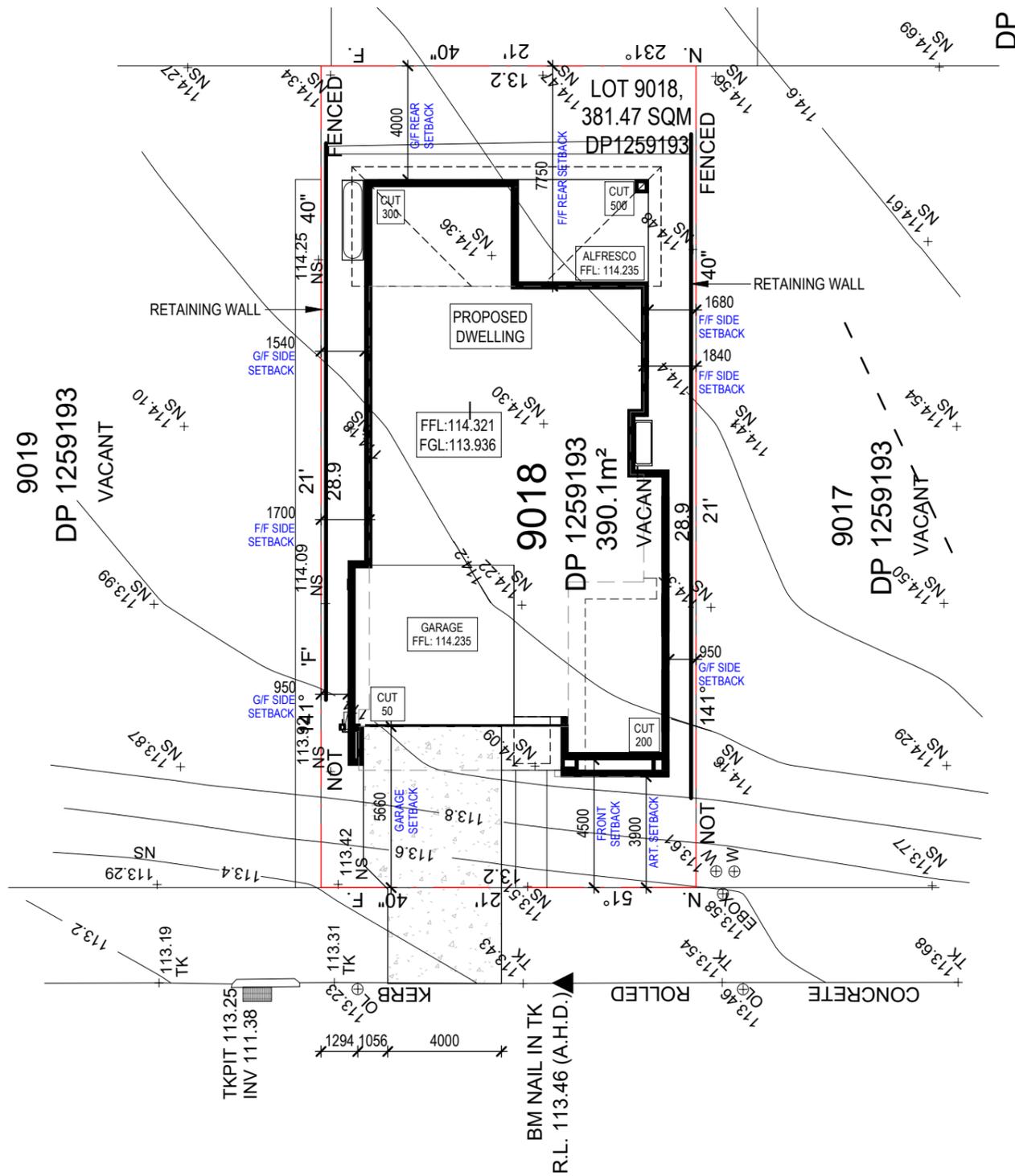


BAL 12.5 CONSTRUCTION

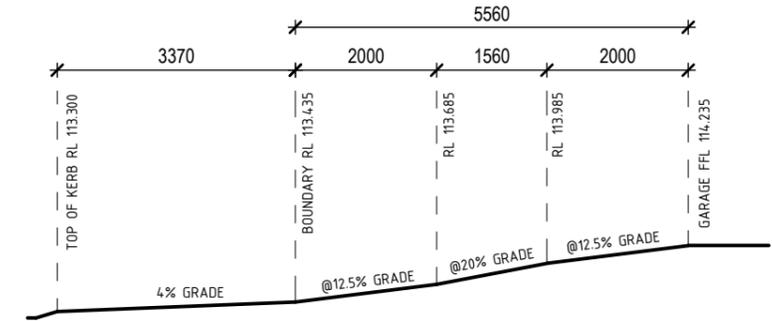


SITE PLAN

1 : 200

BUSHFIRE ATTACK LEVEL BAL12-5

- PROVIDE A MINIMUM 6MM THICK FIBRE CEMENT WEATHERBOARDS TO REAR TOP FLOOR ELEVATION IN LIEU OF STANDARD
- ALL JOINTS IN THE EXTERNAL SURFACE MATERIALS OF WALLS SHALL BE COVERED, SEALED OVERLAPPED OR BUTT-JOINTED TO PREVENT GAPS GREATER THAN 3MM
- PROVIDE SPARK GUARDS MADE FROM CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM MESH WITH A MAX APERTURE SIZE OF 2-0MM TO ALL VENTS & WEEP HOLES IN EXTERNAL WALLS
- PROVIDE A GRADE SAFETY GLASS (MINIMUM 4MM) TO ALL GLASS COMPONENTS OF WINDOWS LESS THAN 400MM ABOVE GROUND LEVEL
- PROVIDE ALUMINIUM FLYSCREENS WITH ALUMINIUM MESH TO ALL SLIDING/AWNING ALUMINIUM WINDOWS
- PROVIDE A GRADE SAFETY GLASS (MINIMUM 4MM) TO ALL GLASS COMPONENTS OF EXTERNAL GLASS DOORS LESS THAN 400MM ABOVE GROUND LEVEL
- PROVIDE HINGED ALUMINIUM SAFETY DOOR TO FRONT ENTRY DOOR INCLUDING INSTALLATION LOCK & DIAMOND GRILL
- PROVIDE A GRADE SAFETY GLASS TO ALUMINIUM SLIDING DOORS COMPLYING WITH AS1288 (TIMBER DOORS MUST BE OF FIRE RESISTANT MATERIAL)
- PROVIDE SLIDING ALUMINIUM SAFETY DOORS TO ALUMINIUM STACKING DOOR INCLUDING INSTALLATION LOCK & DIAMOND GRILL IF APPLICABLE
