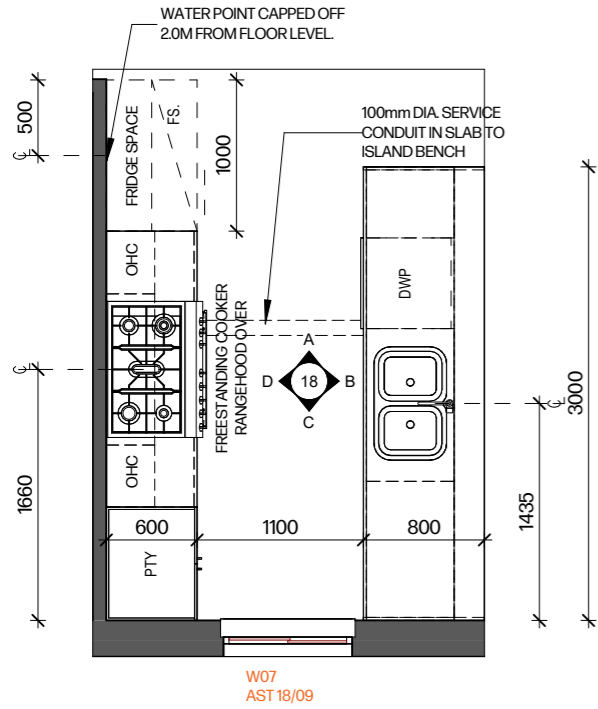
Andrew Guirgis
Principal Certifier BDC2822
Consultant who prepares this document remains responsible for accuracy.



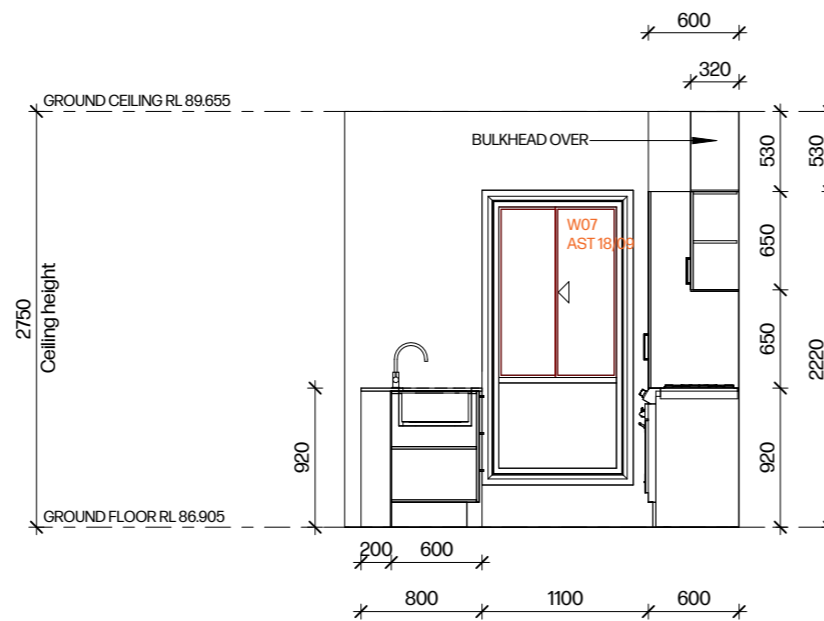
ELEVATION A



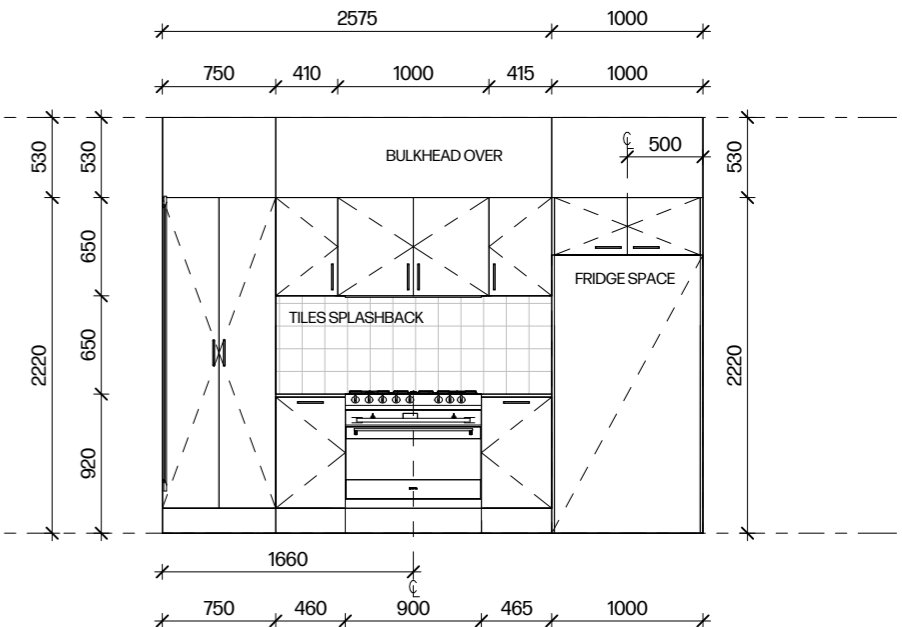
ELEVATION B



KITCHEN PLAN



ELEVATION C



ELEVATION D

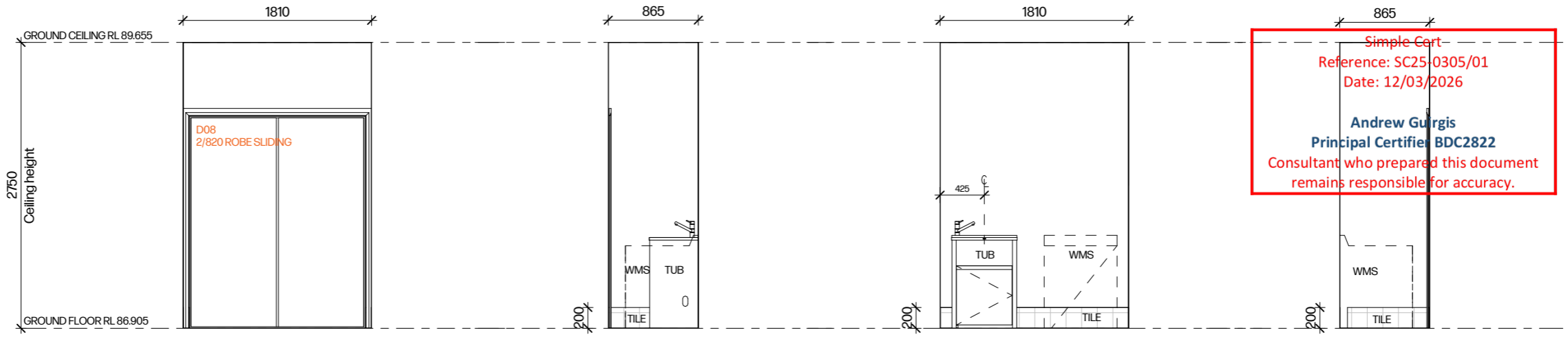
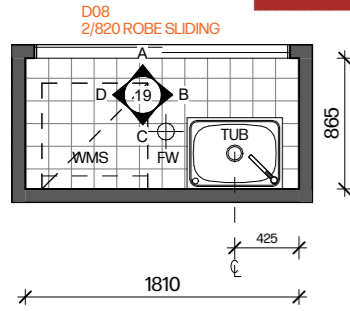
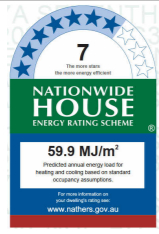
NOTES:
ALL CABINETRY MATERIALS AND FINISHES TO BE CONFIRMED WITH MANUFACTURER, INCLUDING FINAL MOULDING SELECTION TO WALLS/JOINERY
• DETAILS ARE INDICATIVE ONLY.

NOTE:
• On all wet areas and splashback windows. The frame to allow an extra 100mm top and bottom of the size of the minimum window.

NOTE:
• ALL APPLIANCES, FIXTURES AND FINISHES TO BE VERIFIED WITH BUILDER. ALL DETAILS ARE INDICATIVE ONLY

| | | | | | | | |
|---|------------------------------|--|---------------------------------------|--------------------------|---------------------|--|--|
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| SPECIFICATION: STANDARD | GARAGE HAND: Rear | PROJECT STAGE: CDC Application | CHECKED: | DATE: 25.02.26 | SHEET: 18 | | |
| SCALE @ A3: 1:50 | | APPLY TO LODGE: | | | | | |

CDC APPLICATION:
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Simple Cart
Reference: SC25-0305/01
Date: 12/03/2026
Andrew Gurgis
Principal Certified BDC2822
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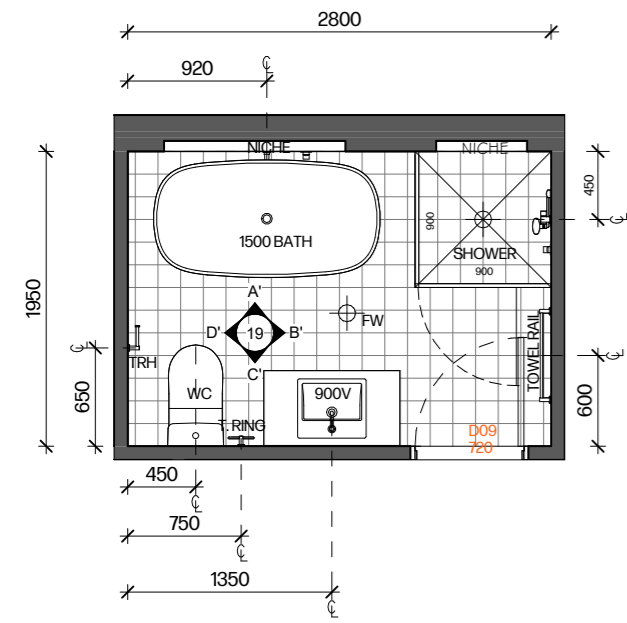
LAUNDRY PLAN

ELEVATION A

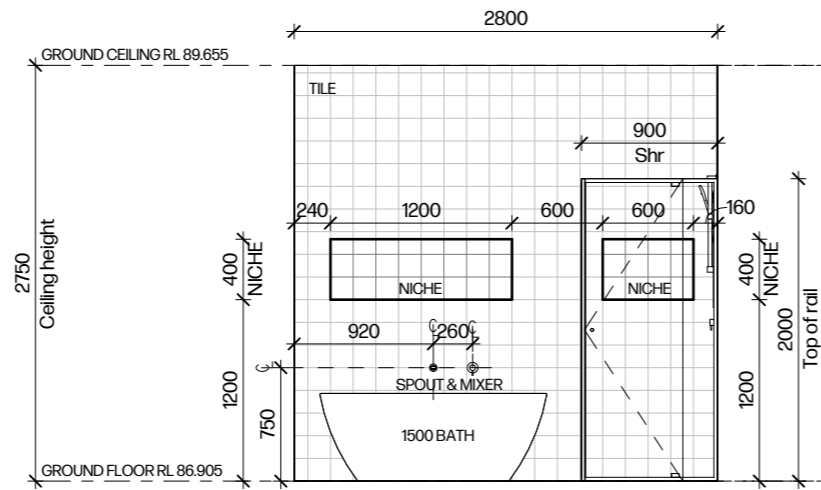
ELEVATION B

ELEVATION C

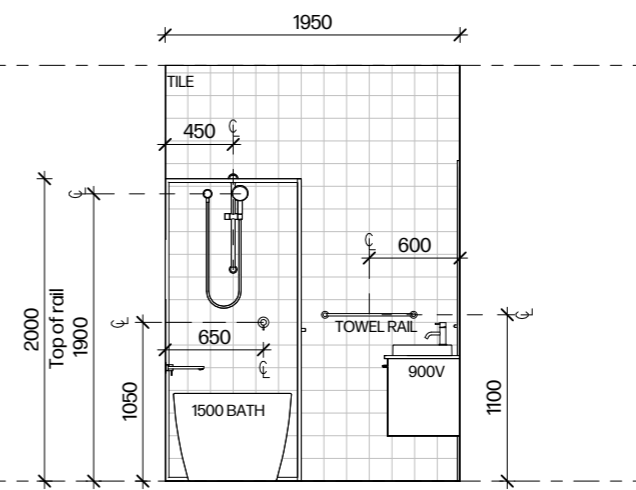
ELEVATION D



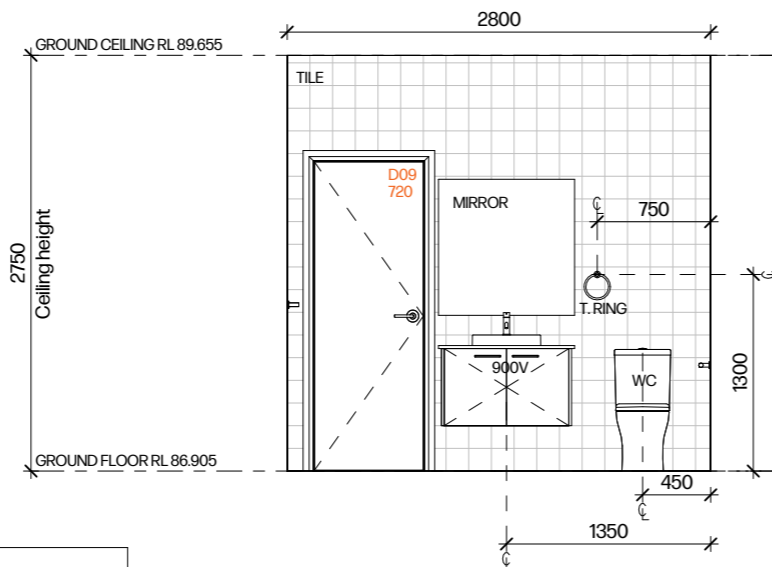
BATHROOM PLAN



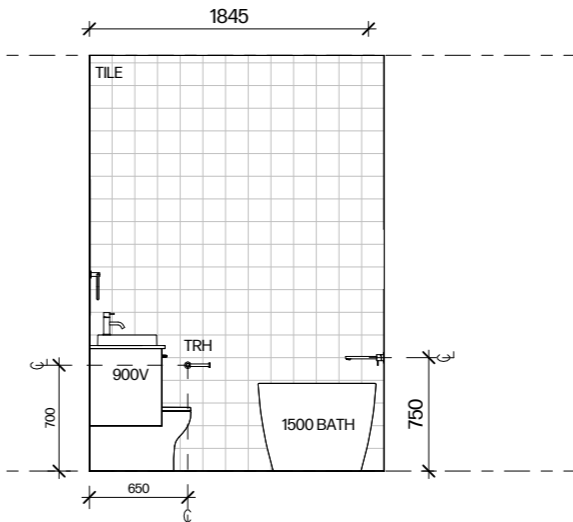
ELEVATION A'



ELEVATION B'



ELEVATION C'



ELEVATION D'

COMPLIANCE WITH PART 10.2 WET AREA WATERPROOFING

PART 10.2.2 SHOWER AREA (ENCLOSED AND UNENCLOSED)

- FOR SHOWER AREA WITH A HOB, STEP DOWN OR LEVEL THRESHOLD, THE FOLLOWING APPLIES:
 - THE FLOOR OF THE SHOWER AREA MUST BE WATERPROOF, INCLUDING AND HOB OR STEP-DOWN (SEE FIGURE 10.2.2); AND
 - THE WALLS OF THE SHOWER AREA MUST BE WATERPROOF NOT LESS THAN 1800mm ABOVE THE FLOOR SUBSTRATE (SEE FIGURE 10.2.2)
 - WALL/FLOOR JUNCTIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF (SEE FIGURE 10.2.2)
 - PENETRATIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF.
- A SHOWER WITH A PREFORMED SHOWER BASE MUST COMPLY WITH THE REQUIREMENTS OF (1), EXCEPT FOR (a) WHICH IS NOT APPLICABLE.

NOTES - WHERE A SHOWER IS ABOVE A BATH OR SPA, USE REQUIREMENTS FOR SHOWER.

PART 10.2.3 AREA OUTSIDE SHOWER AREA

- FOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORING, THE FLOOR OF THE ROOM MUST BE WATER RESISTANT.
- FOR TIMBER FLOORS INCLUDING PARTICLE BOARD, FLYWOOD AND OTHER TIMBER-BASED FLOORING MATERIALS, THE FLOOR OF THE ROOM MUST BE WATERPROOF.
- WALL/FLOOR JUNCTIONS MUST BE -
 - WATERPROOF AND
 - WHERE A FLASHING IS USED, THE HORIZONTAL LED MUST NOT BE LESS THAN 40mm

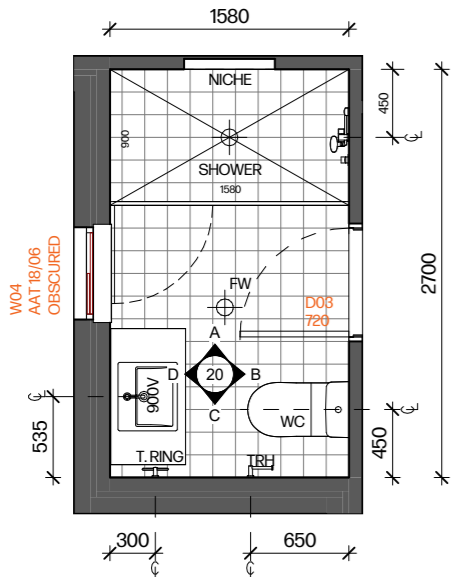
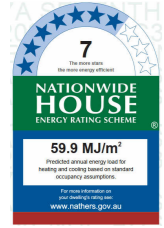
NOTES:
ALL CABINERY MATERIALS AND FINISHES TO BE CONFIRMED WITH MANUFACTURER, INCLUDING FINAL MOULDING SELECTION TO WALLS/JOINERY
• DETAILS ARE INDICATIVE ONLY.

NOTE:
• On all wet areas and splashback windows. The frame to allow an extra 100mm top and bottom of the size of the minimum window.

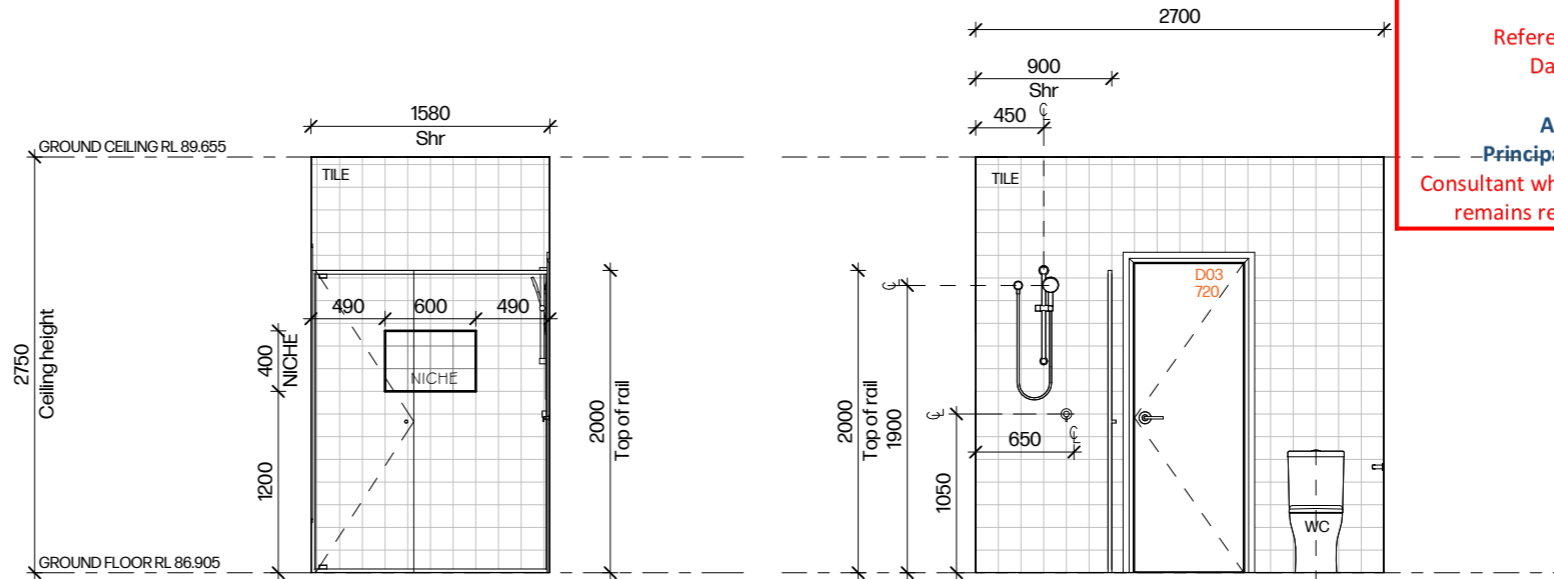
NOTE:
• ALL APPLIANCES, FIXTURES AND FINISHES TO BE VERIFIED WITH BUILDER. ALL DETAILS ARE INDICATIVE ONLY

| | | | | | | | |
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| SPECIFICATION: STANDARD | GARAGE HAND: Rear | PROJECT STAGE: CDC Application | CHECKED: | DATE: 25.02.26 | SHEET: 19 | | |
| SCALE @ A3: 1:50 | | APPLY TO LODGE: | | | | | |

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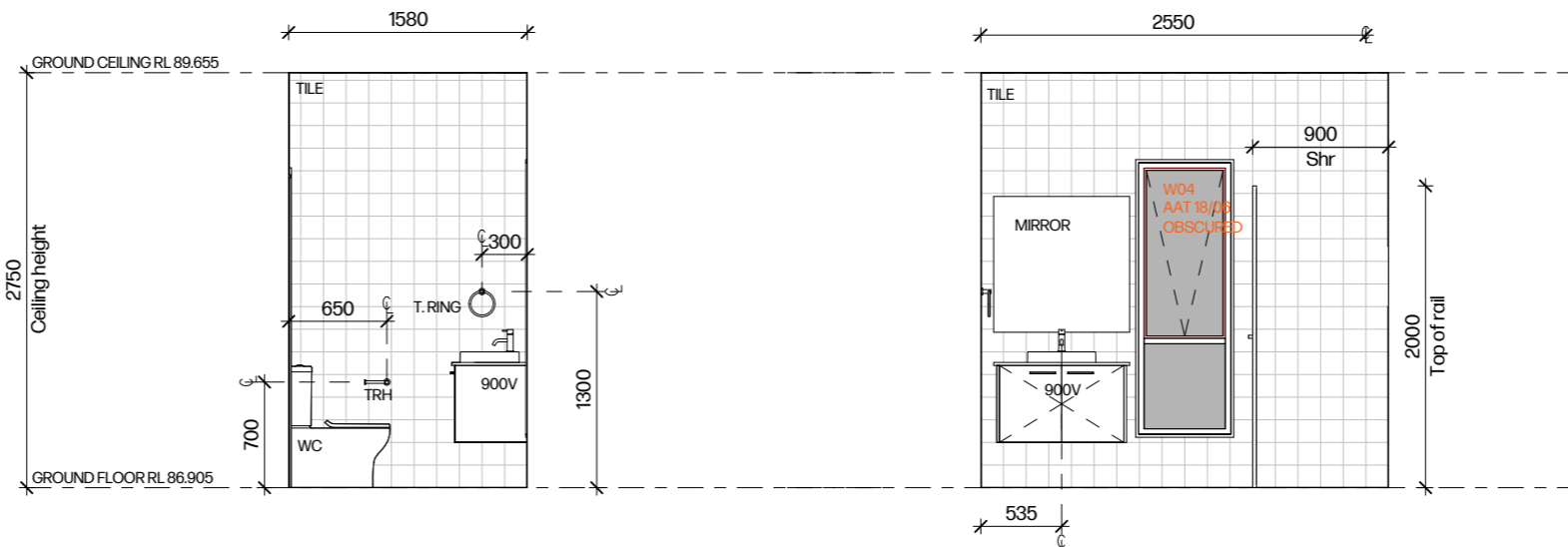


ENSUITE PLAN



ELEVATION A

ELEVATION B



ELEVATION C

ELEVATION D

Simple Cert
Reference: SC25-0305/01
Date: 12/03/2026

Andrew Guirgis
Principal-Certifier BDC2822
Consultant who prepared this document remains responsible for accuracy.