- PROVIDE SLIDING ALUMINIUM SAFETY DOORS TO ALUMINIUM SLIDING DOOR INCLUDING INSTALLATION LOCK & DIAMOND GRILL IF APPLICABLE
- PROVIDE WEATHER STRIPS OR DRAUGHT EXCLUDERS INSTALLED AT THE BASE OF SIDE HUNG EXTERNAL DOORS (GARAGE EXTERNAL ACCESS DOOR)
- PROVIDE SUITABLE WEATHER STRIP OR DRAUGHT EXCLUDER TO GARAGE PANEL LIFT DOOR WITH A MAXIMUM GAP OF 3MM
- PROVIDE EMBER/SPARK GUARDS TO ROOF VENTILATION OPENINGS
- PROVIDE FULL SARKING TO CONCRETE TILED ROOF WITH A FLAMMABILITY INDEX NOT GREATER THAN 5 INSTALLED DIRECTLY BELOW ROOF BATTERNS TO COVER THE ENTIRE ROOF INCLUDING THE RIDGE. INSTALLED TO LEAVE NO GAPS WHERE SARKING MEETS FASCIA, GUTTERS, VALLEYS & THE LIKE
- PROVIDE FULL SARKING WITH FOIL BACKED INSULATION BLANKET TO METAL ROOF
- PROVIDE NON-VENTED SKYLIGHTS MADE FROM NON-COMBUSTIBLE MATERIAL IF APPLICABLE
- PROVIDE METAL PIPES TO ALL ABOVE GROUND EXPOSED WATER & GAS SUPPLY PIPES



DRIVEWAY PROFILE

1 : 100

CATO



ATRIA DESIGNS

CC PLAN

PROJECT	SHEET CONTENT: SITE PLAN
	HOUSE TYPE: NATALIA
	PROPERTY ADDRESS: LOT 9018 CATO CIRCUIT, EMERALD HILLS
	CLIENT: ANSA HOMES

SIGN OFF	CLIENT
	I / WE.....
	CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES
	SIGNED..... DATE.....

GENERAL NOTES:

- * THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS
- * FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE
- * UNLESS OTHERWISE DIMENSIONED ALL STUD WALLS ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 250mm THICK
- * DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTERNS, PLASTERBOARD ETC.
- * REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS

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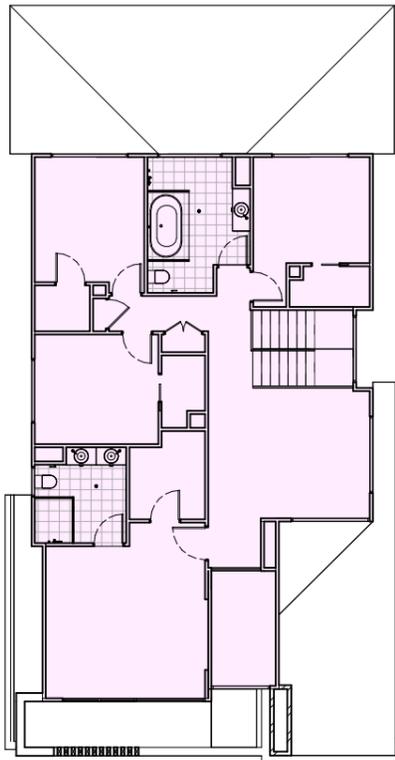
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REVISIONS	PAGE SIZE: A3		
	REV	DATE	REVISION DESCRIPTION
	7	15-03-22	AMENDED CC
	8	25-03-22	AMENDED CC
9	30-05-22	AMENDED CC	
			DRAWN BY
			RB
			JC



- DENOTES LANDSCAPED AREA : 119.83SQM
- DENOTES PRIVATE OPEN SPACE : 75.27SQM
- DENOTES SITE COVERAGE : 189.87SQM OR 49.7%

GROUND FLOOR

COMPLIANCE PLAN 1:200



FIRST FLOOR

DENOTES SITE COVERAGE : 133.03SQM OR 34.8%

DEVELOPMENT APPROVAL COMPLIANCE			
CONDITION	REQUIRED	PROVIDED	COMPLIES Y/N/NA
FRONT SETBACK	4.5m	4.5m	Y
SECONDARY STREET SETBACK	1m	n/a	n/a
SIDE SETBACK	0.9m	0.95m	Y
REAR SETBACK	4m/6m	4m/7.75m	Y
GARAGE SETBACK	1m	1.66m	Y
ARTICULATION ZONE	1.5m	0.6m	Y
REAR LANE SETBACK	1m	n/a	n/a
FLOOR SPACE RATIO	n/a	n/a	n/a
MAXIMUM BUILDING HEIGHT	9.5m	7.5m	Y
	50% GF	189.87sqm or 49.7%	Y
MAXIMUM SITE COVERAGE	35% FF	133.03sqm or 34.8%	Y
LANDSCAPED AREA	30%	119.83sqm or 30.3%	Y
FRONT LANDSCAPED AREA	40%	35.64sqm or 60%	Y
PRIVATE OPEN SPACE	24sqm	75.27sqm	Y
PRINCIPAL PRIVATE OPEN SPACE	24sqm	75.27sqm	Y
GRADIENT OF PPOS	1:10	tbc	tbc
SOLAR ACCESS TO PPOS	50% of PPOS 3hrs		
MAXIMUM GARAGE DOOR WIDTH	60% FRONT ELEV	4.8m or 42%	Y
MAXIMUM CUT & FILL	1.5m	0.3mC/F	Y
DRIVEWAY GRADIENT	AS2890.1	As AS2890.1	Y