COMPLIANCE WITH PART 10.2 WET AREA WATERPROOFING

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 - WATERPROOF AND
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NOTES:
ALL CABINETRY MATERIALS AND FINISHES TO BE CONFIRMED WITH MANUFACTURER, INCLUDING FINAL MOULDING SELECTION TO WALLS/JOINERY
• DETAILS ARE INDICATIVE ONLY.

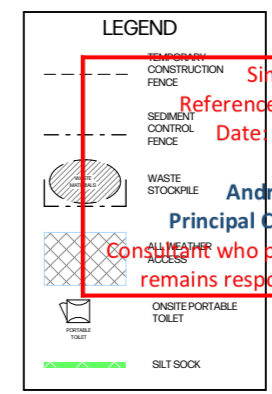
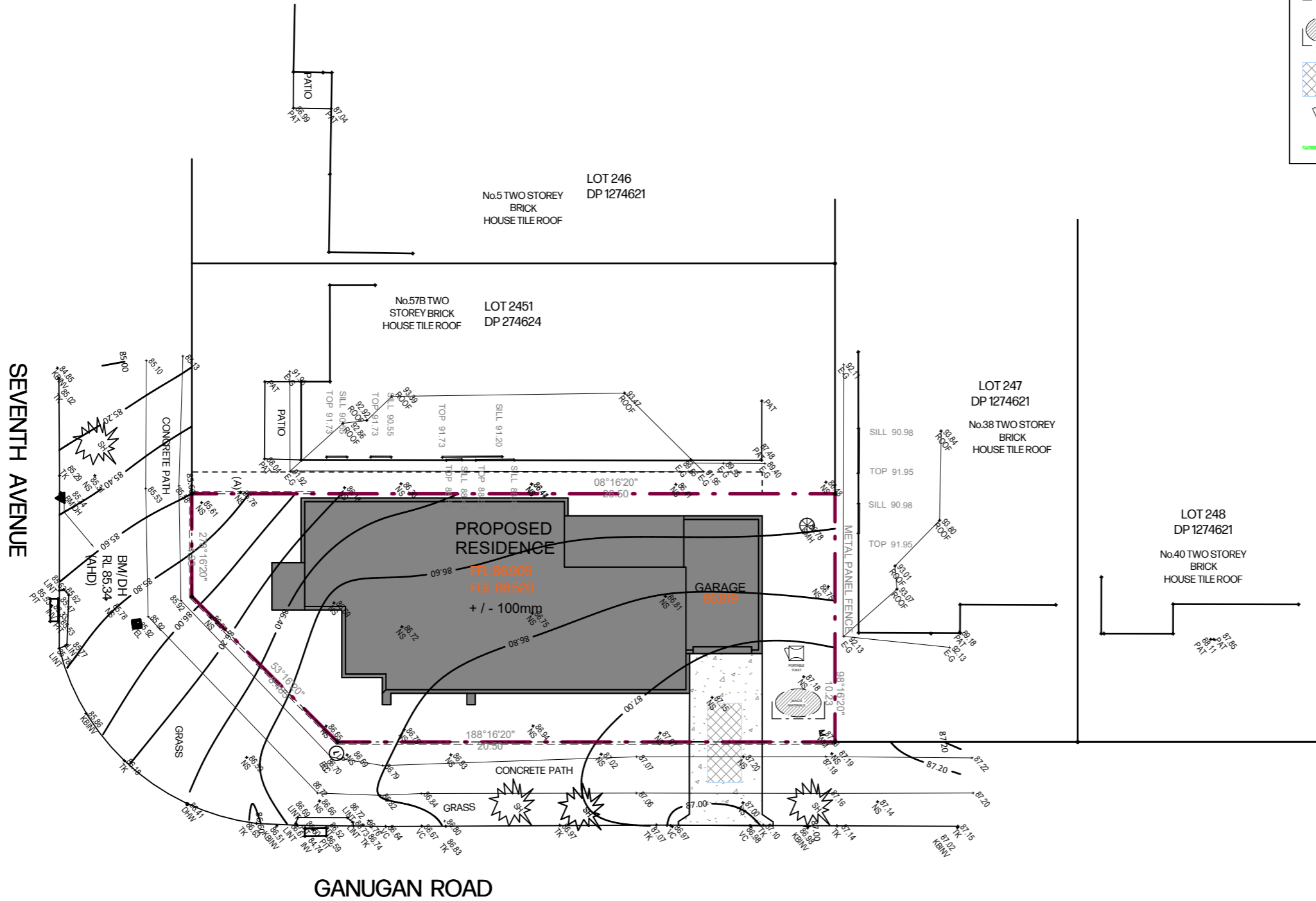
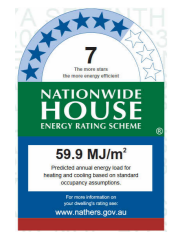
NOTE:
• On all wet areas and splashback windows. The frame to allow an extra 100mm top and bottom of the size of the minimum window.

NOTE:
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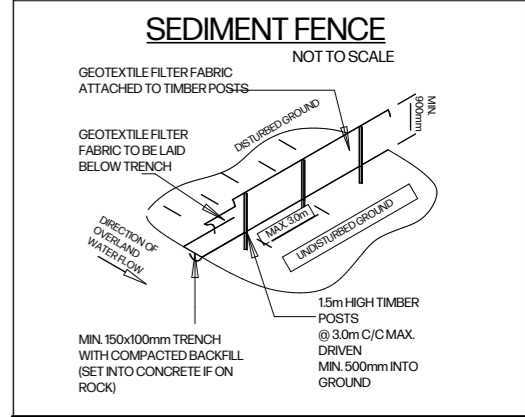
| | | | | | | | | |
|---|------------------------------|--|---------------------------------------|---------------------|--|--|--|--------------------------|
| ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom | CLIENT'S NAME: Mr. Sukhwinder Singh Mrs. Harinder Kaur | SHEET NAME: ENSUITE DETAILS | LETSWORK™ | | P: (02) 7252-5330 E: info@sdcd.com.au A: Suite 106, Level 1 351 Oran Park Drive, Oran Park Nsw 2570. W: sdcd.com.au | | CLIENT'S SIGNATURE _____ |
| | FAÇADE: Modern | SITE ADDRESS: Lot 2452 - in DP 1274624 57A Seventh Avenue & Ganugan Road Austral, NSW 2179 | DRAWN: TB | | | | | |
| SPECIFICATION: STANDARD | GARAGE HAND: Rear | PROJECT STAGE: CDC Application | CHECKED: DATE: 25.02.26 | SHEET: 20 | | | | |
| SCALE @ A3: 1:50 | | APPLY TO LODGE: | | | | | | |

CDC APPLICATION:
ALL DIMENSIONS TO BE CHECKED & CONFIRMED PRIOR TO CONSTRUCTION BY BUILDER.

LOT 2452
D.P.: 1274624
L.G.A.: LIVERPOOL



- ### SEDIMENT CONTROL NOTES
1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
 2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
 3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
 4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
 5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
 6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
 7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
 8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SITE INDUCTION

BEFORE ENTERING SITE PLEASE REVIEW, AND MAKE YOURSELF FAMILIAR WITH EMERGENCY CONTACTS. SITE SPECIFIC HAZARDS AND THE SITE SPECIFIC INDUCTION INFORMATION THAT IS LOCATED ON THE SITE INDUCTION SIGN. IF YOU HAVE ANY TROUBLE UNDERSTANDING THIS INDUCTION, CONTACT THE SITE SUPERVISOR OR EMERGENCY CONTACT NUMBER LOCATED ON THE SIGN.

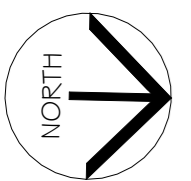
- ### SITE SPECIFIC HAZARDS
- * OVERHEAD POWERLINES
 - * EXISTING TREES

NOISE AND VIBRATION CONTROL:

- BOREHOLE REPORT SHOWS NO ROCK WITHIN SITE. MINIMAL VIBRATION AND NOISE DURING PIER HOLE DRILLING.
- SITE PLAN INDICATES MINIMAL CUT AND FILL PLANT USE WILL BE LOW IMPACT AND FOR MINIMAL TIMBER FRAMES.

NOTE:
TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE

NOTE:
ALL GROUND LINES ARE APPROXIMATE EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC



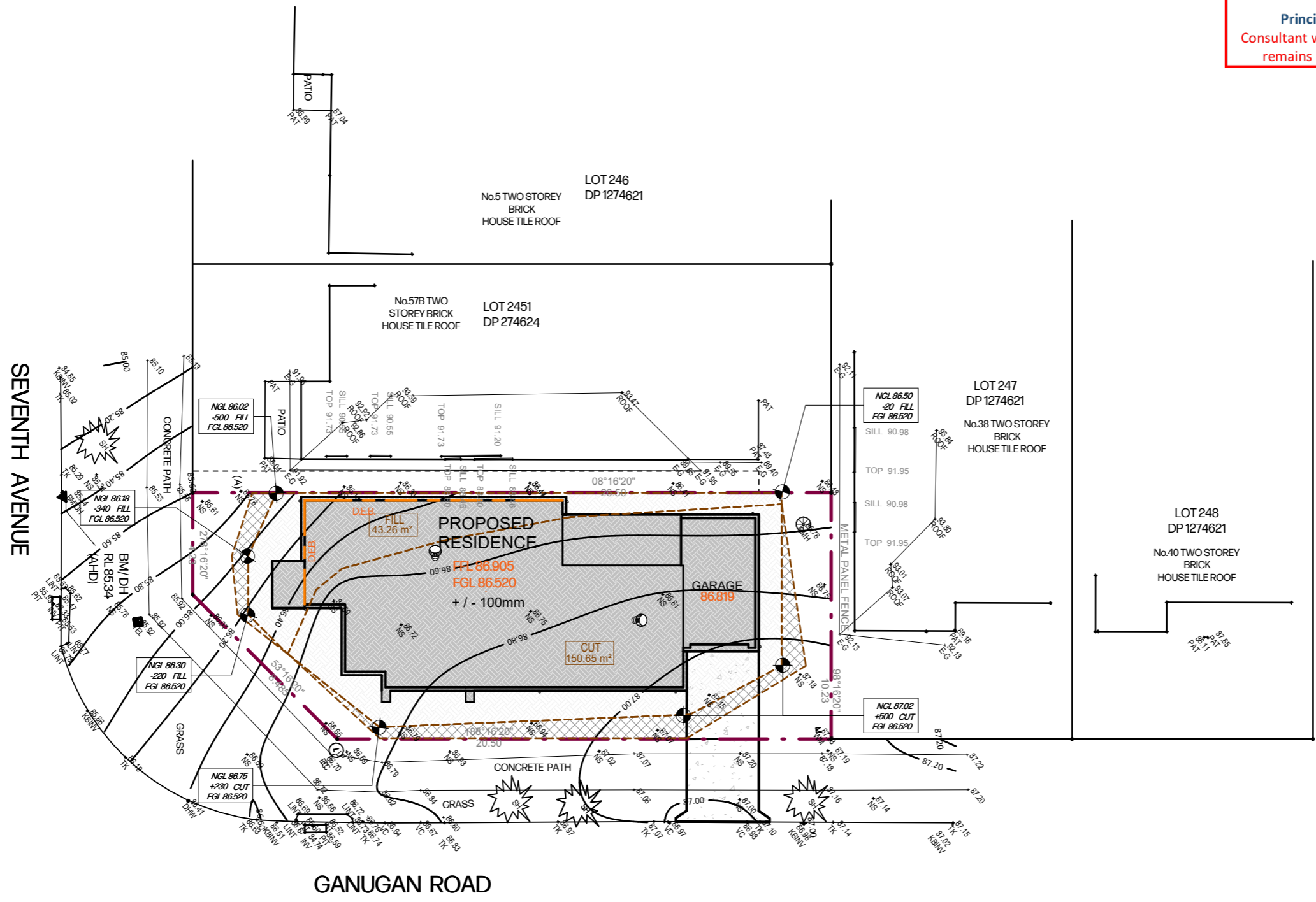
CONSTRUCTION MANAGEMENT PLAN EROSION & SEDIMENT CONTROL PLAN

| | | | | | | | |
|---|------------------------------|--|--|--------------------------|---------------------|--|------------|
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| | FACADE: Modern | SITE ADDRESS: Lot 2452 - in DP 1274624 57A Seventh Avenue & Ganugan Road Austral, NSW 2179 | DRAWN: TB | JOB NO: 25196 | | | |
| SPECIFICATION: STANDARD | GARAGE HAND: Rear | PROJECT STAGE: CDC Application | CHECKED: | DATE: 25.02.26 | SHEET: 21 | CLIENT'S SIGNATURE _____ | DATE _____ |
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CDC APPLICATION:
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 LOT 2452
 D.P.: 1274624
 L.G.A.: LIVERPOOL

| | | | |
|--------------|-----------------------|--------------------|-----------------|
| CUT: | 150.65 m ² | Maximum | Proposed |
| FILL: | 43.26 m ² | 2000mm CUT | 500mm |
| | | 1000mm FILL | 500mm |

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 Reference: SC25-0305/01
 Date: 12/03/2026
 Andrew Guirgis
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 Consultant who prepared this document remains responsible for accuracy.



SITE INDUCTION
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SITE SPECIFIC HAZARDS
 * OVERHEAD POWERLINES
 * EXISTING TREES

CUT & FILL PLAN



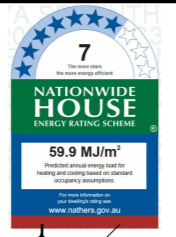
| | | | | | | |
|---|------------------------------|---|-----------------------------------|-------------------|---|--------------------------------------|
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| | FACADE: Modern | SITE ADDRESS: Lot 2452 - in DP 1274624 57A Seventh Avenue & Ganugan Road Austral, NSW 2179 | DRAWN: TB | | | |
| SPECIFICATION: STANDARD | SCALE @ A3: 1:200 | GARAGE HAND: Rear | CHECKED: | DATE: 25.02.26 | SHEET: 22 | |
| | | | PROJECT STAGE: CDC Application | APPLY TO LODGE: | | |

CLIENT'S SIGNATURE _____
 DATE _____
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LEGEND:

| | |
|--|---------------------------|
| | GRASS AREA |
| | HARDSTAND / CONCRETE AREA |
| | PROPOSED RESIDENCE |
| | EXISTING RESIDENCE |
| | PEBBLES |

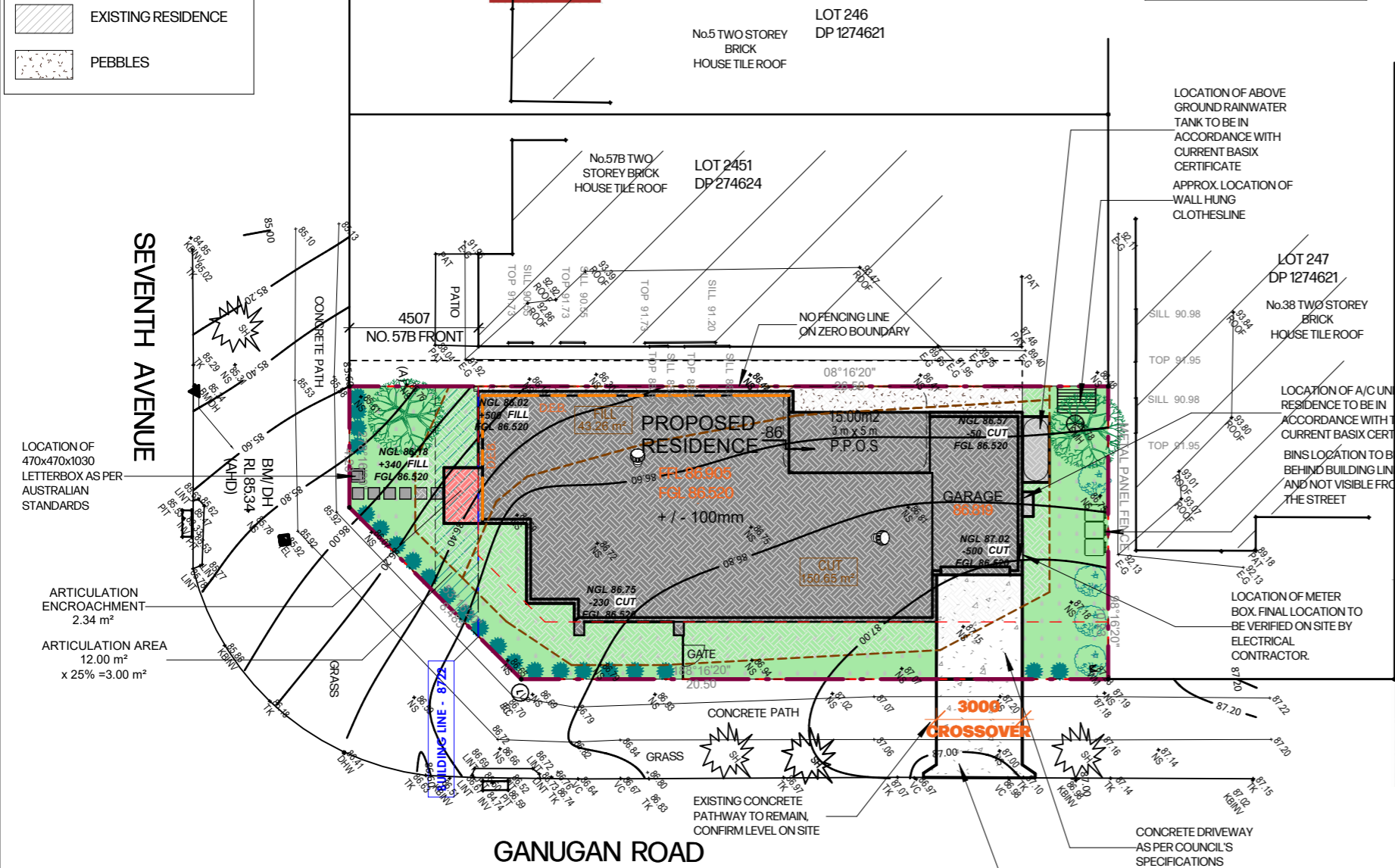
CDC APPLICATION:
ALL DIMENSIONS TO BE CHECKED & CONFIRMED PRIOR TO CONSTRUCTION BY BUILDER.



PLANT SCHEDULES

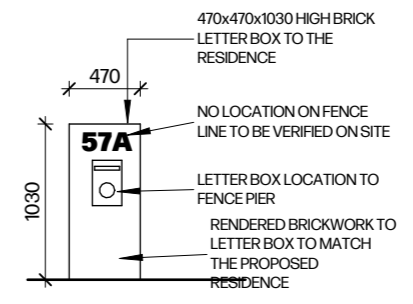
| BOTANIC NAME | COMMON NAME | SYMBOL | QTY | POT SIZE | H | W |
|------------------------------|---------------------|--------|-----|----------|------|----|
| Berberis Thunbergii Atropurp | Berberis | BT | 22 | 200mm | 0.5 | 1m |
| Gardenia Augusta | Common Gardenia | GA | 4 | 200mm | 1.5m | 3m |
| Sapium Sebiferum | Chinese Tallow Tree | SS | 2 | 45lt | 8m | 3m |

DRIVEWAY 10.89m²

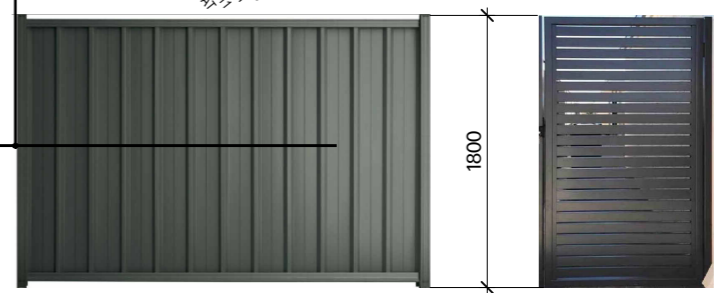


Note:

- Driveways must accommodate two car parking spaces within the property.
- The materials and colours of the driveway must be consistent for the full length of the driveway and crossover (ie. from garage to kerb).
- Driveways must be constructed of either:
 - Broom finished concrete (coloured or painted).
 - Stenciled or stamped concrete.
 - Clay Pavers,
 - Interlocking concrete pavers.
 - Plain uncoloured concrete is not permitted.
 - Light grey coloured concrete is not permitted.
- The colour of the driveway is to complement the colour of the house and is to be nominated on the landscape plan.
- Driveways are to be sufficiently setback from the side boundaries to allow effective planting along the boundary.
- Driveways are not permitted in some locations. These locations are shown on the respective lot diagrams.



LETTER BOX DETAIL
SCALE 1:50



FENCE DETAILS
SCALE 1:50

PROPERTY DESCRIPTION

WIND CLASSIFICATION: "TBC"
SLAB CLASSIFICATION: "H1"

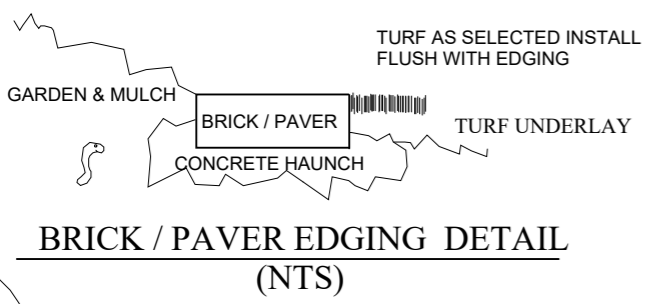
LG: **LIVERPOOL**

GREENFIELD HOUSING CODE
COMPLYING DEVELOPMENT CERTIFICATE REFER TO HOUSING CODE FOR REQUIREMENTS.

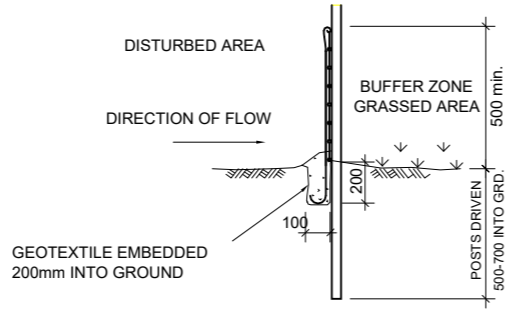
SITE CALCULATIONS

| | |
|---|-----------|
| SITE AREA | 253.10 m² |
| LOT WIDTH | 8.722m |
| BALCONY AREA | 0.00 m² |
| GROSS FLOOR AREA | |
| *GARAGE G.F.A EXCLUDES 1 CAR PARKING SPACE (18m²) | |
| *EXCLUDES: BASEMENTS, STORAGE, VEHICLE ACCESS, TERRACES & BALCONIES WITH OUTER WALLS <1.4M HIGH AND VOIDS | |
| GROUND FLOOR G.F.A: | 97.27 m² |
| FIRST FLOOR G.F.A: | 0.00 m² |
| GARAGE G.F.A: 15.11 m² - 1xCAR SPACE = | 0.00 m² |
| GROSS FLOOR AREA TOTAL: | 97.27 m² |
| MAX. GROSS FLOOR AREA: | 189.83 m² |
| LANDSCAPE | |
| GROUND FLOOR: | 108.02 m² |
| GARAGE: | 18.64 m² |
| PORCH/VERANDAH: | 2.34 m² |
| ALFRESCO: | 9.08 m² |
| PROPOSED FOOTPRINT: | 138.08 m² |
| EXISTING STRUCTURES: | 0.00 m² |
| DRIVEWAY / PATHWAY: | 11.25 m² |
| LANDSCAPE LESS THAN 1.5m WIDE: | 5.39 m² |
| TOTAL LANDSCAPE AREA: (38.87%) | 98.38 m² |
| LANDSCAPE MINIMUM: (1.5M WIDE)(10%) | 25.31 m² |
| FRONT YARD LANDSCAPING: (35.51%) | 26.75 m² |
| REAR YARD LANDSCAPING: (72.81%) | 71.63 m² |
| FRONT LANDSCAPE MINIMUM: (25%) | 9.50 m² |
| REAR LANDSCAPE MINIMUM: (50%) | 12.66 m² |

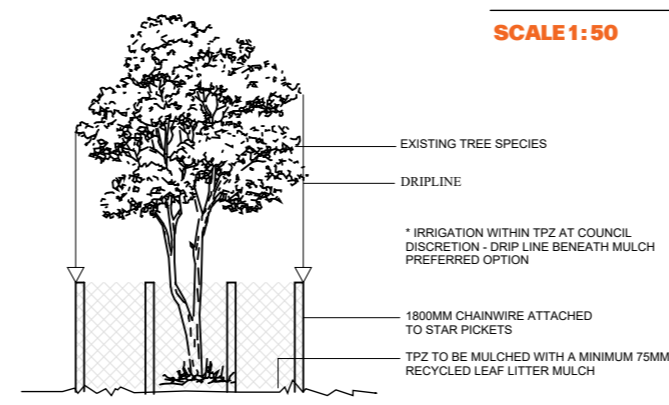
LANDSCAPE PLAN
SCALE 1:200



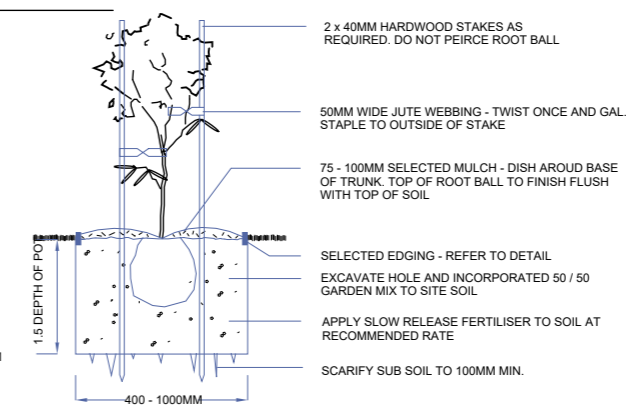
BRICK / PAVER EDGING DETAIL
(NTS)



SEDIMENT BARRIER
(NTS)



TREE PROTECTION DETAIL
(NTS)



25 - 75LTR TYPICAL PLANTING
(NTS)

SITE INDUCTION

BEFORE ENTERING SITE PLEASE REVIEW AND MAKE YOURSELF FAMILIAR WITH EMERGENCY CONTACTS. SITE SPECIFIC HAZARDS AND THE SITE SPECIFIC INDUCTION INFORMATION THAT IS LOCATED ON THE SITE INDUCTION SIGN. IF YOU HAVE ANY TROUBLE UNDERSTANDING THIS INSTRUCTION, CONTACT THE SITE SUPERVISOR OR EMERGENCY CONTACT NUMBER LOCATED ON THE SIGN.

SITE SPECIFIC HAZARDS

- * OVERHEAD POWERLINES
- * TRAFFIC CONTROL REQUIRED

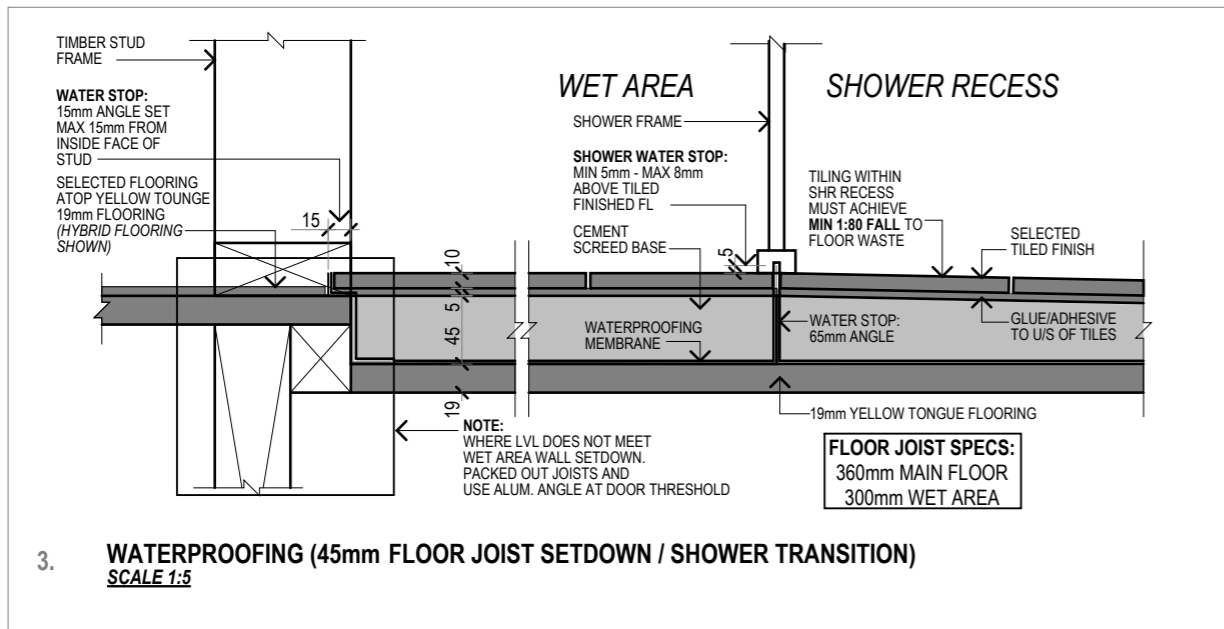
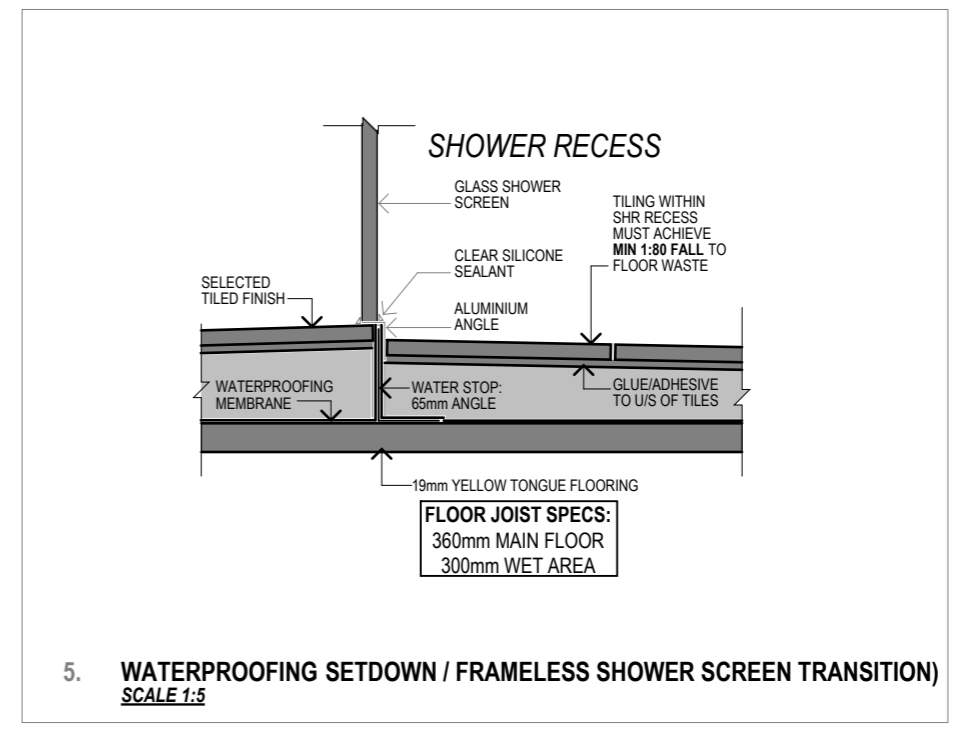
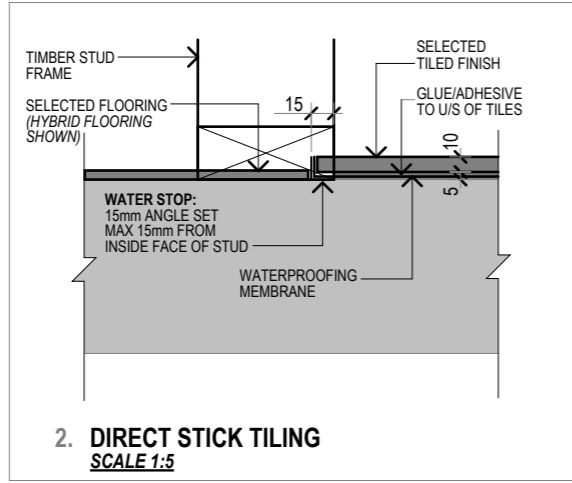
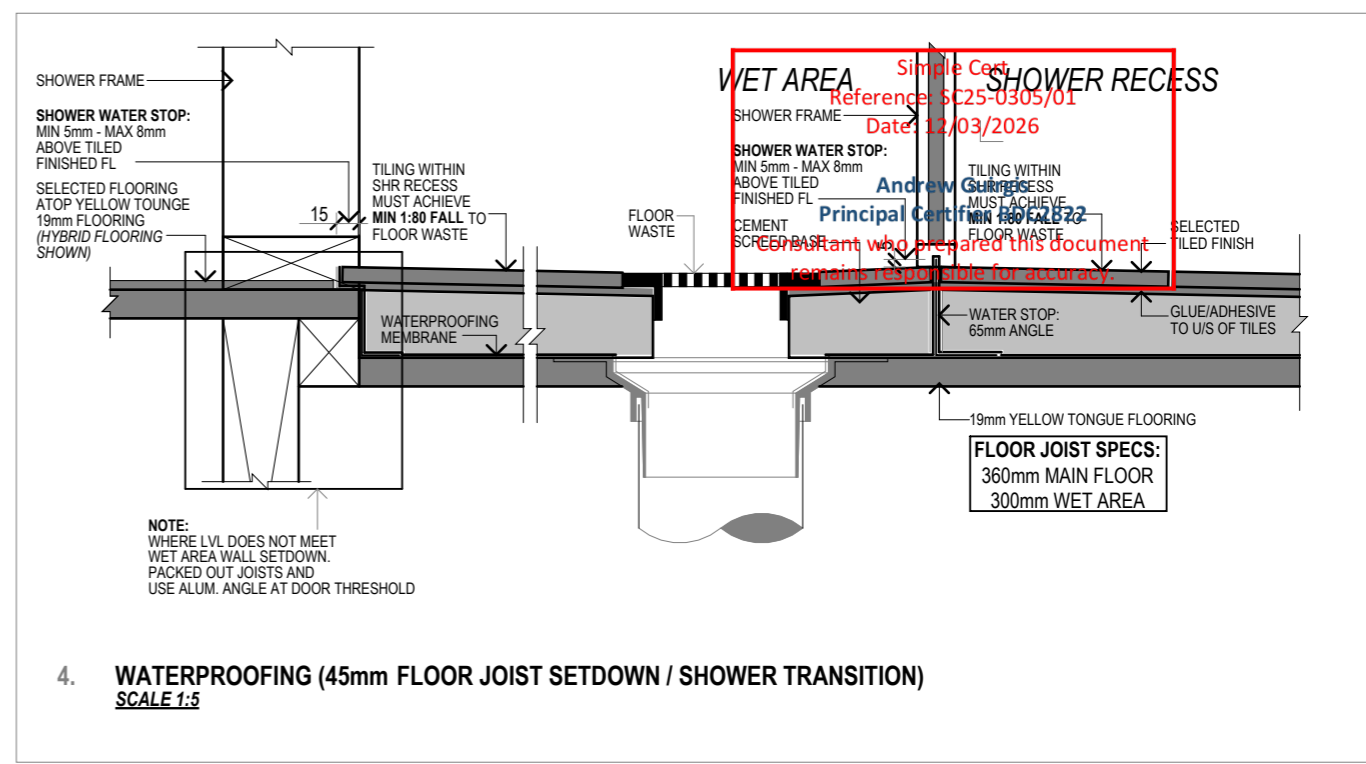
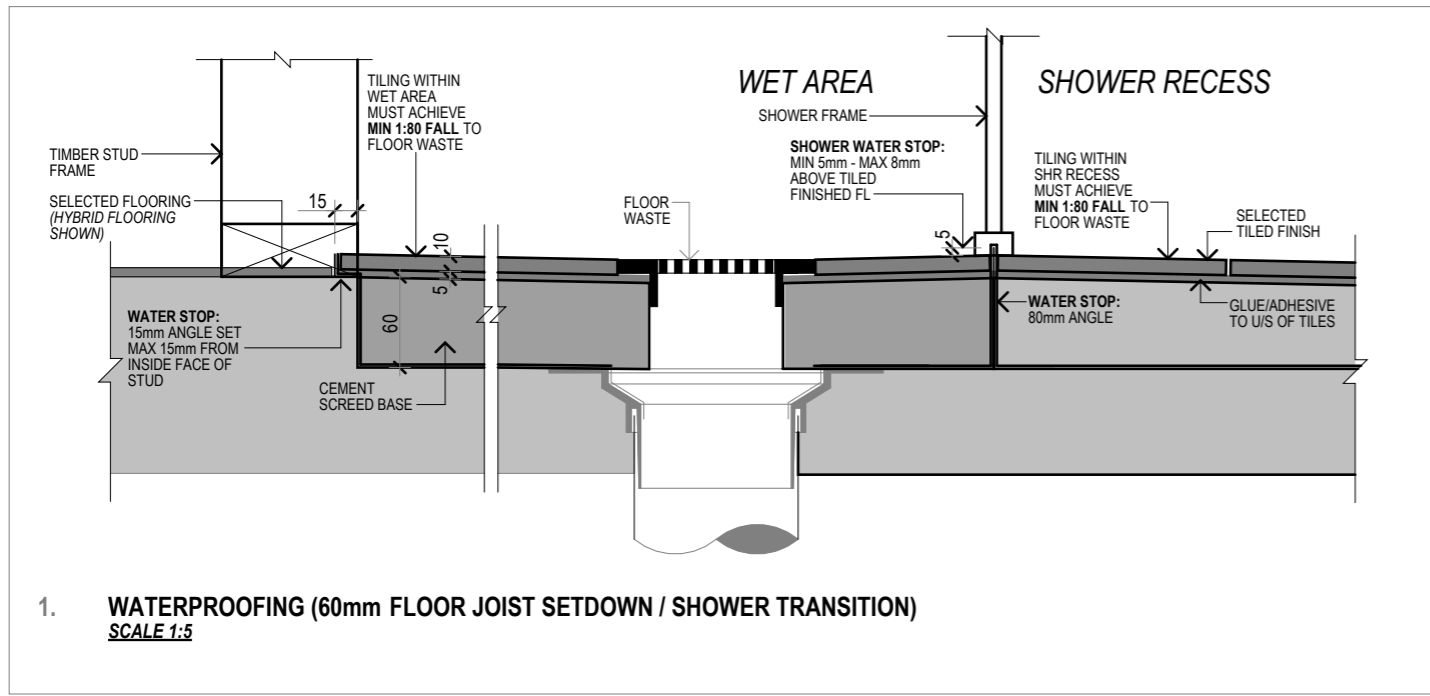
| | | | | | | | |
|---|-----------------------------------|--|--|--|--|--------------------------|---------------------|
| ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom | CLIENT'S NAME: Mr. Sukhwinder Singh Mrs. Harinder Kaur | SHEET NAME: LANDSCAPE PLAN | | P: (02) 7252-5330 E: info@sdcd.com.au A: Suite 106, Level 1 351 Oran Park Drive, Oran Park Nsw 2570. W: sdcd.com.au | | |
| | FACADE: Modern | SITE ADDRESS: Lot 2452 - in DP 1274624 57A Seventh Avenue & Ganugan Road Austral, NSW 2179 | DRAWN: TB | | | JOB NO: 25196 | REV NO: 7 |
| | SPECIFICATION: STANDARD | | CHECKED: | | | DATE: 25.02.26 | SHEET: 23 |
| | SCALE @ A3: As indicated | GARAGE HAND: Rear | PROJECT STAGE: CDC Application | | | APPLY TO LODGE: | |

CLIENT'S SIGNATURE _____

DATE _____

I accept and understand the plans and documents that have been provided to me by Sydney Drafting & Design Pty Ltd.

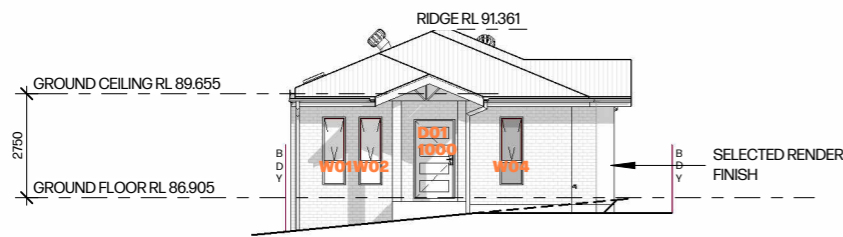
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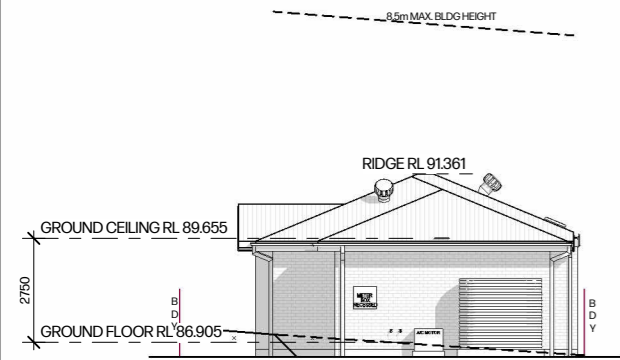
TYPICAL WET AREA DETAILS

| | | | | | | | |
|---|-----------------------------------|--|--|--------------------------|--|--------------------------------------|---------------------|
| ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom | CLIENT'S NAME: Mr. Sukhwinder Singh Mrs. Harinder Kaur | SHEET NAME: TYPICAL WET AREA DETAILS | | | ACCREDITED BUILDING DESIGNER | |
| | FACADE: Modern | SITE ADDRESS: Lot 2452 - in DP 1274624 57A Seventh Avenue & Ganugan Road Austral, NSW 2179 | DRAWN: TB | JOB NO: 25196 | | | REV NO: 7 |
| | SPECIFICATION: STANDARD | | CHECKED: | DATE: 25.02.26 | | | SHEET: 24 |
| | SCALE @ A3: 1:5 | GARAGE HAND: Rear | PROJECT STAGE: CDC Application | APPLY TO LODGE: | | | |
| CLIENT'S SIGNATURE _____ DATE _____ I accept and understand the plans and documents that have been provided to me by Sydney Drafting & Design Pty Ltd. ALL RIGHTS RESERVED. This plan is the property of Sydney Drafting & Design Pty Ltd. Copyright in this document is owned by Sydney Drafting & Design Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Sydney Drafting & Design Pty Ltd. © COPYRIGHT | | | | | | | |

CDC APPLICATION:
 ALL DIMENSIONS TO BE CHECKED & CONFIRMED PRIOR TO CONSTRUCTION BY BUILDER.
 LOT 2452
 D.P.: 1274624
 L.G.A.: LIVERPOOL



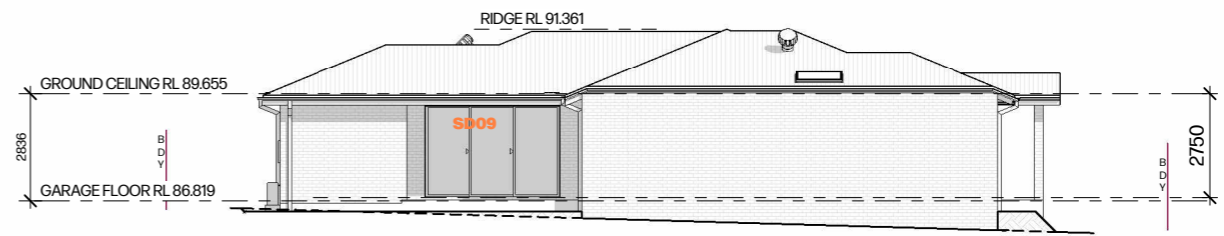
SOUTH ELEVATION
FRONT ELEVATION



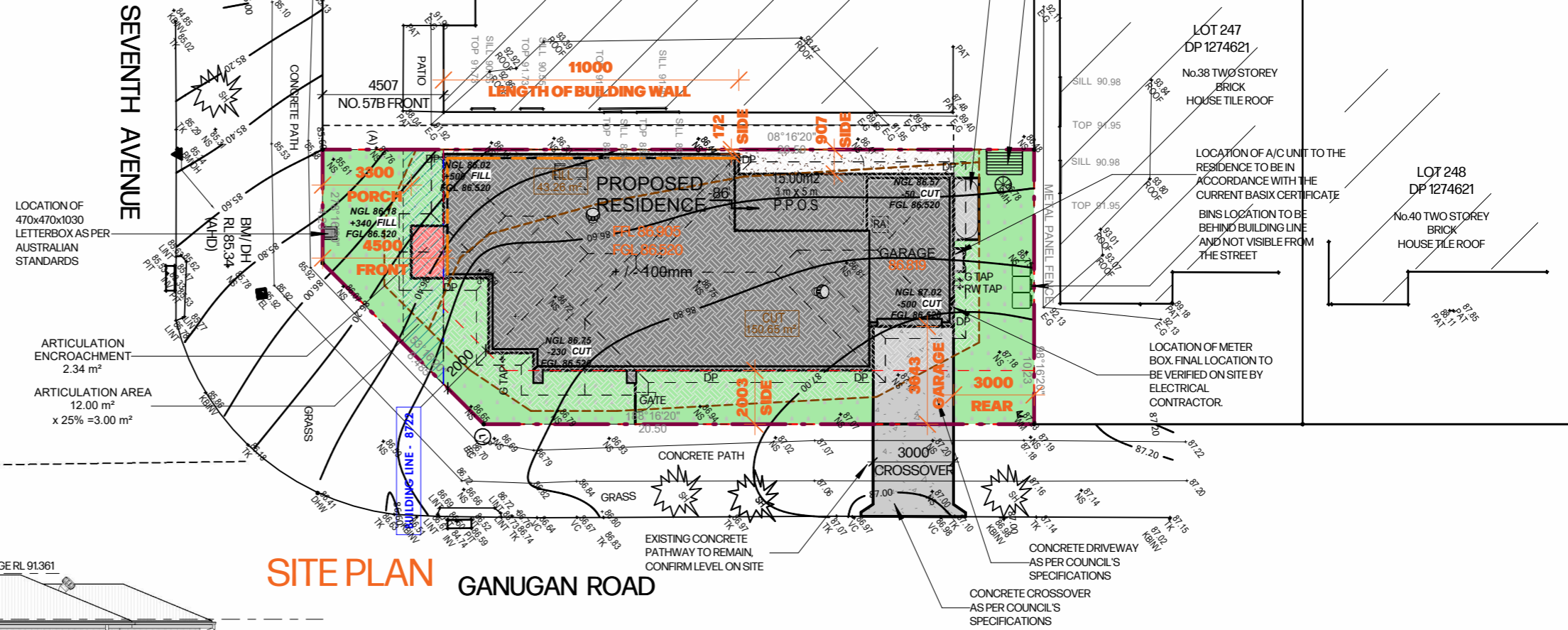
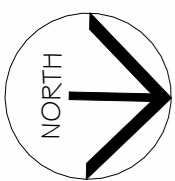
NORTH ELEVATION
REAR ELEVATION



EAST ELEVATION
SIDE ELEVATION



WEST ELEVATION
SIDE ELEVATION

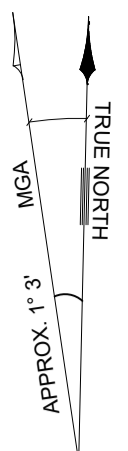


SITE PLAN

Simple Cert
 Reference: SC25-0305/01
 Date: 12/03/2026
 Andrew Guirgis
 Principal Certifier BDC2822
 Consultant who prepared this document remains responsible for accuracy.

| | | | | | | | | | |
|---|-----------------------------------|--|---|--|--|--|--------------------------|--------------|---|
| ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom | CLIENT'S NAME: Mr. Sukhwinder Singh Mrs. Harinder Kaur | SHEET NAME: NOTIFICATION PLAN | | P: (02) 7252-5330 E: info@sdcd.com.au A: Suite 106, Level 1 351 Oran Park Drive, Oran Park Nsw 2570. W: sdcd.com.au | | CLIENT'S SIGNATURE _____ | | |
| | FACADE: Modern | SITE ADDRESS: Lot 2452 - in DP 1274624 57A Seventh Avenue & Ganugan Road Austral, NSW 2179 | DRAWN: TB | | | | JOB NO: 25196 | REV NO: 7 | DATE I accept and understand the plans and documents that have been provided to me by Sydney Drafting & Design Pty Ltd. |
| | SPECIFICATION: STANDARD | PROJECT STAGE: CDC Application | CHECKED: | | | | DATE: 25.02.26 | SHEET: 25 | ALL RIGHTS RESERVED. This plan is the property of Sydney Drafting & Design Pty Ltd. Copyright in this document is owned by Sydney Drafting & Design Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Sydney Drafting & Design Pty Ltd. |
| | SCALE @ A3: 1:200 | GARAGE HAND: Rear | APPLY TO LODGE: | | | | | | © COPYRIGHT |

(A) : EASEMENT FOR ACCESS , MAINTENANCE AND OVERHANG 0.9 WIDE
 RESTRICTION(S) ON THE USE OF LAND CREATED BY DP 1274621
 DP 1274621 POSITIVE COVENANT



LOT 248
DP 1274621

No.40
 TWO STOREY
 BRICK
 HOUSE
 TILE ROOF

LEGEND:

- AHD AUSTRALIAN HEIGHT DATUM
- DHW DRILL HOLE & WING
- BM BENCH MARK
- TEL COMMUNICATION PIT
- TK TOP OF KERB
- VC VEHICLE CROSSING
- KBINV KERB INVERT LEVEL
- E-G EAVE & GUTTERS
- WM WATER METER
- PAT PATIO
- NS NATURAL SURFACE
- LP LIGHT POLE
- SMH SEWER MANHOLE
- TOP WINDOW TOP
- SILL WINDOW SILL
- SHRUB SHRUB

LOT 247
DP 1274621

No.38
 TWO STOREY
 BRICK
 HOUSE
 TILE ROOF

LOT 246
DP 1274621

No.59
 TWO STOREY
 BRICK
 HOUSE
 TILE ROOF

LOT 2451
DP 1274624

No.57B
 TWO STOREY
 BRICK
 HOUSE
 TILE ROOF

LOT 2452
DP 1274624

**AREA 253.1 m² BY CALCULATION
 AND TITLE**

GANUGAN ROAD

SEVENTH AVENUE

NOTE : Bearings, distances and area are by title and Plans only available at the LRS and may be subjected to redefinition. No boundary investigation has been carried out or marked

Simple Cert
 Reference: SC25-0305/01
 Date: 12/03/2026
 Andrew Guirgis
 Principal Certifier BDC2822
 Consultant who prepared this document remains responsible for accuracy.