CC PLAN

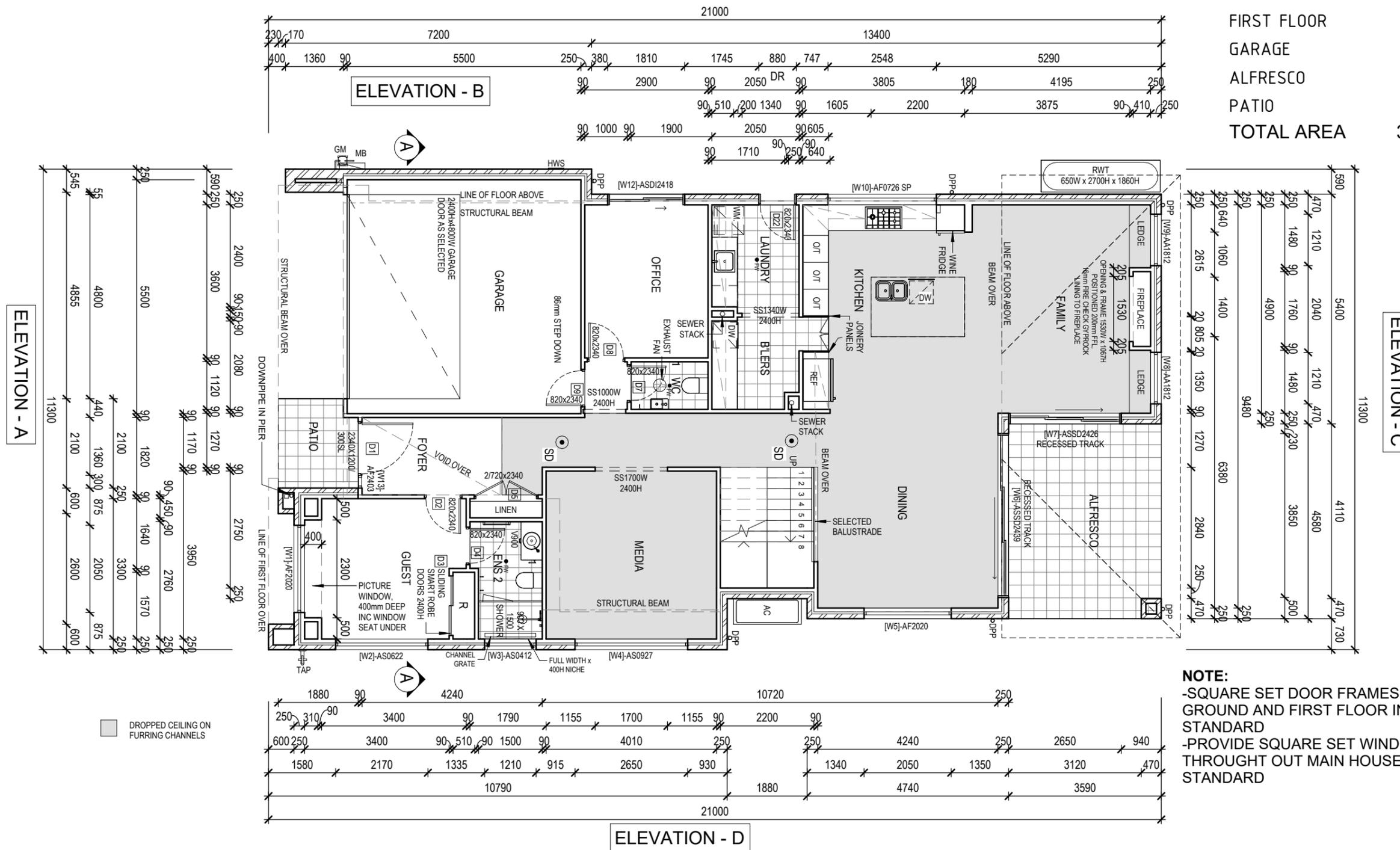
PROJECT	SHEET CONTENT: COMPLIANCE PAGE	SIGN OFF	CLIENT	GENERAL NOTES: * THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS * FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE * UNLESS OTHERWISE DIMENSIONED ALL STUD WALLS ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 250mm THICK * DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC. * REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS	 T (02) 4648 2233 M GPO Box 1028, Narellan NSW 2567 E office@ansahomes.com.au W www.ansahomes.com.au A 84 152 606 178	NORTH:	SCALE: AS SHOWN	SHEET NUMBER:	ATRIA JOB NUMBER:
	HOUSE TYPE: NATALIA		I / WE.....			DATE: 15-03-22	3/17	J1587	
	PROPERTY ADDRESS: LOT 9018 CATO CIRCUIT, EMERALD HILLS		CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES			DRAWN: RB		ANSA JOB NUMBER: 2071	
	CLIENT: ANSA HOMES		SIGNED..... DATE.....			PAGE SIZE: A3			
	SIGNED..... DATE.....								