GEOFFREY GALLEN
 REGISTERED SURVEYOR
 No: 1083

NOTE : CONTOUR INTERVAL : 0.2

Details and level shown on this plan are for general design works only any critical dimensions required should be requested independently of this plan. Prior to any demolition, excavation or construction on this site the relevant Authorities should be contacted to detailed locations of all existing services and the possible location of future services.

EAST WEST SURVEYORS
 PTY LTD
 Ph: 02 83862318 MOB 0403 818 643
 ABN: 52 615 075 119
 Suite 2 Ground Floor, 123 Midson Road Epping NSW 2121
 Email: info@eastwestsurveyors.com.au
 www.eastwestsurveyors.com.au

DETAIL SURVEY OF LOT 2452 IN DP 1274624
 No. 57A SEVENTH AVENUE AUSTRAL
 NSW 2179

| | | |
|-------------|--|---|
| ORIGINAL | THE LAND IN THE SURVEY IS SHOWN ENCLOSED BY CONTINUOUS THICK LINES | |
| SCALE 1:100 | SHEET SIZE A2 | SURVEYED : SL DATE: 13/09/2025 DRAWN : TJ DATE: 22/09/2025 REFERENCE: 25/7711- DET DATUM : AHD SHEET 1 OF 1 SHEETS SSM 207795 RL 81.20 |

PROPOSED RESIDENTIAL DEVELOPMENT AT LOT 2452 (NO. 57A) SEVENTH AVENUE, AUSTRAL, NSW

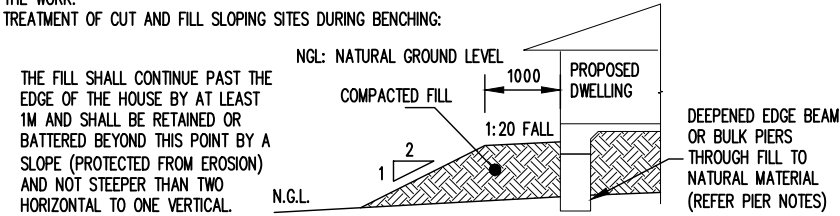
Simple Cert
Reference: SC25-0305/01
Date: 12/03/2026

Andrew Guirgis
Principal Certifier BDC2822

Consultant who prepared this document
(OTHER THAN RESIDENTIAL SLABS ON GROUND OR FOOTINGS) SHALL BE FOLLOWED UNLESS OTHERWISE SPECIFIED.

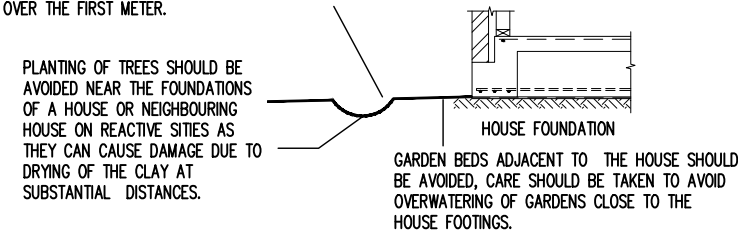
GENERAL

- G1. THESE DRAWING SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWING AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE ENGINEER FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- G2. ALL DIMENSION SHOWN SHALL BE VERIFIED ON SITE. ENGINEERS DRAWINGS MUST NOT BE SCALED. (REFER ARCHITECTURAL DRAWINGS).
- G3. THE STRUCTURAL ENGINEER SHALL PREPARE, SIGN AND ISSUE STRUCTURAL DRAWINGS FOR BUILDERS COMPULSORY IMPLEMENTATION DURING THE FULL OF THE CONSTRUCTION CONTRACT AND/OR ANY MAINTENANCE PERIOD CONTRACTS.
- G4. DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURE IN A STABLE CONDITION AND ENSURE NO PART SHALL BE OVERSTRESSED UNDER CONSTRUCTION ACTIVITIES.
- G5. ALL MATERIALS & WORKMANSHIP SHALL BE IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS AND SPECIFICATIONS.
- G6. DURING THE CONSTRUCTION STAGE AND/OR ANY MAINTENANCE PERIOD, PROPER AND ADEQUATE CONTRACT WORKS INSURANCE AND PUBLIC LIABILITY INSURANCES IS COMPULSORY CLAIMS OR DAMAGE TO ANY ADJACENT PROPERTY OR BUILDING SHALL NOT BE RESPONSIBLE OF THE ENGINEER.
- G7. THESE DRAWINGS ARE SIGNED SUBJECT TO A CERTIFICATE OF INSPECTION BEING ISSUED BY ENGINEER. ALL PIER HOLES AND REINFORCEMENT SHALL BE INSPECTED BY THIS OFFICE PRIOR TO PLACING CONCRETE.
- G8. SHOULD ANY STRUCTURAL ELEMENTS PRESENT DIFFICULTY WITH RESPECT TO CONTRACTIBILITY, SAFETY OR POTENTIAL HAZARDS, THE MATTERS SHALL BE REFERRED TO THE STRUCTURAL ENGINEER FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.
- G9. TREATMENT OF CUT AND FILL SLOPING SITES DURING BENCHING:



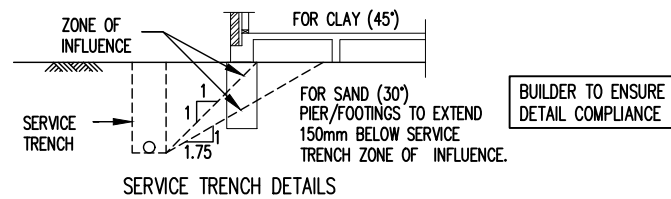
FOUNDATION AND FOOTING

- F1. STRIP TOPSOIL CONTAINING ORGANIC MATTER. PROOF ROLL FILL SUB GRADE AND REMOVE ANY SOFT ZONES.
- F2. WHERE ADDITIONAL FILL IS REQUIRED TO UNDERSIDE OF SLABS ON GROUND, NON COHESIVE MATERIALS SUCH AS SAND AND GRAVEL DUST SHALL BE PLACED BY "CONTROLLED" COMPACTION IN HORIZONTAL LAYERS OF 200mm (LOOSE) MAXIMUM DEPTH. THIS FILL SHALL BE COMPACTED TO AT LEAST 95% OF STANDARD MAXIMUM DRY DENSITY (SMDD) AND COMPACTED IN ACCORDANCE WITH AS 2870.
- F3. FOR SLAB ON GROUND, SAND 50mm APPROXIMATE THICKNESS IS TO BE SPREAD AS A LEVELING LAYER AND WELL WATERED DOWN.
- F4. DAMP-PROOFING MEMBRANE UNPUNCTURED AND TAPED AT LAPS, IS TO BE PLACED OVER THE SAND, SUFFICIENT MEMBRANE BEING PROVIDED AT EDGES TO RETURN UNDER BRICKWORK. WHERE NO BRICKWORK, TAPE MEMBRANE TO SIDE OF FOOTING BELOW GROUND.
- F5. FOOTINGS ARE NOT TO BE CONSTRUCTED IN FILL MATERIAL, ALL STRUCTURAL FILL TO BE APPROVED BY GEOTECHNICAL ENGINEER.
- F6. FOOTING HAVE BEEN DESIGNED FOR ALLOWABLE EQUAL UNIFORM BEARING CAPACITY OF 150kPa ON FIRM NATURAL GROUND. ALL FOUNDATION MATERIAL SHALL BE APPROVED FOR THIS BEARING CAPACITY BEFORE PLACING REINFORCEMENT.
- F7. EXCAVATION SHALL CONTINUE UNTIL THE REQUIRED BEARING CAPACITY IS FOUND. THE OVER-EXCAVATION SHALL BE BACK-FILLED WITH A MASS CONCRETE MIX TO THE APPROVAL OF THE ENGINEER.
- F8. REFER JOB SPECIFICATION DETAILS (PAGE 3) FOR SITE CLASSIFICATION. WE DISCLOSE THAT WE HAVE NOT VERIFIED THIS REPORT AND THAT WE RELY ON ITS FINDINGS. THIS OFFICE TAKE NO RESPONSIBILITY FOR VARIATIONS THAT MAY OCCUR DUE TO VARIATIONS IN SITE CONDITIONS.
- F9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXCAVATIONS IN A STABLE CONDITION WITHOUT AFFECTING ADJACENT PROPERTIES OR SERVICES. WHERE REQUIRED, TEMPORARY SHORING SHALL BE PROVIDED TO THE SIDE OF FOOTING EXCAVATIONS.
- F10. THE OWNERS ATTENTION SHOULD BE DRAWN TO APPENDIX B OF AS2870 "PERFORMANCE REQUIREMENTS AND FOUNDATION MAINTENANCE" ON COMPLETION OF THE JOB.
- F11. THE SITE SHALL BE GRADED OR DRAINED SO THAT WATER CANNOT POND AGAINST OR NEAR THE HOUSE. THE GROUND IMMEDIATELY ADJACENT TO THE HOUSE SHALL BE GRADED TO A UNIFORM FALL OF 50mm (min) AWAY FROM THE HOUSE OVER THE FIRST METER.



FOUNDATION PIERS

- P1. THE CONTRACTOR SHALL INVESTIGATE THE PRESENCE OF ANY EXISTING SERVICES IN THE GROUND LIKELY TO BE AFFECTED BY THE PILING OPERATIONS.
- P2. PILES AND PILING ARE IN ACCORDANCE WITH AS 2159 AND ANY OTHER RELEVANT CODES.
- P3. DURING THE DRILLING THROUGH EXISTING FILL, OBSTRUCTION MAY BE EXPECTED.
- P4. IF GROUNDWATER IS ENCOUNTERED DURING THE PILING, THE ENGINEER TO BE CONTACTED IMMEDIATELY.
- P5. ENSURE THAT MINIMUM PIER DEPTH IS 600mm BELOW THE FOOTING TRENCH, U.N.O.
- P6. ALL PIERS TO BE POURED SEPARATE FROM FOOTINGS AND SLABS.
- P7. ALL PIERS ARE TO BE INSPECTED TO ENSURE THEY ARE CLEANED AND FREE OF LOOSE MATERIAL AND WATER PRIOR TO POURING CONCRETE, WHICH SHOULD BE WITH MINIMAL DELAY AND ON THE SAME DAY AS BORING.
- P8. PIER TOPS ARE TO BE FINISHED SMOOTH. ITS IS RESPONSIBILITY OF CONTRACTOR TO ENSURE PIER TOPS ARE CLEAN AND FREE OF FOREIGN MATERIAL PRIOR TO THE LAYING OF THE MEMBRANE AND CONCRETE SLAB. ENGINEER SPOT CHECK DOES NOT RELEASE THE CONTRACTOR FROM THIS RESPONSIBILITY.
- P9. ALL EDGE BEAMS & INTERNAL BEAMS TO BE FOUNDED ON CONSISTENT NATURAL STRATA OF (MIN.) BEARING CAPACITY 150kPa OTHERWISE, 400 PIERS AT 2000 CTS ARE REQUIRED TO BY-PASS FILL & ACHIEVE UNIFORM BEARING CAPACITY (MIN. 250kPa) ON NATURAL STRATA. REFER STRUCTURAL PLANS PIER DIAMETER AND LOCATIONS.
- P10. IF ANY PIER (OR FOOTING) ENCOUNTERS ROCK OR SHALE, ALL EDGE BEAMS ARE TO BE PIERED TO ROCK OR SHALE- 400 PIERS @ 2.0m CTS.
- P11. WHERE DEPTH OF PIERS EXCEED 2.5m, ENGINEER TO BE NOTIFIED FOR DECISION.
- P12. AT THE COMPLETION OF PIERS, THE CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY AND CERTIFICATION THAT ALL PIERS ARE WITHIN SPECIFIED TOLERANCES.



REINFORCED CONCRETE

- C1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600 CURRENT EDITION, EXCEPT WHERE VARIED BY THE CONTACT DOCUMENTS.
- C2. CONCRETE QUALITY (ENGINEER TO APPROVE ANY ADMIXTURE USED IN CONCRETE MIX)

| ELEMENT | SLUMP | MAX SIZE AGGREGATE | F _c (28 DAYS) |
|----------|-------|--------------------|--------------------------|
| SLAB | 80mm | 20mm | 32 MPa |
| FOOTINGS | 80mm | 20mm | 32 MPa |
| PIERS | 100mm | 20mm | 32 MPa |

- C3. ALL CONCRETE PLACED SHALL BE WELL VIBRATED AND COMPACTED USING AN APPROVED VIBRATOR AND TECHNIQUE.
- C4. CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER.
- C5. SIZES OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF ANY APPLIED FINISHES.
- C6. NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS. WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.
- C7. WATER IS NOT TO BE ADDED TO THE CONCRETE ON SITE SO AS TO INCREASE THE SLUMP ABOVE THAT SPECIFIED.
- C8. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 24 HOURS BEFORE REINFORCEMENT IS COMPLETED. THE CONTRACTOR SHALL ALLOW AFTER THE COMPLETION OF THE REINFORCEMENT TWO HOURS FOR THE ENGINEERS INSPECTIONS, UPON APPROVAL CONCRETE MAY BE ORDERED.
- C9. CONCRETE TO BE CURED A MINIMUM OF 7 DAYS AFTER POURING.
- C10. CURING OF ALL CONCRETE SHALL BE ACHIEVED BY KEEPING SURFACES COMPLETELY WET FOR A PERIOD OF 3 DAYS, AND PREVENTION OF LOSS OF MOISTURE FOR A TOTAL OF 7 DAYS FOLLOWED BY A GRADUAL DRYING OUT. APPROVED SPRAYED ON CURING COMPOUNDS THAT COMPLY WITH AS 3799 MAY BE USED WHERE FLOOR FINISHES WILL NOT BE AFFECTED (REFER MANUFACTURERS SPECIFICATION). POLYTHENE SHEETING OR WET HESSIAN OR SIMILAR PRODUCT MAY BE USED TO RETAIN CONCRETE MOISTURE WHERE PROTECTED FROM WIND AND TRAFFIC.
- C11. FORMWORK TO BEAMS AND SLABS SPANNING GREATER THAN 5m SHALL BE PRE-CAMBERED UPWARDS BY 1/500 OF CLEAR SPAN IN EACH SPAN UNLESS NOTED DIFFERENTLY ON THE DRAWINGS.
- C12. SHRINKAGE CRACKING IS ALMOST INEVITABLE & DOES NOT REPRESENT FAILURE. HOWEVER, IS OF CONCERN UNDER BRITTLE FLOOR COVERINGS DAMAGE MAY BE REDUCED BY USING FLEXIBLE MORTARS & GLUES FOR FIXING TILES & FIXING OPERATION MUST BE DELAYED AS LATE AS POSSIBLE.
- C13. CONSTRUCTION SUPPORT PROPPING IS TO BE LEFT IN PLACE WHERE NEEDED TO AVOID OVERSTRESSING THE STRUCTURE DUE TO CONSTRUCTION LOADING. NO BRICKWORK OR PARTITION WALLS ARE TO BE CONSTRUCTED ON SUSPENDED LEVELS UNTIL ALL PROPPING IS REMOVED AND THE SLAB HAS ABSORBED ITS DEAD LOAD DEFLECTION.

REINFORCEMENT

- R1. MINIMUM CLEAR CONCRETE COVER REINFORCEMENT INCLUDING TIES AND STIRRUPS (OTHER THAN RESIDENTIAL SLABS ON GROUND OR FOOTINGS) SHALL BE FOLLOWED UNLESS OTHERWISE SPECIFIED.

| EXPOSURE CLASSIFICATION | MINIMUM COVER (mm) | | | | |
|-------------------------|-------------------------------------|--------|--------|--------|----------|
| | CONCRETE STRENGTH (F _c) | | | | |
| | 20 MPa | 25 MPa | 32 MPa | 40 MPa | > 50 MPa |
| A1 | 20 | 20 | 20 | 20 | 20 |
| A2 | (50) | 30 | 25 | 20 | 20 |
| B1 | - | (60) | 40 | 30 | 25 |
| B2 | - | - | (65) | 45 | 35 |
| C | - | - | - | (70) | 50 |

FOR BRACKETED FIGURES REFER TO AS3600 CURRENT EDITION TABLE 4.10.3.2

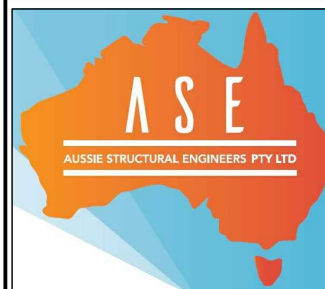
- R2. RESIDENTIAL SLAB ON GROUND AND FOOTINGS COVER REQUIREMENTS: (MINIMUM CONCRETE GRADE N20)
 - UNPROTECTED GROUND: 40mm
 - EXTERNAL EXPOSURE: 40mm
 - MEMBRANE IN CONTACT WITH GROUND: 30mm
 - INTERNAL SURFACE: 20mm
 - STRIP AND PAD FOOTING: 40mm
- R3. REINFORCEMENT SYMBOLS:
 - N - DENOTES DEFORMED GRADE 500 NORMAL DUCTILITY REINFORCING BARS TO AS/NZS4671.
 - R - DENOTES PLAIN ROUND GRADE 250 NORMAL DUCTILITY REINFORCING BARS TO AS/NZS4671.
 - SL - DENOTES DEFORMED GRADE 500 LOW DUCTILITY REINFORCING MESH TO AS/NZS4671.
 - RL - DENOTES DEFORMED GRADE 500 LOW DUCTILITY REINFORCING MESH TO AS/NZS4671.
 - L-TM - DENOTES DEFORMED GRADE 500 LOW DUCTILITY TRENCH MESH TO AS/NZS4671.
- R4. REINFORCEMENTS IS REPRESENTED DIAGRAMMATICALLY, IT IS NOT NECESSARILY SHOWN IN TRUE PROJECTION.
- R5. SPLICES IN REINFORCEMENTS SHALL BE MADE ONLY IN POSITIONS SHOWN OTHERWISE APPROVED BY ENGINEER.
- R6. FABRIC REINFORCEMENT SHALL HAVE SPLICES MADE SO THAT THE OVERLAP, MEASURED BETWEEN THE OUTERMOST TRANSVERSE WIRES OF EACH SHEET OR FABRIC IS NOT LESS THAN THE SPACING OF THOSE WIRES PLUS 25mm.
- R7. AROUND THE ENTIRE EDGE OF THE SLAB, THERE MUST BE AN INTACT EDGE WIRE OF THE FABRIC PARALLEL TO AND 20mm FROM THE FORM BOARD.- PRESENT, PROVIDE AN ADDITIONAL 1-N12 TO EDGE.
- R8. WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON STRUCTURAL DRAWINGS OR APPROVED BY ENGINEER.
- R9. TOP AND BOTTOM REINFORCEMENT IN SLABS SHALL BE SUPPORTED ON APPROVED PLASTIC TIPPED CHAIRS, IN BOTH DIRECTIONS AT MAXIMUM CENTRES OF 600mm FOR 10mm DIA BARS, 900mm FOR 12mm AND 16mm DIA BARS, 1200mm FOR 20mm DIA BARS AND 750mm CENTRES FOR FABRIC.
- R10. TRUSSED ROOF NOTE: SLAB HAS BEEN DESIGNED FOR ROOF LOADING TO BE SUPPORTED BY PROPRIETARY TRUSSES ONTO EXTERNAL WALLS ONLY.
- R11. ARTICULATION NOTE: THIS SLAB IS DESIGNED FOR ARTICULATED MASONRY VENEER TYPE CONSTRUCTION AND ARTICULATION JOINTS ARE TO BE PROVIDED AS PER THE B.C.A. VOL.2 CURRENT EDITION
- R12. DEEPEEN BEAM NOTE: THE FULL EXTENT OF DEEPEENED EDGE BEAMS AND ANY SET-DOWNS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE ARCHITECTURAL DETAILS
- R13. HWS AND ACU NOTE: PADS ARE TO BE LOCATED AS PER ARCHITECTURAL DRAWINGS. WHEN IN FILL, PLACE MASS CONCRETE REINFORCEMENT COVER TABLE PIER UNDER CONCRETE PADS.
- R14. CONDUITS, PIPES, ECT. SHALL ONLY BE PLACED IN THE MIDDLE ONE THIRD OF SLAB DEPTH AND SPREAD AT NOT LESS THAN 3 DIAMETERS.
- R15. ALL REINRENT CORNERS AT PENETRATIONS FOR SLUMP, PITS, COLUMN BLOCKOUTS AND THE LIKE, TO HAVE 2N12 TRIMER BARS PLACED AT 45 DEGREE TO CORNER OR IN EACH DIRECTION AT CORNERS U.N.O. TRIMERS BARS TO BE TIED UNDER SIDE OF TOP MESH.

| REINFORCEMENT LAP TABLE | | | | | | |
|-------------------------|-----|-----|-----|------|------|------|
| BAR SIZE | N12 | N16 | N20 | N24 | N28 | N32 |
| LAP LENGTH | 450 | 600 | 800 | 1200 | 1350 | 1650 |



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| A | ISSUED FOR CDC | 02.03.26 | | | |

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PROPOSED RESIDENCE
LOT 2452 (NO. 57A) SEVENTH AVENUE
AUSTRAL, NSW
FOR - MR. SUKHWINDER SINGH & MRS. HARINDER KAUR



BUILDER
HTCB (LETS WORK)

CONSTRUCTION NOTES - 1

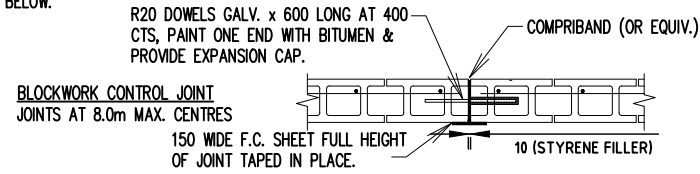
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| DESIGN BY: R.V. | DRAWN BY: C.V. | CHECK BY: R.H. | PAGE: 1 OF 7 |
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| JOB NUMBER: 260208HTCB | ISSUE: A |
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BRICKWORK AND BLOCKWORK

- B1. ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH THE CURRENT AS 3700 AND SAA MASONRY CODES.
- B2. INTERNAL BRICKWORK BUILT OFF THE SLAB SHALL BE LAID ON TWO LAYERS OF 'ALCOR' OR '3 PLY MALTHOID' OR SIMILAR SLIP JOINT MATERIAL.
- B3. LOAD BEARING MASONRY SHALL COMPLY WITH AS 3700
- B4. MASONRY AND MORTAR DURABILITY SHALL COMPLY WITH THE B.C.A CLASS 1 AND 10 BUILDINGS VOLUME 2.
- B5. MASONRY SHALL BE ARTICULATED IN ACCORDANCE WITH THE B.C.A CLASS 1 AND 10 BUILDINGS VOLUME 2.
- B6. MASONRY WALLS MUST NOT BE BUILT ON CONCRETE SLABS OR BEAMS UNTIL ALL FORMWORK/PROPS SUPPORTING THESE SLABS AND BEAMS HAVE BEEN REMOVED.
- B7. ALL BLOCKS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25 MPa.
- B8. CHASES AND HOLES SHALL NOT BE MADE IN BLOCKWORK WITHOUT THE PRIOR APPROVAL OF SUPERINTENDENT.
- B9. PROVIDE CLEAN OUT HOLES AT THE BOTTOM OF ALL CORES FILLED. ALL MORTAR SHALL BE REMOVED FROM BOTTOM OF WALL BEFORE CLEAN OUT HOLES ARE FILLED FOR GROUTING.
- B10. ALL CORES SHALL BE CLEANED AND VERTICAL BARS TIED TO STARTER BARS.
- B11. CONCRETE TO WALLS TO BE THOROUGHLY VIBRATED AND POURED IN LIFTS OF 1800 MAXIMUM. SECOND LIFT TO BE VIBRATED INTO THE FIRST LIFT.
- B12. THE TOP COURSE IN HOLLOW BLOCK WALLS SHALL BE LAID IN SOLID BLOCK.
- B13. PROVIDE CLEAN-OUT HOLES AT BASE OF ALL WALLS AND ROD CORE HOLES TO REMOVE PROTRUDING MORTAR FINS.
- B14. CORE FILLING GROUT SHALL HAVE MINIMUM CHARACTERISTIC STRENGTH OF 25 MPa, 10mm AGGREGATE, 230mm SLUMP +/- 30mm. THOROUGHLY COMPACT CORE FILL GROUT WITH A MECHANICAL VIBRATOR.
- B15. PROVIDE 55mm COVER TO REINFORCING BARS FROM THE OUTSIDE FACE OF THE BLOCKWORK.
- B16. BACKFILL TO RETAINING WALLS IS TO BE FREE DRAINING GRANULAR MATERIAL UNLESS NOTED OTHERWISE. PROVIDE A SUBSOIL DRAIN TO WEEP HOLES.
- B17. ALL MASONRY WALLS AND PIERS SUPPORTING SLABS AND BEAMS SHALL HAVE A PRE-GREASED GALVANISED STEEL SLIP JOINT BETWEEN THE TOP OF THE MASONRY AND THE CONCRETE SLAB SOFFIT UNLESS NOTED OTHERWISE.
- B18. PROVIDE VERTICAL JOINTS AT 8m MAX. CENTERS, AND 5m MAXIMUM DISTANCE FROM CORNERS IN ALL MASONRY WALLS. REFER DETAIL BELOW.



| DURABILITY CLASSIFICATION | | | |
|--|---------------------------|---------------------------------------|---------------|
| CATEGORY (DURABILITY) | WALL TIES AS3700 | SALT ATTACK RESISTANCE OF BRICK | MORTAR AS3700 |
| LESS THAN 1km FROM BREAKING SURF OR LESS THAN 100m FROM SALT WATER NOT SUBJECT TO BREAKING SURF | R4 (STAINLESS OR POLYMER) | EXPOSURE - AS3700 | M4 (1:4) |
| 1km OR LESS THAN 10km FROM BREAKING SURF OR 100m OR LESS THAN 1km FROM SALT WATER NOT SUBJECT TO BREAKING SURF | R3 | EXPOSURE (GENERAL PURPOSE - AS3700) * | M3 (1:5) |
| ALL OTHER AREAS | R2 | GENERAL PURPOSE - AS3700 | M2 (1:2:8) |

THE TABLE ABOVE IS A PART SUMMARY OF THE REQUIREMENTS OF CURRENT EDITION OF AS 3700 & AS 4100. IT IS RECOMMENDED TO REFER THESE AUSTRALIAN STANDARDS FOR MORE OPTIONS/INFORMATIONS. * REFER NOTES: MANDATORY REQUIREMENTS FOR SALINITY AFFECTS.

DRAINAGE REQUIREMENTS

- D1. ALL WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF AS2870, AS/NZS 2032 INTALL OF PVC PIPES AND AS/NZS 3500 PLUMBING & DRAINAGE.
- D2. PLUMBING TRENCHES SHALL BE SLOPED AWAY FROM THE HOUSE AND SHALL BE BACKFILLED WITH CLAY IN THE OP 300mm WITHIN 1.5m OF THE HOUSE. THE CLAY USED FOR BACKFILLING SHALL BE COMPACTED. WHERE PIPES PASS UNDER THE FOOTING SYSTEM, THE TRENCH SHALL BE BACKFILLED WITH CLAY OR CONCRETE TO RESTRICT THE INGRESS OF WATER BENEATH THE FOOTING SYSTEM.
- D3. DRAINAGE SHALL BE CONSTRUCTED TO AVOID WATER PONDING AGAINST OR NEAR THE FOOTING.
- D4. ECATION NEAR THE EDGE OF THE FOOTING SYSTEM SHALL BE BACKFILLED IN SUCH A WAY AS TO PREVENT ACES OF WATER TO THE FOUNDATION.
- D5. WATER RUN-OFF SHALL BE COLLECTED AND CHANNELLED AWAY FROM THE HOUSE DURING CONSTRUCTION.
- D6. PENETRATIONS OF THE EDGE BEAMS AND FOOTING BEAMS ARE TO BE AVOIDED, BUT WHERE NECESSARY SHALL BE SLEEVED TO ALLOW FOR MOVEMENT.
- D7. CONNECTION OF STORMWATER DRAINS AND WASTE DRAINS SHALL BE INCLUDED FLEXIBLE CONNECTIONS.

| BRICK LINTEL MEMBER SCHEDULE (GAL) | | |
|------------------------------------|--------------------|-----------------------|
| OPENING SIZE | LINTEL SIZE | COMMENTS |
| UP TO 900 | 100x100x8MM ANGLE | 150 END BEARING + HDG |
| 901-1200 | 100x100x8MM ANGLE | 150 END BEARING + HDG |
| 1201-1500 | 100x100x8MM ANGLE | 150 END BEARING + HDG |
| 1501-2400 | 150x100x8MM ANGLE | 150 END BEARING + HDG |
| 2401-2700 | 150x100x8MM ANGLE | 150 END BEARING + HDG |
| 2701-3000 | 150x100x10MM ANGLE | 150 END BEARING + HDG |
| 3001-3600 | 150x100x10MM ANGLE | 150 END BEARING + HDG |

ALT. FROM 900 TO 1500 SPAN - ALT. USE 110 X 80MM STANDARD PRESTRESSED ULTRALINTEL MIN. 200MM END BEARING

ALT. FROM 1501 TO 3600 SPAN - ALT. USE 110 X 170MM STANDARD PRESTRESSED ULTRALINTEL MIN. 200MM END BEARING

STRUCTURAL STEELWORK

- S1. ALL MATERIAL, WORKMANSHIP, FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH AS 4100, AS 1538, AS 1554 AND RELEVANT ASSOCIATED STANDARDS.
- S2. UNLESS NOTED OTHERWISE, ALL STEEL SHALL BE IN ACCORDANCE WITH AS1204 GRADE 300. ALL STEEL HOLLOW SECTIONS SHALL BE IN ACCORDANCE WITH AS1163 GRADE 350. ALL PRESSED METAL PURLINS AND GIRTS SHALL BE IN ACCORDANCE WITH AS1538 GRADE 450.
- S3. THREE SETS OF STEELWORK SHOP DETAIL DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR PPROVAL PRIOR TO COMMENCEMENT OF ANY FABRICATION. THE CHECK SHALL NOT COVER LAYOUT AND MEMBER DIMENSION.
- S4. UNLESS NOTED OTHERWISE, USE:
 - A) 10mm GUSSET, BASE AND END PLATES.
 - B) M20 8.8/S BOLTS. HIGH STRENGTH STRUCTURAL (AS1252)
 - C) 6mm CONTINUOUS FILLET WELDS MADE WITH E41XX MILD ELECTRODES.
 - D) ALL BUT WELDS SHALL BE COMPLETE PENETRATION BUTT WELD TO A1554.1
- S5. SITE WELDING OF HOT DIP GALVANIZED STEEL IS PERMISSIBLE IF UPON COMPLETION THE WELDS ARE TREATED WITH THE APPROPRIATE COATING FOR SEVERE AS PER THE B.C.A AND AS/NZS 2312.
- S6. BEAMS SUPPORTED ON BRICKWORK (BEARING NOTED ON PLAN) TO HAVE INCOMPRESSIBLE PACKING AS REQUIRED UNDER THE ENDS OF THE BEAM TO ENSURE EVEN BEARING ON THE BRICKWORK.
- S7. THE BUILDER SHALL PROVIDE ALL CLEATS AND DRILL ALL HOLES NECESSARY FOR FIXING STEEL TO STEEL AND TIMBER AND OTHER ELEMENTS TO STEEL WHETHER OR NOT DETAILED IN THE DRAWINGS.
- S8. WELDS TO BE PROPERLY CHIPPED TO REMOVE SLAG.
- S9. STEELWORK NOT ENCASED SHALL HAVE THE FOLLOWING SURFACE TREATMENTS

| EXPOSURE CLASSIFICATION | STEELWORK PROTECTION REQUIRED |
|-------------------------|--|
| A1/A2 | POWDER TOOL CLEAN TO AS1627 CLASS 1, 1 COT ALKYD PRIMER (ZINC PHOSPHATE) |
| B1 | ABRASIVE BLAST TO AS1627 CLASS 2.5, 1 COT ZINC PHOSPHATE SILICATE |
| B2 | HOT DIPPED GALVANISED TO AS4680, 600gm/M2 |

- S11. THE BUILDER SHALL PROVIDE ALL CLEATS AND DRILL ALL HOLES NECESSARY FOR FIXING STEEL TO STEEL AND TIMBER AND OTHER ELEMENTS TO STEEL WHETHER OR NOT DETAILED IN THE DRAWINGS.
- S12. ALL STEELWORK SHALL HAVE ADEQUATE TEMPORARY BRACING PROVIDED TO STABILIZE THE STRUCTURE DURING CONSTRUCTION.
- S13. THE FABRICATION AND ERECTION OF THE STRUCTURAL STEEL WORK SHALL BE SUPERVISED BY QUALIFIED ENGINEER, EXPERIENCE IN SUCH SUPERVISION, TO ENSURE THAT ALL REQUIREMENTS OF THE DESIGN ARE MET.
- S14. SURFACE FINISHES FOR ALL STRUCTURAL STEELWORK TO BE IN ACCORDANCE WITH THE ARCHITECTURAL SPECIFICATION.
- S15. THE INSTALLATION OF GALINTELS AND 'T' BARS TO BE STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. PLACE GALINTEL 'T' BAR OVER OPENING ALLOWING A MINIMUM OF 200mm END BEARING EACH END. GALINTEL 'T' BAR MUST BE PROPPED BEFORE BRICKLAYING. FROM 2.4m TO 3.3m SPAN 2 PROPS. FROM 3.6m TO 4.5m SPAN 3 PROPS. FROM 4.8m TO 5.7m SPAN 4 PROPS. SPACED EQUALLY ALONG THE LENGTH AND UNDER THE BASE OF THE BAR. WHEN LAYING BRICKS MORTAR MUST BE APPLIED TO ALL BRICK FACES COMING IN CONTACT WITH THE 'T' BAR. PROPS TO REMAIN IN PLACE UNTIL MORTAR ACHIEVES FULL STRENGTH (7 DAYS MIN.). A MINIMUM 1:4 MORTAR MIX IS TO BE USED AND APPLIED TO ALL FACES BETWEEN STEEL AND BRICKS (VERTICAL AND HORIZONTAL LEGS) AND BETWEEN BRICKS ABOVE THE STEEL SECTION.

MANDATORY REQUIREMENTS FOR SALINITY AFFECTS

- FOR HOUSE SLAB FOTING AND BRICKWORKS
- SN1. FOR SLAB ON GROUND CONSTRUCTION, A LAYER OF SAND AT LEAST 50mm DEEP UNDER THE SLAB MUST BE PROVIDED.
 - SN2. A HIGH IMPACT DAMP PROOF MEMBRANE (RATHER THAN A VAPOUR PROOF MEMBRANE) MUST BE LAID UNDER SLAB (NSW BCA 3.2.2.6)
 - SN3. THE DAMP PROOF MEMBRANE MUT EXTEND TO THE OUTSIDE FACE OF THE EXTERNAL EDGE BEAM UP TO THE FINISHED GROUND LEVEL.
 - SN4. ALL CLASS 32MPA (N32) CONCRETE MUST BE USED OR A SULPHATE RESISTING. TYPE SR CEMENT WITH A WATER CEMENT RATIO OF 0.5 MUST BE USED.
 - SN5. IT IS IMPERATIVE THAT WATER IS NOT ADDED AT THE CONSTRUCTION SITE FOR 32 MPA CONCRETE AS THESE WILL REDUCE THE CONCRETE STRENGTH.
 - SN6. SLABS MUST BE VIBRATED AND CURED FOR A MINIMUM OF THREE DAYS. CARE MUST BE TAKEN NOT TO OVER VIBRATE THE CONCRETE DURING PLACEMENT, AS SEGREGATION OF THE CONCRETE AGGREGATES WILL OCCUR.
 - SN7. THE MINIMUM COVER TO REINFORCEMENT MUST BE 50MM FROM UNPROTECTED GROUND. CHAIRS INCLUDING LATERAL SUPPORTS SHOULD BE IN POSITION PRIOR TO INSPECTION AND SUBSEQUENTLY DURING POURING OF THE CONCRETE.
 - SN8. THE MINIMUM COVER TO REINFORCEMENT MUST 30MM FROM THE MEMBRANE IN CONTACT WITH THE GROUND.
 - SN9. THE MINIMUM COVER TO REINFORCEMENT MUST BE 50MM FOR STRIP FOOTINGS AND BEAMS IRRESPECTIVE OF WHETHER A DAMP PROOF MEMBRANE IS USED.
 - SN10. APPROVED ADMIXTURES FOR WATERPROOFING AND/ OR CORROSION PREVENTION MAY BE USED.
 - SN11. THE FOLLOWING MEASURES MUST BE USED FOR BRICKWORK:
 - THE DAMP PROOF COURSE MUST CONSIST OF POLYETHYLENE OR POLYETHYLENE COATED METAL AND BE CORRECTLY PLACED. (NSW BCA 3.3.4.4).
 - EXPOSURE CLASS MASONRY UNITS MUST BE USED BELOW THE DAMP PROOF COURSE LEVEL. (CLAUSE 3.3.1.5(B) AND TABLE 3.3.1.1 OF THE BCA). APPROPRIATE MORTAR AND MIXING RATIO MUST BE USED WITH EXPOSURE CLASS MASONRY UNITS. (CLAUSE 3.3.1.6 OF THE BCA).
 - APPROVED ADMIXTURES FOR WATERPROOFING AND/ OR CORROSION PREVENTION MAY BE USED. WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF AS2870, AS/NZS 2032 INTALL OF PVC PIPES AND AS/NZS 3500 PLUMBING & DRAINAGE.

TIMBER NOTES

Simple Cert
Reference: SC25-0305/01

- T1. ALL TIMBER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS 1684 AND AS 1720.
- T2. ALL TIMBER USED HAVE BEEN STRESS GRADED BY VISUAL OR MECHANICAL MEANS IN ACCORDANCE WITH APPROPRIATE AUSTRALIAN STANDARD.
- T3. ALL SOFTWOOD MINIMUM GRADE F7 AND HARDWOOD MINIMUM GRADE F14 U.N.O.
- T4. EXTERNAL TIMBER TO BE EITHER HARDWOOD DURABILITY CLASS 1 OR 10 OR IMPREGNATED GRADE F7. PRESSURE TREATED TO AS1684 AND RE-DRILLED PRIOR TO USE. SUPPLEMENTARY TREATMENT SHALL BE APPLIED TO ALL CUT SURFACES.
- T5. ALL BOLTS SHALL BE 12mm DIAMETER STEEL UNLESS NOTED OTHERWISE. BOLT HOLES TO BE DRILLED EXACT SIZE. WASHERS UNDER HEADS & NUTS TO BE AT LEAST 2.5 TIMES BOLT DIAMETER accuracy.
- T6. ALL TIMBER JOINTS AND NOTCHES TO BE 100mm MINIMUM FROM LOOSE KNOTS. SEVERE SLOPING GRAIN, GUM VEINS OR OTHER MINOR DEFECTS.
- T7. ALL DESIGN, WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH NATIONAL TIMBER FRAMING CODE AS1684 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- T8. TIMBER SIZES, CONNECTIONS AND BRACING WALL SHALL BE TO FRAME MANUFACTURER'S DETAILS & SPECIFICATIONS & SHALL BE IN ACCORDANCE WITH AS1684. TIMBER FRAMING OUTSIDE THE SCOPE OF AS1684 SHALL BE REFERRED TO THE SUPERINTENDENT FOR A DECISION BEFORE PROCEEDING.
- T9. ALL WALLS, ROOF BRACING & ANCHOR DETAILS WHERE NOT SHOWN ON DRAWINGS SHALL BE IN ACCORDANCE WITH AS1684 & BCA REQUIREMENTS.
- T10. THREE COPIES OF SHOP DRAWINGS ARE TO BE SUBMITTED TO THE ENGINEER FOR APPROVAL CLEARLY SHOWING THE DESIGN LOADS ON THE ROOF AND CEILING AND TRUSS NODE POINT LOADS AND PRECAMBER. DRAWINGS SHALL BE SUBMITTED MINIMUM 14 DAYS PRIOR TO COMMENCEMENT OF ANY FABRICATION.
- T11. TIMBER TREATED IN ACCORDANCE WITH A.S. 1604 SHALL HAVE FOLLOWING HAZARD LEVEL. INTERIOR ABOVE GROUND (H2), EXTERIOR ABOVE GROUND (H3) AND EXTERIOR IN GROUND (H4 OR H5).

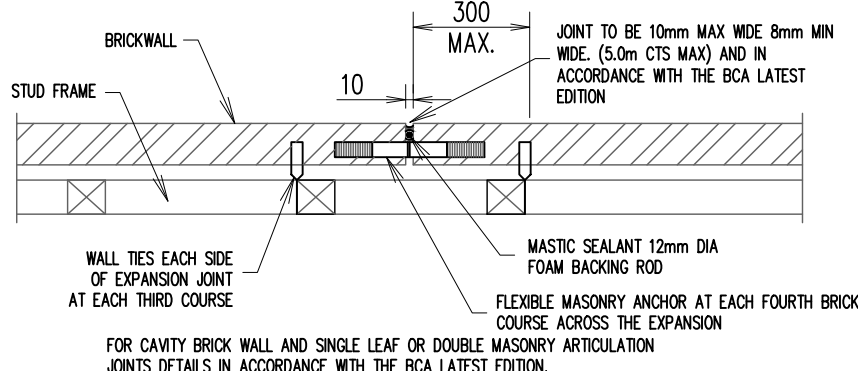
| WIND/WALL TIE CLASSIFICATION | | | | |
|------------------------------|-----------|-------------|-------------------------|-----------------------|
| CLASS | WIND (Vp) | WALL TIES | HORIZONTAL SPACING (MM) | VERTICAL SPACING (MM) |
| | | | | |
| N2 | W33N2 | MEDIUM DUTY | 600 | 600 |
| N3 | W41N3 | MEDIUM DUTY | 600 | 430 (5 COURSE) |

WALL TIE SPACINGS AROUND OPENINGS 300 c/c EACH WAY

POLYMER WALL TIES RATED "LIGHT DUTY ONLY" (W28N1)

(Vp = PERMISSABLE STRESS METHOD)

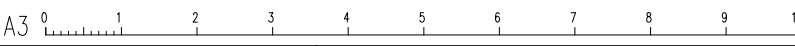
ARTICULATION JOINT DETAIL FOR BRICK VENEER



IMPORTANT NOTE:
"EFFECTS OF TREES + 'ABNORMAL' FOUNDATION MOISTURE CONDITIONS"

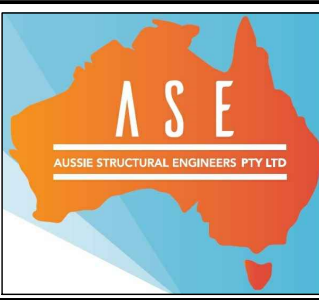
THIS SLAB LAYOUT DESIGN DOES NOT INCLUDE THE EFFECTS OF PREVIOUS, EXISTING OR FUTURE TREES, THEREFORE, IF ANY TREES WERE REMOVED OR ARE PRESENT WITHIN THE VICINITY OF THIS PROPOSED RESIDENCE OR ARE CONSIDERED FOR FUTURE PLANTING, THE DESIGN ENGINEER MUST BE ADVISED FOR RE-CONSIDERATION OF THIS DESIGN. ALSO, THIS SLAB LAYOUT DESIGN DOES NOT ACCOMMODATE GROUND MOVEMENTS GENERATED BY "ABNORMAL" FOUNDATION MOISTURE CONDITIONS. FOR A BETTER UNDERSTANDING OF THESE REQUIREMENTS, THE BUILDERS/OWNERS ATTENTION IS DRAWN TO:

1. APPENDIX CH OF AS2870-2011 "GUIDE TO DESIGN OF FOOTINGS FOR TREES.
2. APPENDIX B OF AS2870-2011 "PERFORMANCE REQUIREMENTS AND FOUNDATION MAINTENANCE"
3. CSIRO PAMPHLET "GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE".