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	7	15-03-22	AMENDED CC	RB
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	9	30-05-22	AMENDED CC	JC

TOTAL FLOOR AREA	
GROUND FLOOR	156.59 m ²
FIRST FLOOR	133.03 m ²
GARAGE	32.59 m ²
ALFRESCO	16.44 m ²
PATIO	4.05 m ²
TOTAL AREA	342.71 m²
	36.89SQS



CC PLAN

PROJECT

SHEET CONTENT:
GROUND FLOOR PLAN

HOUSE TYPE:
NATALIA

PROPERTY ADDRESS:
 LOT 9018 CATO CIRCUIT, EMERALD HILLS

CLIENT:
 ANSA HOMES

SIGN OFF

CLIENT

I/ WE.....

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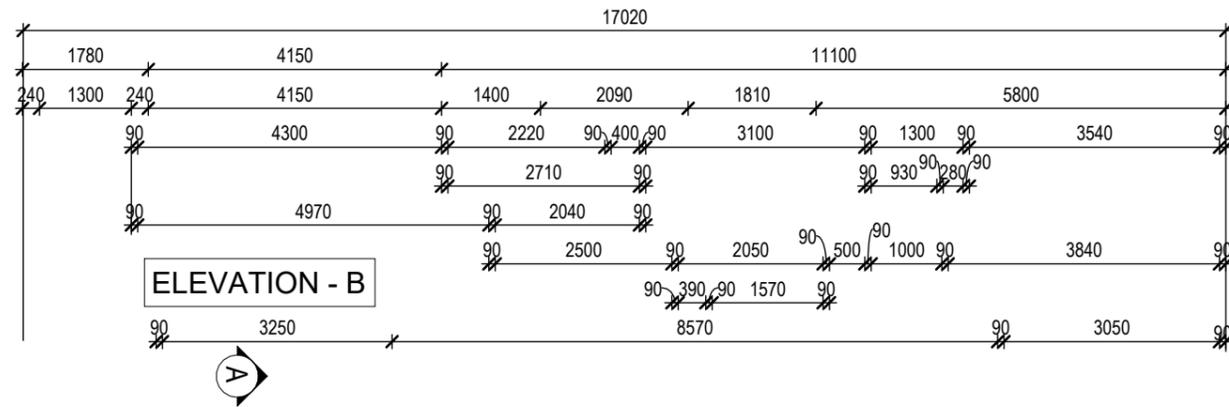
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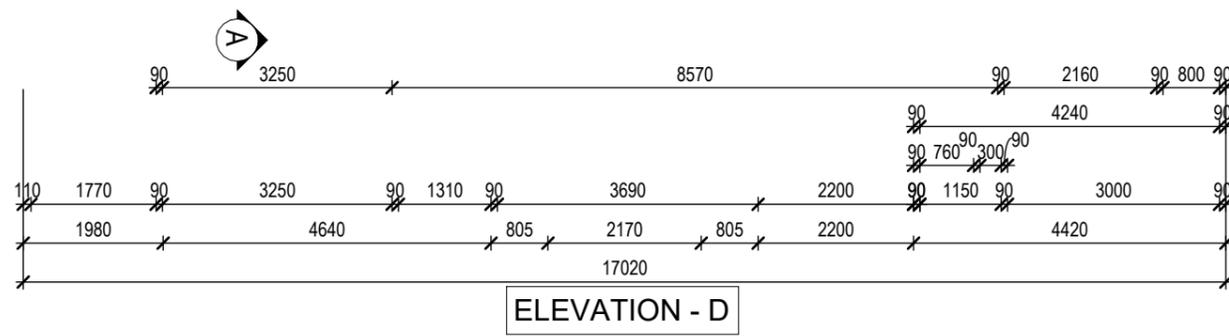
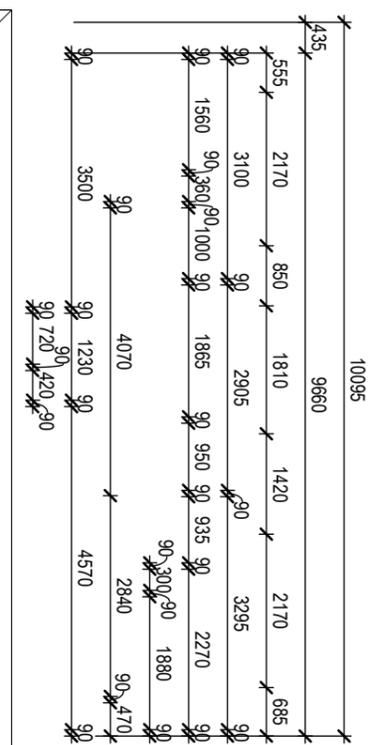
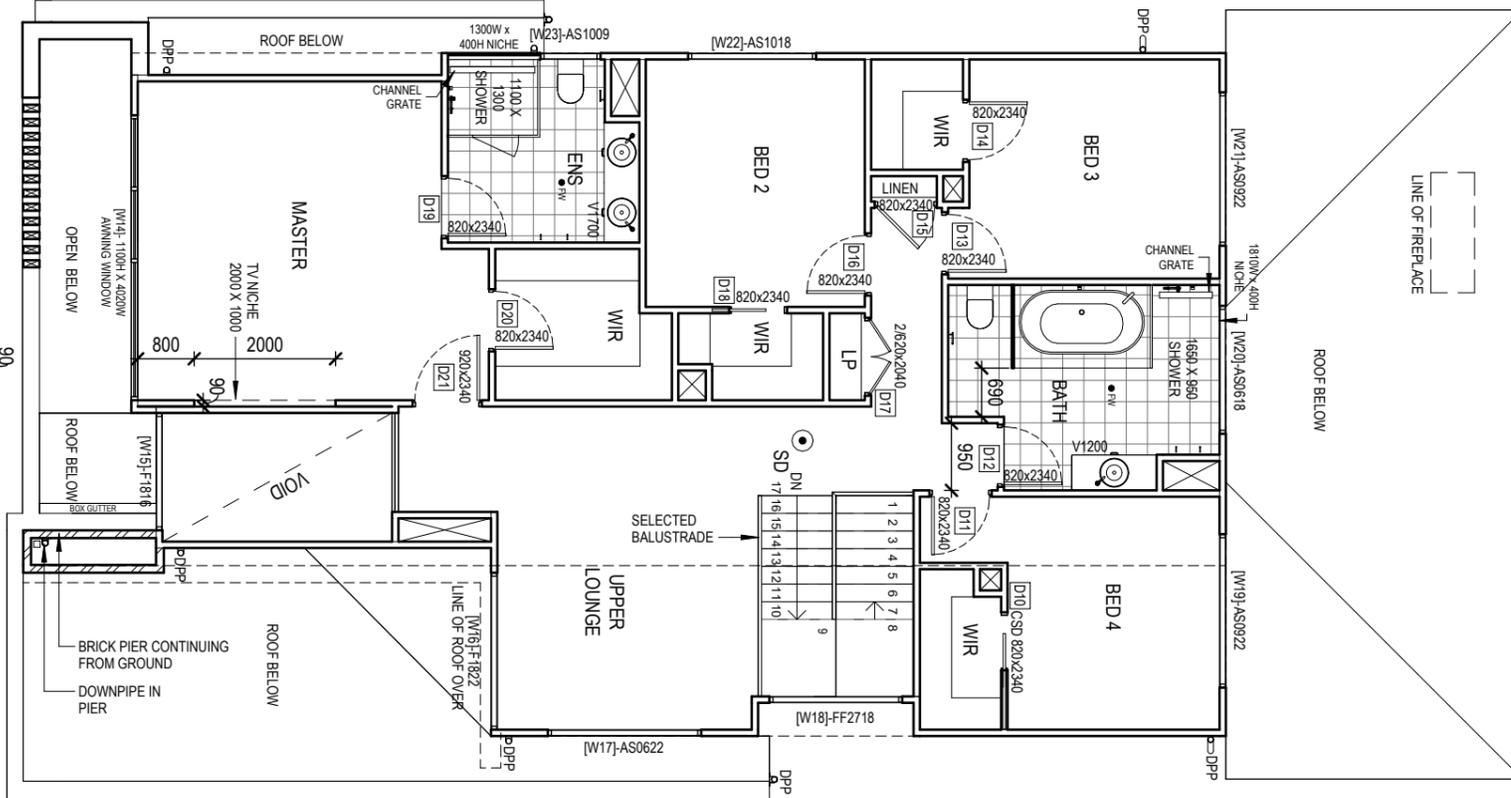
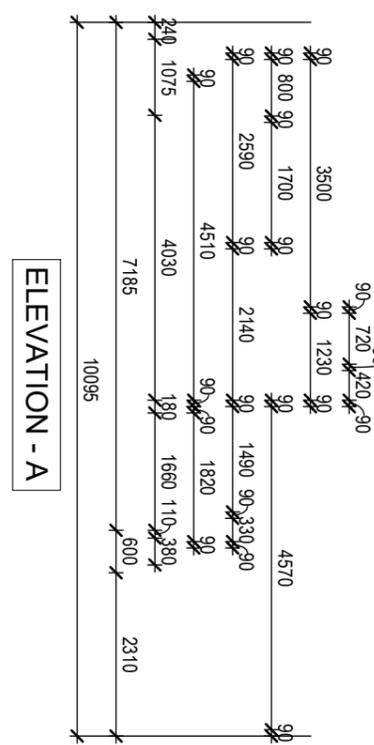
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BAL 12.5 CONSTRUCTION