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| A | ISSUED FOR CDC | 02.03.26 | | | |

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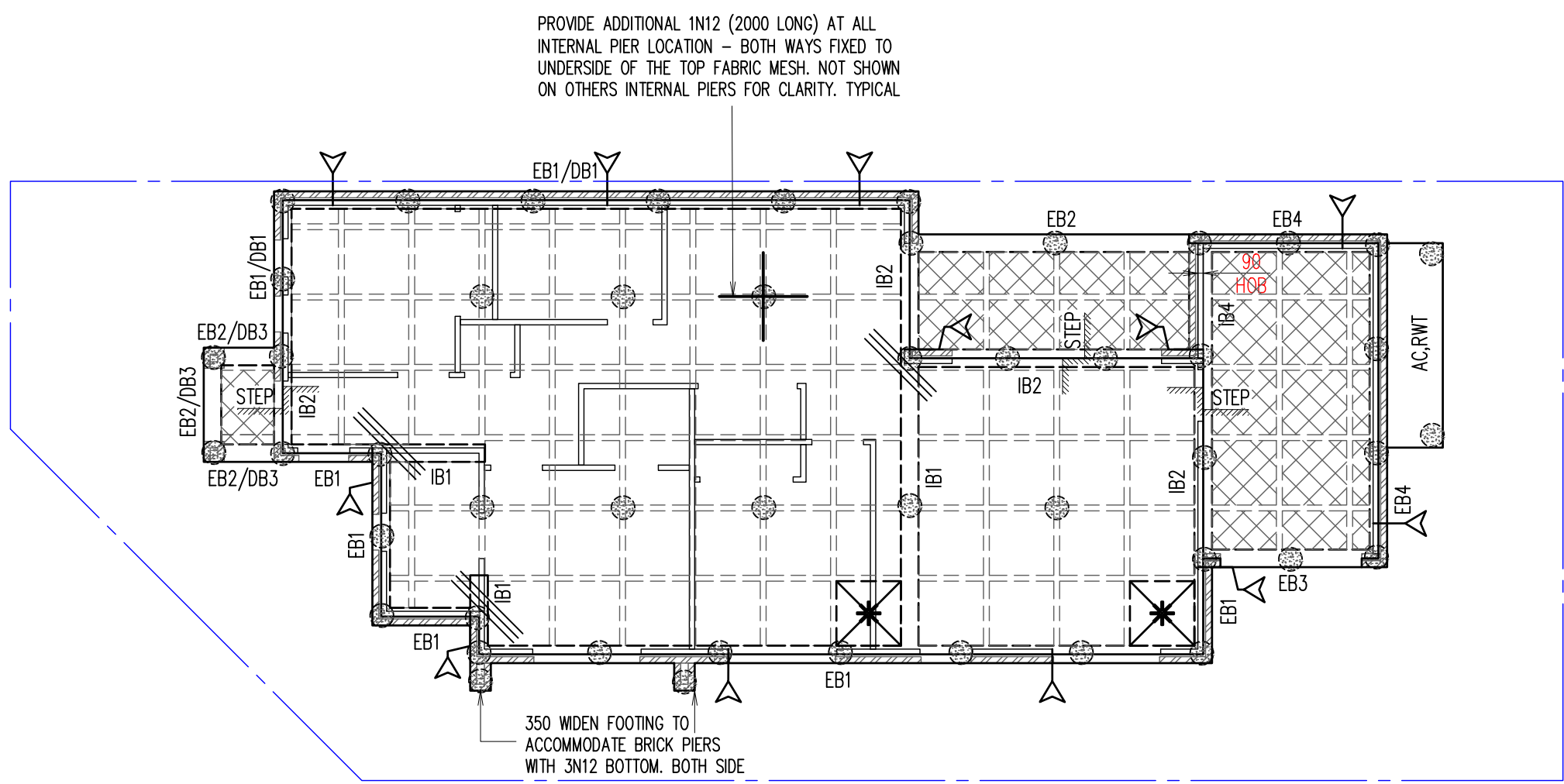
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PROPOSED RESIDENCE
LOT 2452 (NO. 57A) SEVENTH AVENUE
AUSTRAL, NSW
FOR - MR. SUKHWINDER SINGH & MRS. HARINDER KAUR

BUILDER
HTCB (LETS WORK)

| CONSTRUCTION NOTES - 2 | | | |
|---------------------------|-------------------|-------------------|-----------------|
| SCALE: 1:100, 1:20 U.N.O. | | | |
| DESIGN BY: R.V. | DRAWN BY: C.V. | CHECK BY: R.H. | PAGE: 2 OF 7 |
| JOB NUMBER: 260208HTCB | | | ISSUE: A |

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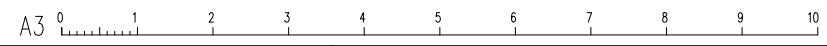


GROUND FLOOR WAFFLE SLAB LAYOUT PLAN SCALE 1:100

1. 300mm DEEP PODS U.N.O. + SLAB THICKNESS = 85mm & PROVIDE SL82 TOP MESH (20 COVER)
2. CONCRETE STRENGTH $f'_c = 32 \text{ MPa}$ (PIERS) AND $f'_c = 32 \text{ MPa}$ (SLAB) MINIMUM AT 28 DAYS U.N.O.
3. LAID 0.2 MICRON HIGH IMPACT DAMP-PROOF MEMBRANE UNDER WAFFLE POD SLAB.
4. IF GROUND CONDITIONS CHANGE DURING EXCAVATION, PLEASE NOTIFY ENGINEER AND SEEK FURTHER INSTRUCTIONS.
5. IF PIER DEPTH EXCEEDS 2.5m, ENGINEER TO BE NOTIFIED FOR DECISION.
6. REFER TO ARCHITECTURAL DRAWINGS FOR ALL SETOUT, LEVELS, FALLS ETC.
7. THIS DRAWINGS IS SIGNED SUBJECT TO CERTIFICATE OF INSPECTION ISSUED BY AN ENGINEER FROM THIS OFFICE. ALL PIERS AND REINFORCEMENT SHALL BE INSPECTED BY THIS OFFICE PRIOR TO PLACING CONCRETE.

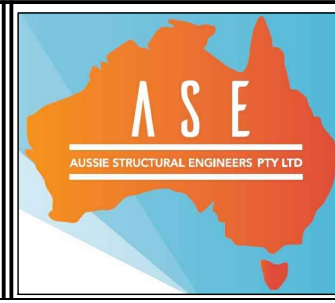
| | | | |
|--|--|--------------------------------|--|
| Simple Cert Reference: SC25-0305 Date: 17/03/2026 | | JOB SPECIFICATION | |
| SITE CLASSIFICATION | | P (DESIGN H1) | |
| Principal Certifier BDC2822 Type of Construction | | ARTICULATED MASONRY VENEER | |
| Consultant who prepared this document remains SALUTELY AFFECTED. | | YES REFER PAGE 2 | |
| WIND CLASSIFICATION | | N2 | |
| EXPOSURE CLASSIFICATION CONCRETE SURFACE | | INTERNAL (A1) EXTERNAL (B1) | |
| THE SITE CLASSIFICATION REPORT PREPARED BY CORE GEOTECH PTY LTD REPORT NO. CG26-0287/A DATED 19/02/26. WE TAKE NO RESPONSIBILITY FOR VARIATIONS THAT MAY OCCUR DUE TO VARIATIONS IN SITE CONDITIONS. | | | |
| PROVIDE ADDITIONAL 1N12 (2000 LONG) AT ALL INTERNAL PIER LOCATION - BOTH WAYS FIXED TO UNDERSIDE OF THE TOP FABRIC MESH. | | | |

| LEGEND | |
|--------|---|
| | DENOTES BRICK WALL OVER |
| | DENOTES TIMBER WALL OVER |
| | DENOTES 3N12 OR EQUIV. (OR 3L11TM) CRACK CONTROL BARS, 2000mm LONG TIED UNDER TOP MESH. |
| | DENOTES 300 DEEP PODS (D1). POD SIZE: 1090x1090 (CUT PODS AS REQUIRED) |
| | DENOTES 225 DEEP PODS (D2). POD SIZE: 1090x1090 (CUT PODS AS REQUIRED) |
| | DENOTES POD STARTING POINT |
| | DENOTES 400 DIA. MASS CONCRETE PIERS (250 KPA MIN. BEARING CAPACITY) TO UNIFORM BEARING ON NATURAL STRATA THROUGHOUT & 800MM MIN. INTO STIFF MATERIAL. ALL PIERS: 2.20M MIN. DEEP OR NATURAL ROCK - WHICHEVER IS LESSER. |
| | DENOTES APPROX. LOCATION OF ARTICULATION JOINT. EXACT POSITION SHOULD BE READ OFF ARCHITECTURAL DRAWINGS AND/OR DETERMINED BY BUILDER ON SITE. ALL ARTICULATION JOINTS ARE TO BE PROVIDED AS PER THE B.C.A. LATEST EDITION. |



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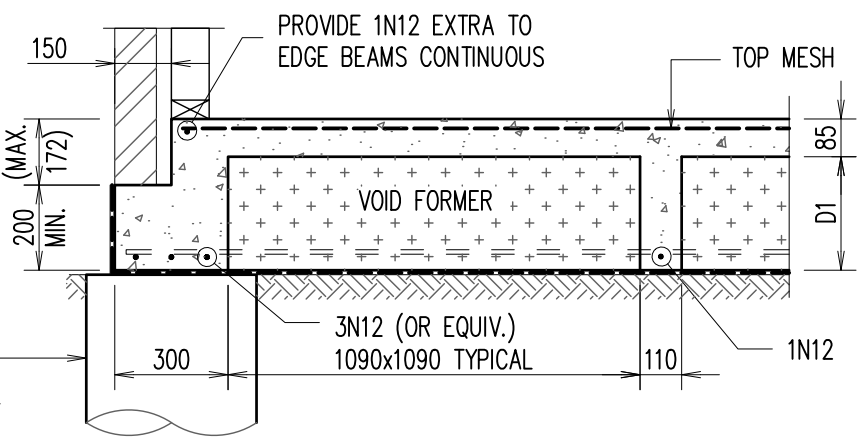
PROPOSED RESIDENCE
 LOT 2452 (NO. 57A) SEVENTH AVENUE AUSTRAL, NSW
 FOR - MR. SUKHWINDER SINGH & MRS. HARINDER KAUR

BUILDER
HTCB (LETS WORK)

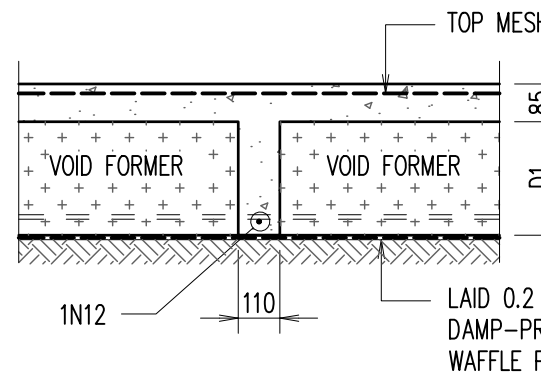
| WAFFLE SLAB PLAN | | | |
|----------------------------------|-------------------|-------------------|------------------------|
| SCALE: 1:100, 1:20 U.N.O. | | | |
| DESIGN BY: R.V. | DRAWN BY: C.V. | CHECK BY: R.H. | PAGE: 3 OF 7 |
| JOB NUMBER: 260208HTCB | | | ISSUE: A |

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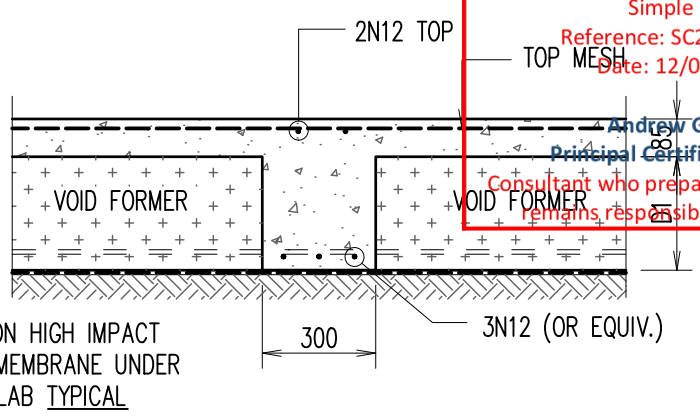
Ø400MM MASS CONCRETE PIERS REFER SLAB LAYOUT PLAN FOR PIER LOCATION AND BEARING CAPACITY & DEPTH. TYPICAL WHERE REQUIRED.



TYPICAL EDGE BEAM - 'EB1'
ALTERNATIVELY REFER TO 'DB1' FOR DETAILS

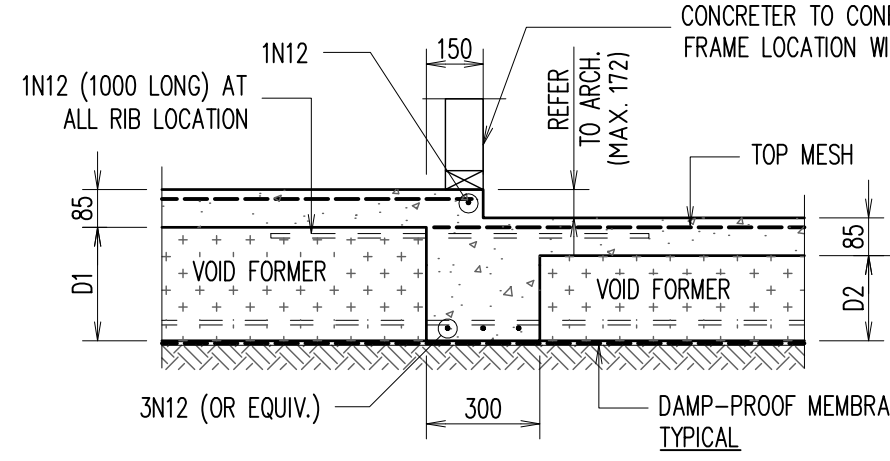


INTERNAL RIB

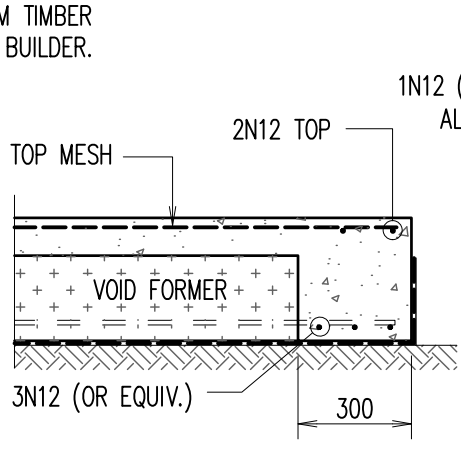


INTERNAL BEAM - 'IB1'

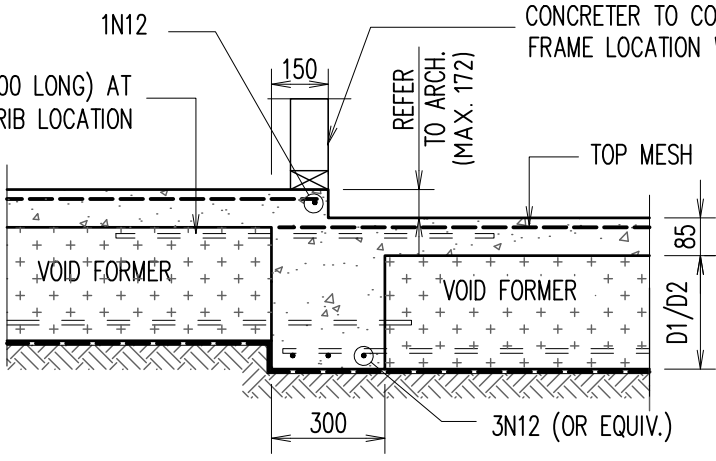
| | | | |
|--|--|--------------------------|--------------|
| Simple Cert Reference: SC25-0305/01 Date: 12/03/2026 Andrew Guirgis Principal Certifier BDC2822 Consultant who prepared this document remains responsible for accuracy | | JOB SPECIFICATION | |
| POD DEPTH (D1) | | | 300mm |
| POD DEPTH (D2) | | | 225mm |
| SLAB THICKNESS | | | 85mm |
| TOP MESH | | | SL82 |
| BEAM REINFORCEMENT: 3N12 (ALTERNATIVELY 3-L11TM) | | | |



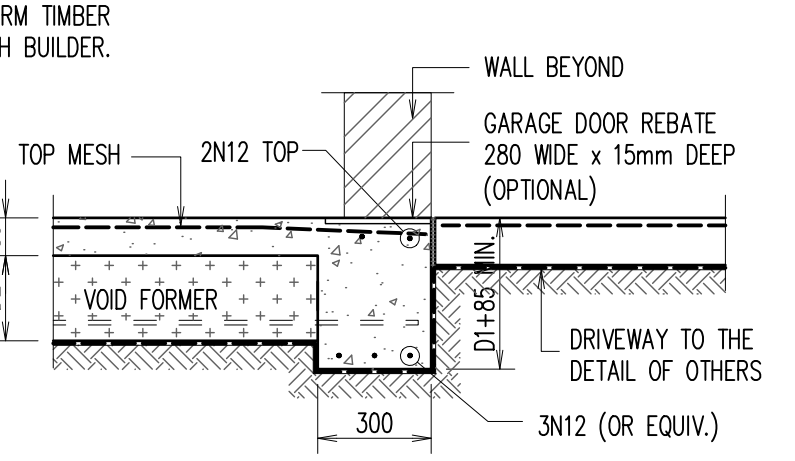
INTERNAL STEPDOWN BEAM - 'IB2'
ALTERNATIVELY REFER TO 'IB3 OR DB2' FOR DETAILS



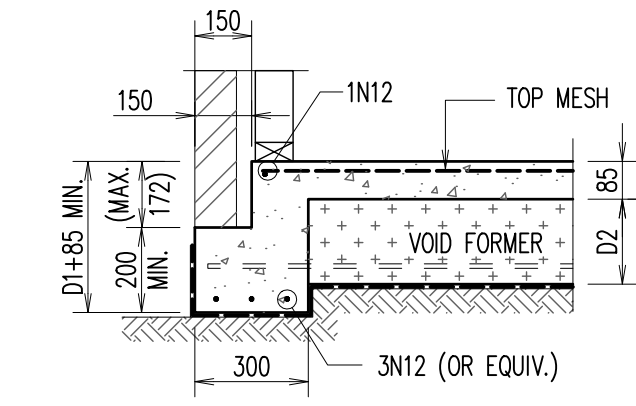
EDGE BEAM - 'EB2'
ALTERNATIVELY REFER TO 'DB3' FOR DETAILS



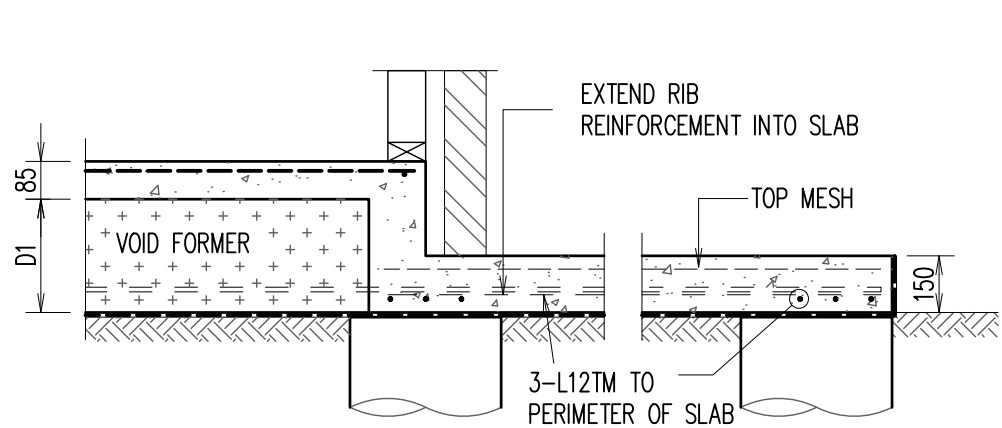
INTERNAL STEPDOWN BEAM - 'IB3'
ALTERNATIVELY REFER TO 'DB2' FOR DETAILS



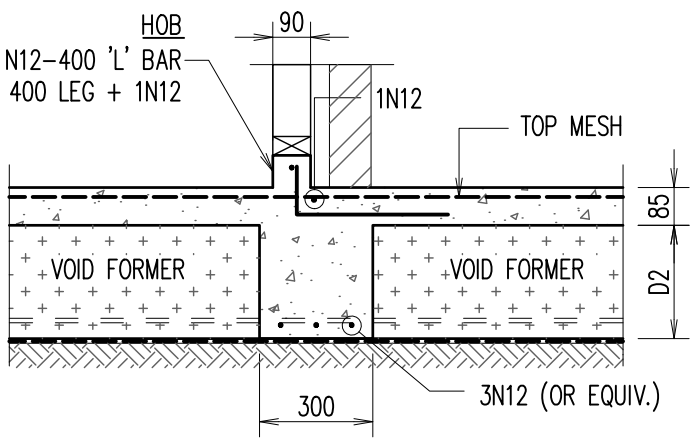
GARAGE EDGE BEAM - 'EB3'



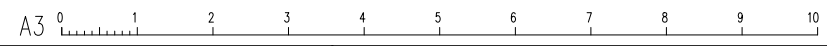
GARAGE EDGE BEAM - 'EB4'



TYPICAL ATTACHED TANK/AC SLAB DETAIL

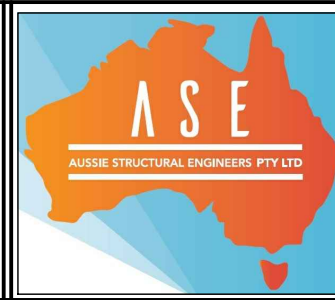


INTERNAL BEAM - 'IB4'



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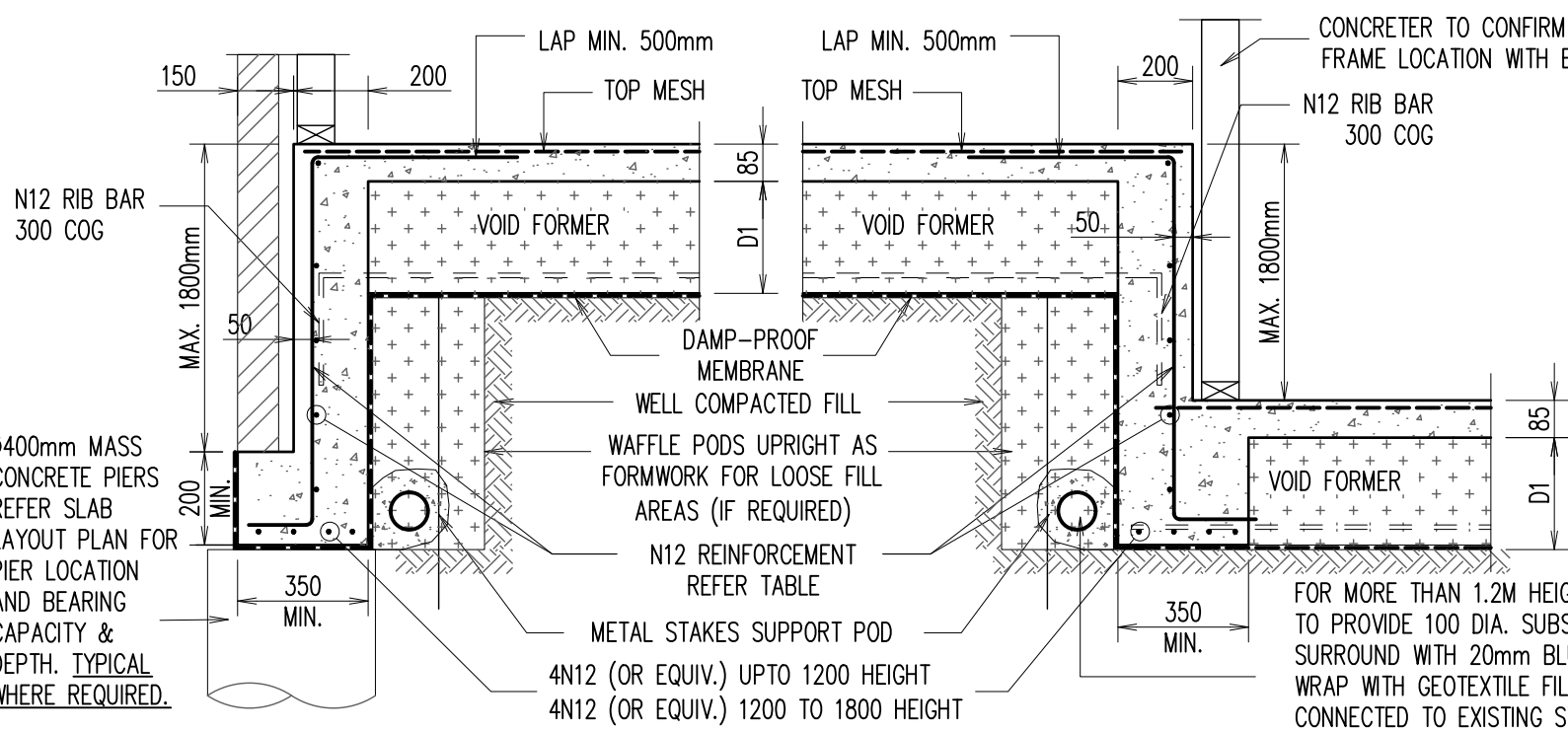


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LOT 2452 (NO. 57A) SEVENTH AVENUE AUSTRAL, NSW
FOR - MR. SUKHWINDER SINGH & MRS. HARINDER KAUR
BUILDER: HTCB (LETS WORK)

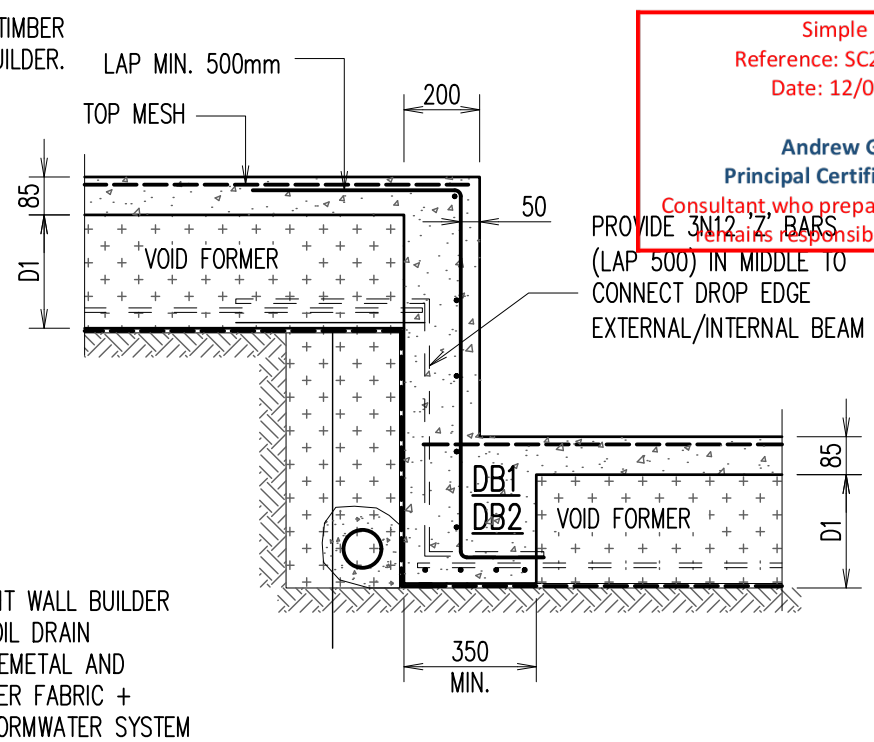
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| WAFFLE SLAB DETAILS - 1 | | | |
| SCALE: 1:100, 1:20 U.N.O. | | | |
| DESIGN BY: R.V. | DRAWN BY: C.V. | CHECK BY: R.H. | PAGE: 4 OF 7 |
| JOB NUMBER: 260208HTCB | | | ISSUE: A |

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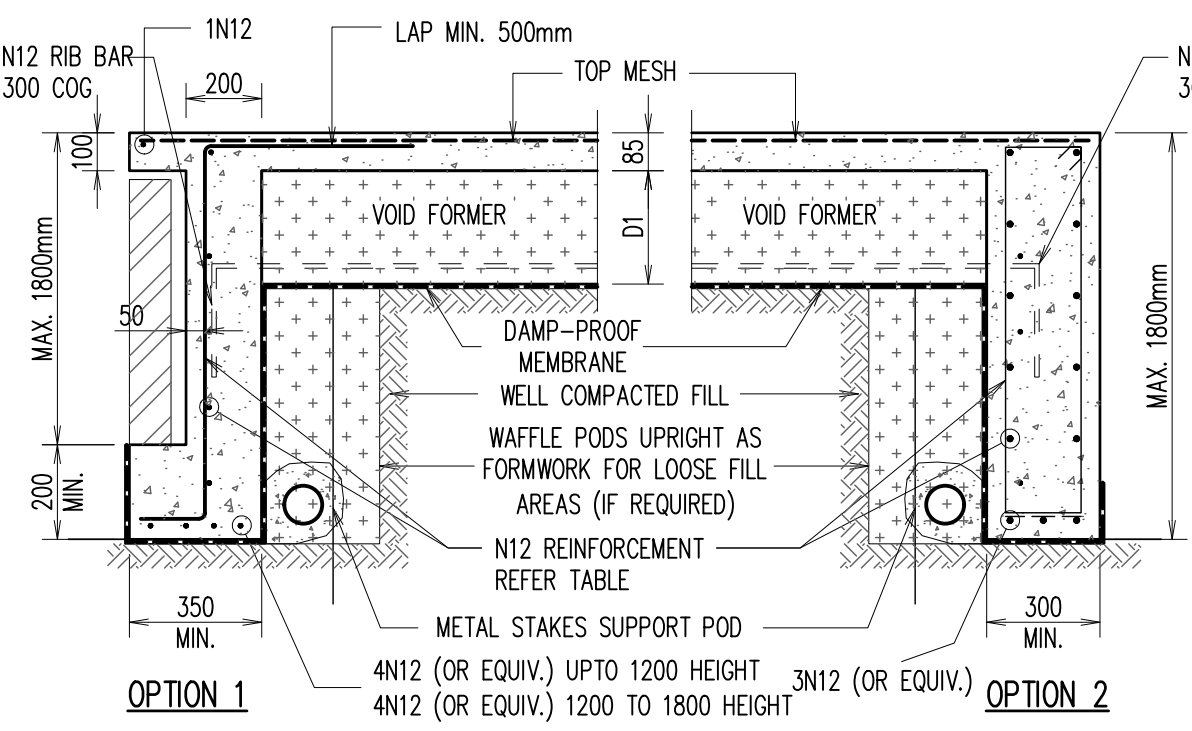


'EXTERNAL' DROP BEAM - 'DB1'

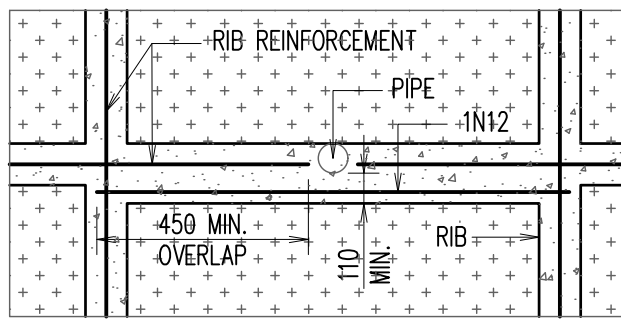
'INTERNAL' DROP BEAM - 'DB2'



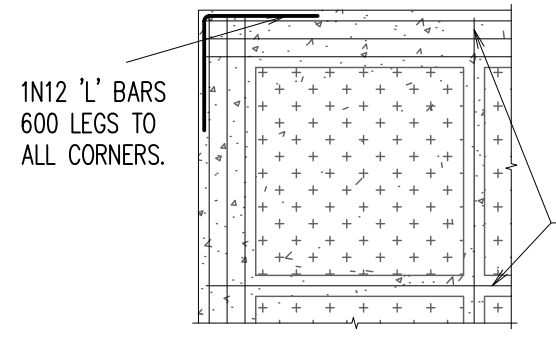
DROP EDGE BEAM TRANSITION DETAIL



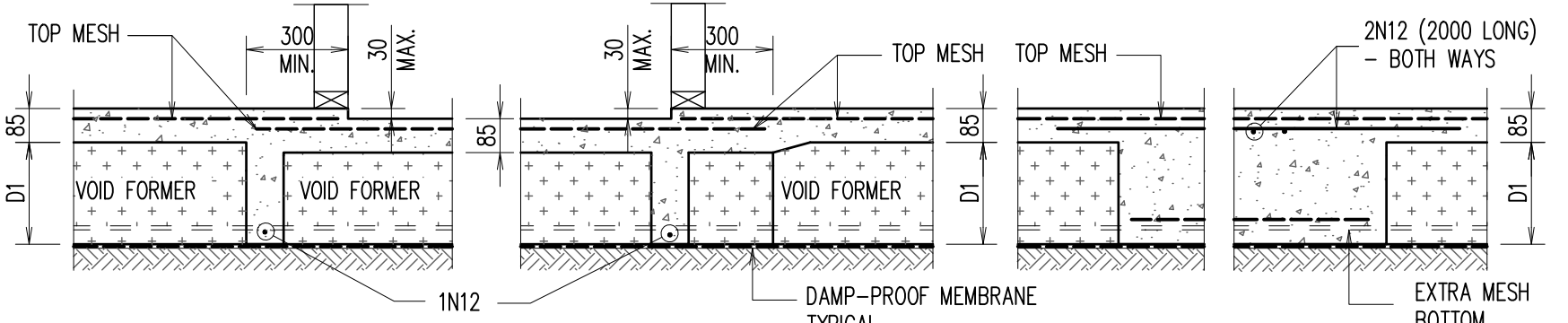
'EXTERNAL' DROP BEAM - 'DB3'



PIPE PENETRATION THROUGH RIB

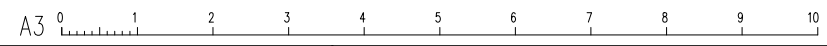


TYPICAL CORNER DETAILS



TYPICAL WET AREA STEP DETAIL

LOCAL THICKENING DETAIL



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Principal Certifier BD02832
Consultant who prepared this document
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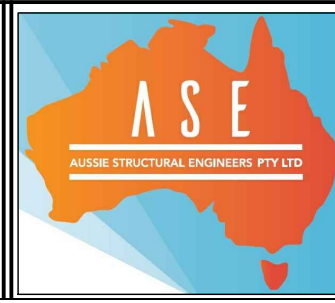
| JOB SPECIFICATION | | |
|---|--|-------|
| POD DEPTH (D1) | | 300mm |
| POD DEPTH (D2) | | 225mm |
| SLAB THICKNESS | | 85mm |
| TOP MESH | | SL82 |
| BEAM REINFORCEMENT: 3N12 (ALTERNATIVELY 3-L11TM) | | |

| DROP EDGE BEAM REINFORCEMENT TABLE | | |
|------------------------------------|----------------|--------------|
| DROP EDGE BEAM DEPTH | HORIZONTAL REO | VERTICAL REO |
| 173 TO 400mm | 1N12 | N12-600 CTS |
| 410 - 900mm | N12-400 CTS | N12-400 CTS |
| 910 - 1500mm | N12-300 CTS | N12-300 CTS |
| 1510 - 1800 | N12-200 CTS | N12-200 CTS |

| REINFORCEMENT FOR EXTERNAL BEAMS WHERE WIDTH EXCEEDS 300mm | | |
|---|-----------|-----------------|
| WIDTH | TOP STEEL | BTM STEEL EXTRA |
| 301-330 | 1N12 | 1N12 |
| 331-440 | 2N12 | 2N12 |
| 441-550 | 3N12 | 3N12 |
| 551-660 | 4N12 | 4N12 |

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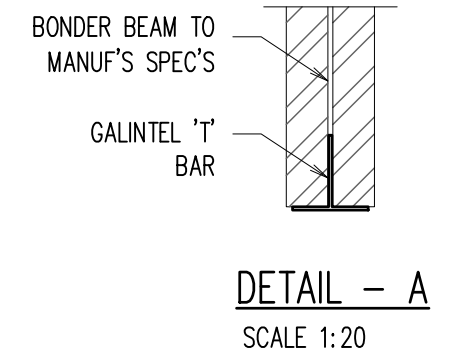
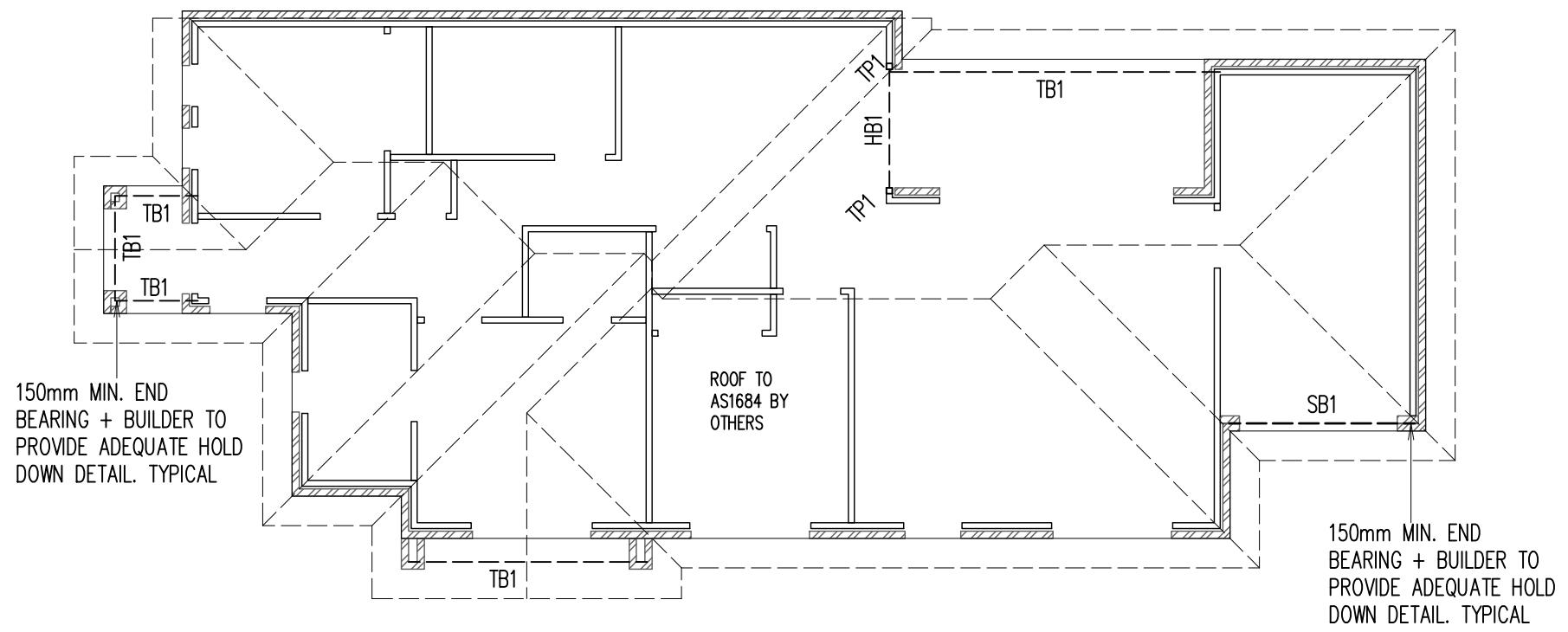
PROPOSED RESIDENCE
LOT 2452 (NO. 57A) SEVENTH AVENUE
AUSTRAL, NSW
FOR - MR. SUKHWINDER SINGH & MRS. HARINDER KAUR
BUILDER: HTCB (LETS WORK)

WAFFLE SLAB DETAILS - 2
SCALE: 1:100, 1:20 U.N.O.
DESIGN BY: R.V. DRAWN BY: C.V. CHECK BY: R.H. PAGE: 5 OF 7
JOB NUMBER: 260208HTCB ISSUE: A

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 Principal Certifier BDC2822
 Consultant who prepared this document
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LEGEND

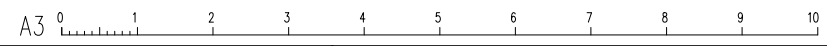
| | |
|--|--------------------------|
| | DENOTES BRICK WALL OVER |
| | DENOTES TIMBER WALL OVER |

STEEL BEAM AND TIMBER BEAM LAYOUT PLAN

- NOTES: SCALE 1:100
- DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURALS.
 - REFER TO ARCHITECTURAL DRAWINGS FOR ALL SETOUT, LEVELS, FALLS ETC.
 - TB1 TO BE PROVIDED ON OVER ALL OPENINGS

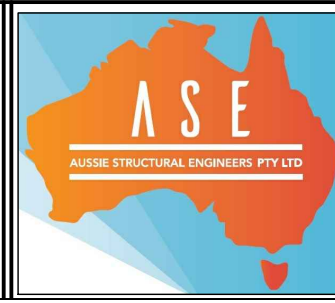
- NOTE:**
- IF IN DOUBT FOR LINTEL SIZES OVER REMAINING WINDOW/DOOR OPENINGS CONTACT STRUCTURAL ENGINEER.
 - REFER PAGE 3 FOR APPROX. LOCATION OF ARTICULATION JOINT. EXACT POSITION SHOULD BE READ OFF ARCHITECTURAL DRAWINGS AND/OR DETERMINED BY BUILDER ON SITE. ALL ARTICULATION JOINTS ARE TO BE PROVIDED AS PER THE B.C.A. LATEST EDITION.
 - TIMBER TRUSS ROOF AND WALLS BRACING AND TIE DOWN DETAILS BY OTHERS & COMPLY WITH RELEVANT SECTIONS OF AS1684.

| MEMBER SCHEDULE | | |
|-----------------|------------------------|------------------------------|
| MARK | SIZE | COMMENTS |
| SB1 | 200x6/200x8 'T' BAR | 150 END BEARING + DETAIL 'A' |
| TB1,HB1 | STRUCTURAL TIMBER BEAM | TO MANUFACTURES DETAILS |
| TP1 | STRUCTURAL TIMBER POST | TO MANUFACTURES DETAILS |



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 AUSTRAL, NSW
 FOR - MR. SUKHWINDER SINGH & MRS. HARINDER KAUR

BUILDER
HTCB (LETS WORK)

STEEL/TIMBER BEAM DETAILS

SCALE: 1:100, 1:20 U.N.O.

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|--------------------|-------------------|-------------------|------------------------|

JOB NUMBER:
260208HTCB

ISSUE:
A

PROPOSED RESIDENTIAL DEVELOPMENT AT LOT 2452 (NO. 57A) SEVENTH AVENUE, AUSTRAL, NSW

Simple Cert
Reference: SC25-0305/01
Date: 12/03/2026

Andrew Guirgis
Professional Engineer
No. 123456789 - BDC2822

GENERAL NOTES

- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ARCHITECTURAL, LANDSCAPE AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH OTHER SUCH WRITTEN INSTRUCTION AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEERS BEFORE PROCEEDING WITH THE WORK.
- ALL DIMENSIONS ARE IN MILLIMETERS & ALL LEVELS ARE IN METERS, UNO (UNLESS NOTED OTHERWISE).
- NO DIMENSION SHALL BE OBTAINED BY SCALING THE DRAWINGS.
- EXISTING SERVICES LOCATIONS SHOWN INDICATIVE ONLY. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE & LEVEL ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF ANY WORKS.
- ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS. ALL EXTERNAL SLABS TO BE WATERPROOFED.
- DURING EXCAVATION WORK, THE STRUCTURE SHALL BE MAINTAINED IN A STABLE AND NO PART SHALL BE OVERSTRESSED.
- ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS & SPECIFICATION.
- EXISTING SERVICES WHERE SHOWN HAVE BEEN PLOTTED FROM SUPPLIED DATA AND SUCH THEIR ACCURACY CAN NOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LEVEL OF ALL EXISTING SERVICE PRIOR TO THE COMMENCEMENT OF WORK.
- ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACK FILLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL COUNCIL.
- ALL TRENCH BACK FILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.
- ON COMPLETION OF STORMWATER INSTALLATION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL CONDITION, INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL AND GRASSED AREAS AND ROAD PAVEMENTS, UNLESS DIRECTED OTHERWISE.
- CONTRACTOR TO OBTAIN ALL AUTHORITY APPROVALS UNLESS DIRECTED OTHERWISE.
- LOCATION OF DOWNPIPES AND FLOOR WASTES ARE INDICATIVE ONLY. DOWN PIPE AND FLOOR WASTE SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY BUILDER & IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARD.
- ANY DISCREPANCIES OR OMISSIONS SHALL BE REFERRED TO THE DESIGN ENGINEER FOR RESOLUTION.
- ALL PITS OR GRATES IN TRAFFICABLE AREAS TO BE HEAVY DUTY. ALL GRATES TO HAVE CHILD PROOF LOCKS
- ALL GUTTERS WILL BE FITTED WITH LEAF GUARDS AND SHOULD BE INSPECTED AND CLEANED TO ENSURE LEAF LITTER CANNOT ENTER THE DOWNPIPES.
- ENSURE ALL DRAINAGE WORKS ARE AWAY FROM TREE ROOTS.

IMPORTANT NOTES

- ALLOW FOR EMERGENCY OVERFLOW SPLITTER SYSTEM AWAY FROM BUILDING FOR ALL TRAPPED AREAS AND ROOF GUTTER SYSTEM.
- DRIVEWAY GRADES, LEVELS TO COMPLY WITH COUNCIL'S ISSUED ALIGNMENT LEVELS (WHERE APPLICABLE), FLOOD ENGINEER'S REQUIREMENTS AND TO COMPLY WITH AUSTRALIAN STANDARDS INCLUDING AS2890; TRAFFIC ENGINEER TO BE CONSULTED WHERE REQUIRED.
- EX. LEVELS HAVE BEEN INTERPOLATED / ASSUMED BASED ON PROVIDED SURVEY INFORMATION; THESE NEED TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION AND AUSSIE STRUCTURAL ENGINEERS NOTIFIED OF ANY INCONSISTENCIES WITH WHAT HAS BEEN SHOWN ON THESE SET OF DRAWINGS IMMEDIATELY REFER ARCHITECTURAL/LANDSCAPE ARCHITECTURAL DRAWINGS FOR FINAL INTERNAL LEVELS AND LANDSCAPING RL'S. IF THESE LEVELS ARE NOT CONSISTENT WITH THE LEVELS SHOWN ON THESE DRAWINGS, CONTACT AUSSIE STRUCTURAL ENGINEERS IMMEDIATELY TO RESOLVE INCONSISTENCIES WITH THE ARCHITECT/LANDSCAPE ARCHITECT.
- SEWER PEG-OUT TO BE CONDUCTED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORKS AND AUSSIE STRUCTURAL ENGINEERS TO BE NOTIFIED OF ANY CLASH IMMEDIATELY.
- ADEQUATE ACCESS TO BE PROVIDED TO THE RWT AS PER MANUFACTURER'S REQUIREMENTS. ALLOW MIN. 2% FALL AWAY FROM BUILDING AT ALL ENTRIES.
- SYDNEY WATER TO BE NOTIFIED OF WORKS IN PROXIMITY TO THEIR ASSETS AND NECESSARY APPROVALS TO BE OBTAINED BY DEVELOPER PRIOR TO CONSTRUCTION.
- PIT SURFACE LEVELS SHOWN ON THESE SET OF DRAWINGS MUST BE CHECKED BY CONTRACTOR PRIOR TO CONSTRUCTION AGAINST LANDSCAPE AND ARCHITECTURAL LEVELS AND AUSSIE STRUCTURAL ENGINEERS TO BE NOTIFIED IMMEDIATELY SHOULD ANY DISCREPANCIES BE IDENTIFIED FOR AN ALTERNATIVE DESIGN.
- PROVIDE AGG LINES TO ALL LANDSCAPE AREAS AND CONNECT IT TO THE NEAREST PROPOSED STORMWATER DRAINAGE SYSTEM BY GRAVITY; THESE HAVE NOT BEEN SHOWN ON THE PLANS IN ALL AREAS FOR CLARITY OF THE PLANS; CONTACT AUSSIE STRUCTURAL ENGINEERS IMMEDIATELY FOR ANY CLARIFICATIONS PRIOR TO CONSTRUCTION.
- WORKS PROPOSED IN PROXIMITY OF EX. TREES TO REMAIN MUST BE CONDUCTED USING NON-DESTRUCTIVE HAND DIGGING METHODS; ARBORIST TO BE CONSULTED AND TO APPROVE THE PROPOSED WORKS.
- REFER ARCHITECTURAL/LANDSCAPE ARCHITECTURAL DRAWINGS FOR FINAL DETAILS OF PROPOSED RETAINING WALLS. REFER ARCHITECTURAL DRAWINGS FOR FINAL INTERNAL LEVELS. DRIVEWAY PROFILE AND NUMBER AND LOCATION OF DOWNPIPES AND LANDSCAPING RL'S
- RAINWATER TANKS TO BE PLUMBED INTO THE HOUSEHOLD WATER SUPPLY SYSTEM SO THAT ITS WATER IS AUTOMATICALLY USED FOR NON-POTABLE PURPOSES - WORKS INCLUDING RE-USE TO BE AS PER BASIX REQUIREMENTS.
- PROVIDE CLEAN-OUT PIT TO CHARGED LINES AT LOWEST POINT IN THE LINE
- AGG LINES TO ALL RETAINING WALLS AND FOOTINGS TO BE PROVIDED AND CONNECTED TO THE NEAREST PROPOSED STORMWATER DRAINAGE SYSTEM BY GRAVITY.
- ALL GRATES AND LIDS TO BE HINGED TYPE AND FITTED WITH CHILDPROOF LOCKS LIDS WITHIN TRAFFICABLE AREAS TO BE ALSO BIKE SAFE, HEAVY DUTY.
- ADEQUATE ACCOUSTIC MEASURES TO BE PROVIDED FOR PIPEWORK RUNNING WITHIN HABITABLE AREAS.

DRAINAGE REQUIREMENTS

- ALL WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF AS2870, AS/NZS 2032 INTALL OF PVC PIPES AND AS/NZS 3500 PLUMBING & DRAINAGE.
- PLUMBING TRENCHES SHALL BE SLOPED AWAY FROM THE HOUSE AND SHALL BE BACKFILLED WITH CLAY IN THE OP 300mm WITHIN 1.5m OF THE HOUSE. THE CLAY USED FOR BACKFILLING SHALL BE COMPACTED. WHERE PIPES PASS UNDER THE FOOTING SYSTEM, THE TRENCH SHALL BE BACKFILLED WITH CLAY OR CONCRETE TO RESTRICT THE INGRESS OF WATER BENEATH THE FOOTING SYSTEM.
- DRAINAGE SHALL BE CONSTRUCTED TO AVOID WATER PONDING AGAINST OR NEAR THE FOOTING.
- ECAVATION NEAR THE EDGE OF THE FOOTING SYSTEM SHALL BE BACKFILLED IN SUCH A WAY AS TO PREVENT ACESS OF WATER TO THE FOUNDATION.
- WATER RUN-OFF SHALL BE COLLECTED AND CHANNELLED AWAY FROM THE HOUSE DURING CONSTRUCTION.
- PENETRATIONS OF THE EDGE BEMS AND FOOTING BEAMS ARE TO BE AVOIDED, BUT WHERE NECESSARY SHALL BE SLEEVED TO ALLOW FOR MOVEMENT.
- CONNECTION OF STORMWATER DRAINS AND WASTE DRAINS SHALL BE INCLUDED FLEXIBLE CONNECTIONS.

RAINWATER TANK INFORMATION

- RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST AS PER BASIX SQUARE METERS OF ROOF AREA.
- PROPOSED RAINWATER TANK SIZE AS PER SUPPLIERS SPECIFICATIONS
- RAINWATER TANKS SHALL BE CONNECTED TO MAINS WATER SUPPLY AS BACKUP.
- PUMPS SHALL PROVIDE MINIMUM 150kPa PRESSURE.
- RAINWATER TANK TO BE CONNECTED AS PER BASIX REQUIREMENTS.
- A SIGN TO BE INSTALLED STATING "NOT FOR HUMAN CONSUMPTION".
- TANKS TO BE PLUMBED TO TOP-UP FROM THE POTABLE WATER SUPPLY DURING DRY PERIODS WHEN THE TANKS ARE 80% EMPTY.
- NO DIRECT CROSS-CONNECTION WITH THE SYDNEY WATER POTABLE SUPPLY AND AN AIR GAP MAINTAINED ABOVE THE OVERFLOW IN THE TANK.
- ANY OPENINGS SHALL BE MESHED OR SEALED TO PREVENT MOSQUITOS BREEDING AND ENTRY OF ANIMALS OR FOREIGN MATTER.
- RAINWATER TANKS TO BE CLEANED OUT EVERY 6 MONTHS.
- ALL DOWNPIPES TO BE SEALED TO UNDERSIDE OF FIRST FLOOR GUTTER AS DRAINAGE SYSTEM IS CHARGED TO FACILITATE PROPOSED ABOVE GROUND REUSE TANK.
- THIS SYSTEM TO BE DESIGNED WITH A "FIRST FLUSH" DIVERSION TO REMOVE ROOF CONTAMINANTS.
- REUSE WATER TO BE DIRECTED TO THE FOLLOWING:
 - MINIMUM 1 OUTDOOR GARDEN PAT
 - ALL CISTERNS (TOILETS)
 - COLD WATER SERVICE TO THE CLOTHES WASHER.



EROSION AND SEDIMENT CONTROL NOTES

- THESE NOTES ARE TO BE READ IN CONJUNCTION WITH EROSION AND SEDIMENT CONTROL DETAILS IN THIS DRAWING SET FOR ACCURACY.
- THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS NECESSARY AND TO THE SATISFACTION OF THE RELEVANT LOCAL AUTHORITY PRIOR TO THE COMMENCEMENT OF AND DURING CONSTRUCTION. NO DISTURBANCE TO THE SITE SHALL BE PERMITTED OTHER THAN IN THE IMMEDIATE AREA OF THE WORKS AND NO MATERIAL SHALL BE REMOVED FROM THE SITE WITHOUT THE RELEVANT LOCAL AUTHORITY APPROVAL. ALL EROSION AND SEDIMENT CONTROL DEVICES TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH STANDARDS OUTLINED IN NSW DEPARTMENT OF HOUSING'S "MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTIONS".
- PLACE STRAW BALES LENGTH WISE IN A ROW AS PARALLEL AS POSSIBLE TO THE SITE CONTOURS, UNO. BALE ENDS TO BE TIGHTLY BUTTED. BALES ARE TO BE PLACED SO THAT STRAWS ARE PARALLEL TO THE ROW. BALES ARE TO BE PLACED 1.5M TO 2M DOWNSLOPE FROM THE TOE OF THE DISTURBED BATTER, UNO.
- COUNCIL APPROVED FILTER FABRIC TO BE ENTRENCHED 150MM DEEP UPSLOPE TOWARDS DISTURBED SURFACE. FABRIC TO BE A MINIMUM SF2000 OR BETTER. FIX FABRIC TO POSTS WITH WIRE TIES OR AS RECOMMENDED WITH MANUFACTURER'S SPECIFICATIONS. FABRIC JOINTS TO HAVE A MINIMUM OF 150MM OVERLAP. WIRE TO BE STRUNG BETWEEN POSTS WITH FILTER FABRIC OVERLAP TO PREVENT SAGGING.
- STABILISED ENTRY/EXIT POINTS TO REMAIN INTACT UNTIL FINISHED DRIVEWAY IS COMPLETE. CONSTRUCTION OF ENTRY/EXIT POINTS TO BE MAINTAINED AND REPAIRED AS REQUIRED SO THAT IT'S FUNCTION IS NOT COMPROMISED. CONSTRUCTION OF ENTRY/EXIT POINT TO BE IN ACCORDANCE WITH THE DETAIL CONTAINED WITHIN THIS DRAWING SET.
- ALL DRAINAGE PIPE INLETS TO BE CAPPED UNTIL DOWNPIPES CONNECTED & PITS CONSTRUCTED AND PROTECTED WITH SILT BARRIER
- PROVIDE AND MAINTAIN SILT TRAPS AROUND ALL SURFACE INLET PITS UNTIL CATCHMENT IS REVEGETATED OR PAVED.
- THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL EROSION AND SEDIMENT CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES SUCH THAT MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT IS TO BE PLACED OUTSIDE THE LIMIT OF WORKS. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
- THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL BY REGULARLY WETTING DOWN (BUT NOT SATURATING) DISTURBED AREA.
- LAY 300 WIDE MINIMUM TURF STRIP ON 100 TOPSOIL BEHIND ALL KERB AND GUTTER WITH 1000 LONG RETURNS EVERY 6000 AND AROUND STRUCTURES IMMEDIATELY AFTER BACKFILLING AS PER THE RELEVANT LOCAL AUTHORITY SPECIFICATION.
- THE CONTRACTOR SHALL GRASS SEED ALL DISTURBED AREAS WITH AN APPROVED MIX AS SOON AS PRACTICABLE AFTER COMPLETION OF EARTHWORKS AND REGRADING.
- REVEGETATE ALL TRENCHES IMMEDIATELY UPON COMPLETION OF BACKFILLING.
- PROVIDE AND MAINTAIN SILT TRAPS AROUND ALL SURFACE INLET PITS UNTIL CATCHMENT IS REVEGETATED OR PAVED. TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL SHALL BE RESPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY, (I.E. ALL FOOTPATHS, BATTERS, SITE REGARDING AREAS, BASINS AND CATCHDRAINS). TOPSOIL SHALL NOT BE RESPREAD ON ANY OTHER AREAS UNLESS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS DOWNSTREAM OF A STOCKPILE TO RETARD SILT LADEN RUNOFF.
- WHEN ANY DEVICES ARE TO BE HANDED OVER TO COUNCIL THEY SHALL BE IN CLEAN AND STABLE CONDITION.

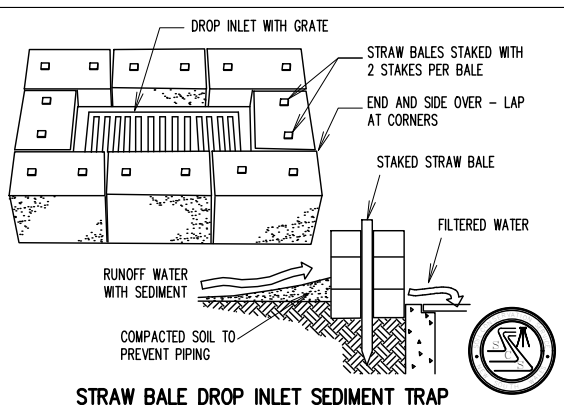


FIGURE 1 STRAW BALE DROP INLET SEDIMENT TRAP SCALE: NTS

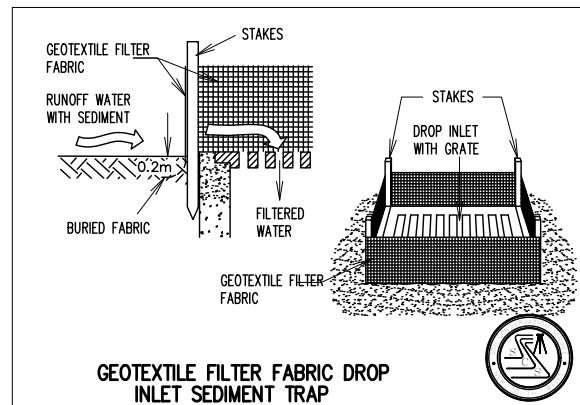


FIGURE 2 GEOTEXTILE FILTER FABRIC DROP INLET SEDIMENT TRAP SCALE: NTS

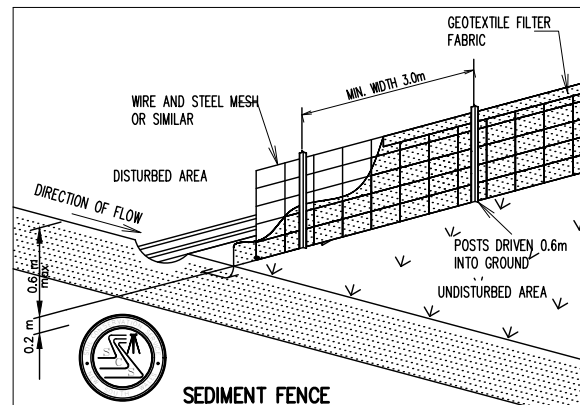


FIGURE 3 SEDIMENT FENCE SCALE: NTS

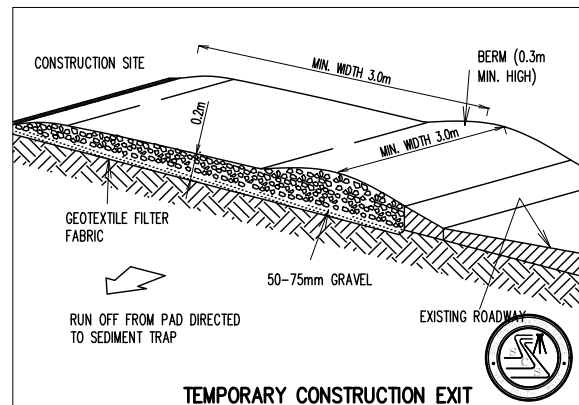


FIGURE 4 TEMPORARY CONSTRUCTION EXIT SCALE: NTS

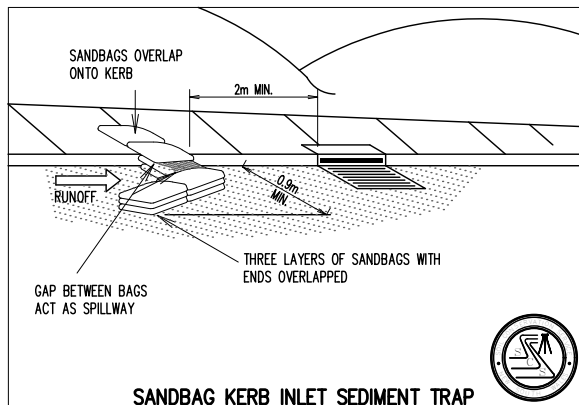
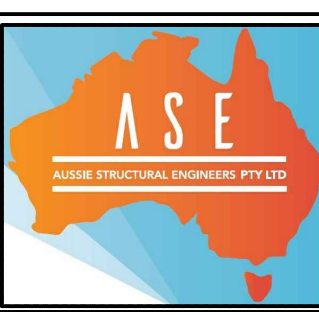


FIGURE 5 SANDBAG KERB INLET SEDIMENT TRAP SCALE: NTS

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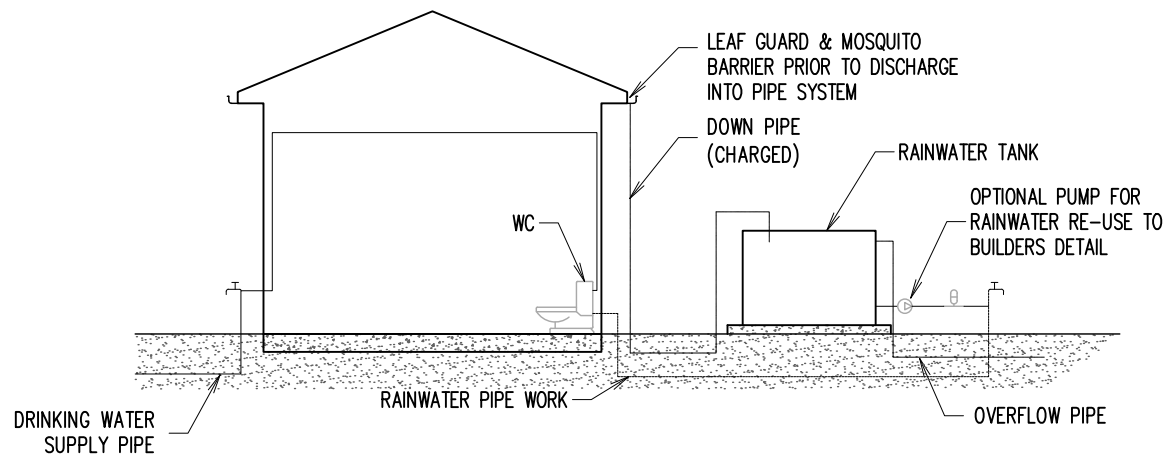


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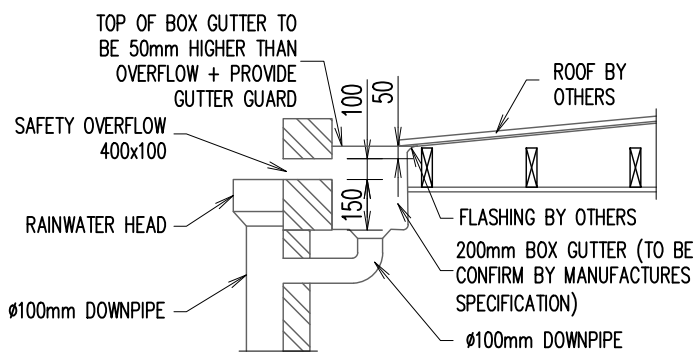
PROPOSED RESIDENCE
LOT 2452 (NO. 57A) SEVENTH AVENUE
AUSTRAL, NSW
FOR - MR. SUKHWINDER SINGH & MRS. HARINDER KAUR
BUILDER
HTCB (LETS WORK)

STORMWATER NOTES
SCALE: 1:100, 1:20 U.N.O.
DESIGN BY: R.V. DRAWN BY: C.V. CHECK BY: R.H. PAGE: 1 OF 3
JOB NUMBER: 260208HTCB-H ISSUE: A

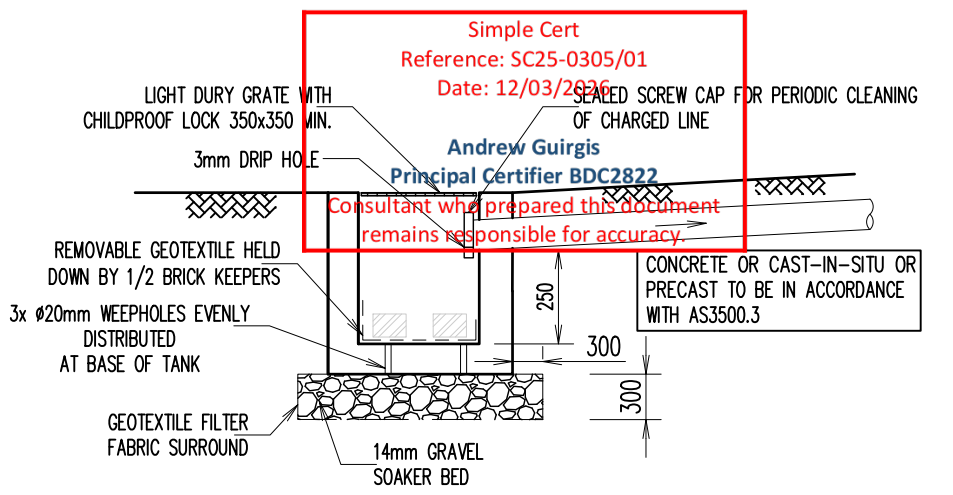
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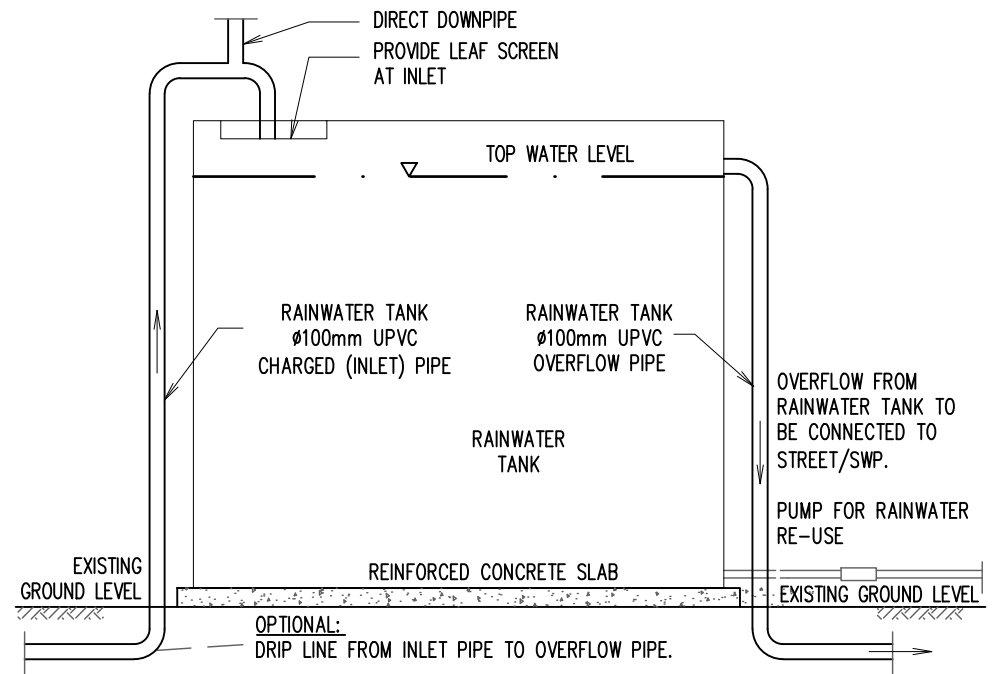
DUAL WATER & RAINWATER SUPPLY DIAGRAM
SCALE NTS



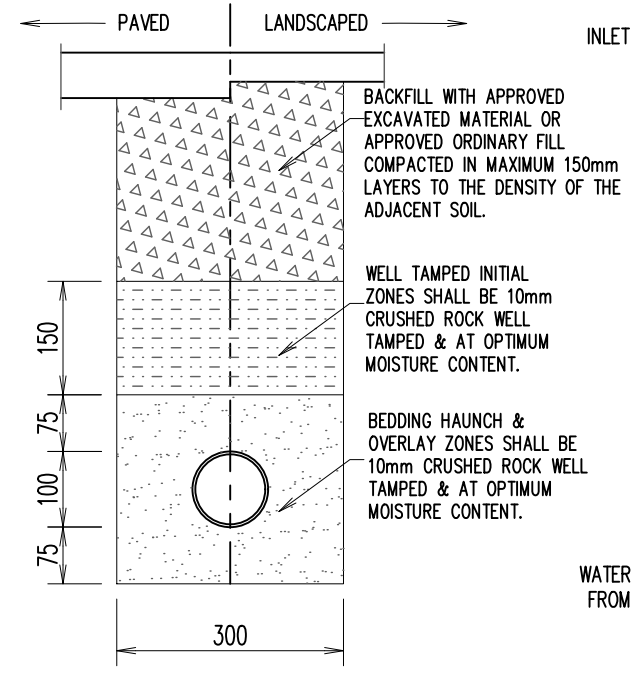
RAINWATER OUTLET WITH BOX GUTTER
TO BE USED IF REQUIRED



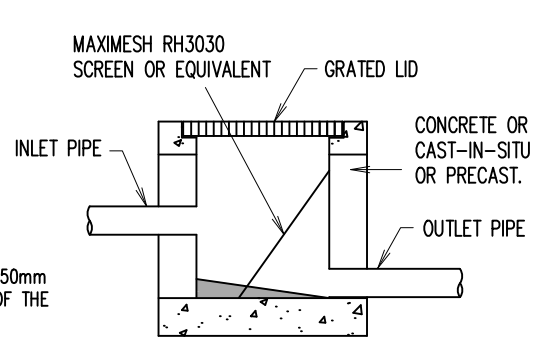
CHARGED PIPE CLEANOUT PIT
TO BE USED IF REQUIRED



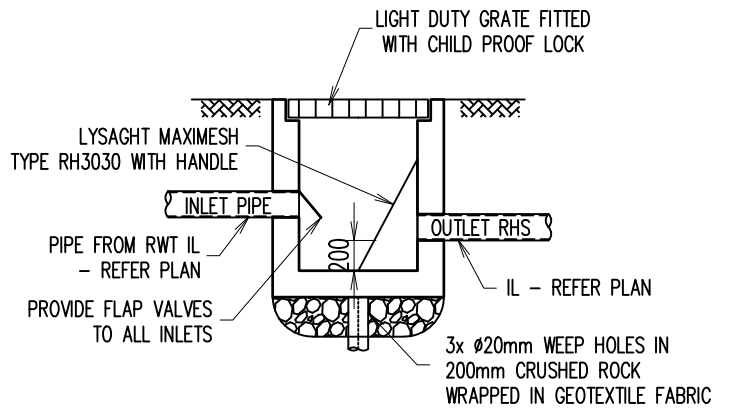
RAINWATER REUSE TANK CONNECTION DETAILS
SCALE NTS



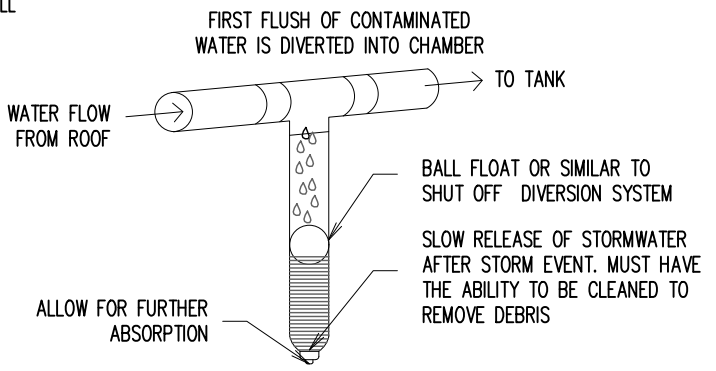
TYPICAL PIPE LAYING DETAILS



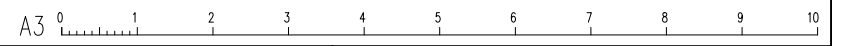
TYPICAL GRATED PIT
TO BE USED IF REQUIRED



TYPICAL SILT ARRESTOR PIT DETAILS
TO BE USED IF REQUIRED

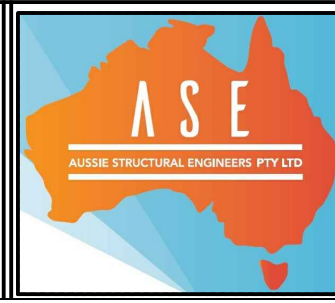


FIRST FLUSH WATER DIVERTER DETAIL



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