TOTAL FLOOR AREA	
GROUND FLOOR	156.59 m ²
FIRST FLOOR	133.03 m ²
GARAGE	32.59 m ²
ALFRESCO	16.44 m ²
PATIO	4.05 m ²
TOTAL AREA	342.71 m²
	36.89SQS



NOTE:
 -SQUARE SET DOOR FRAMES ALL DOORS GROUND AND FIRST FLOOR IN LIEU OF STANDARD
 -PROVIDE SQUARE SET WINDOWS REVEALS THROUGHOUT MAIN HOUSE IN LIEU OF STANDARD
 -RECESSED JOIST TO WET AREAS



CC PLAN

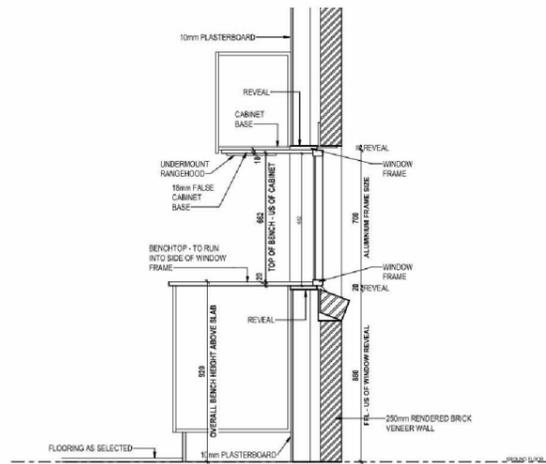
PROJECT	SHEET CONTENT: FIRST FLOOR PLAN
	HOUSE TYPE: NATALIA
	PROPERTY ADDRESS: LOT 9018 CATO CIRCUIT, EMERALD HILLS
	CLIENT: ANSA HOMES

SIGN OFF	CLIENT
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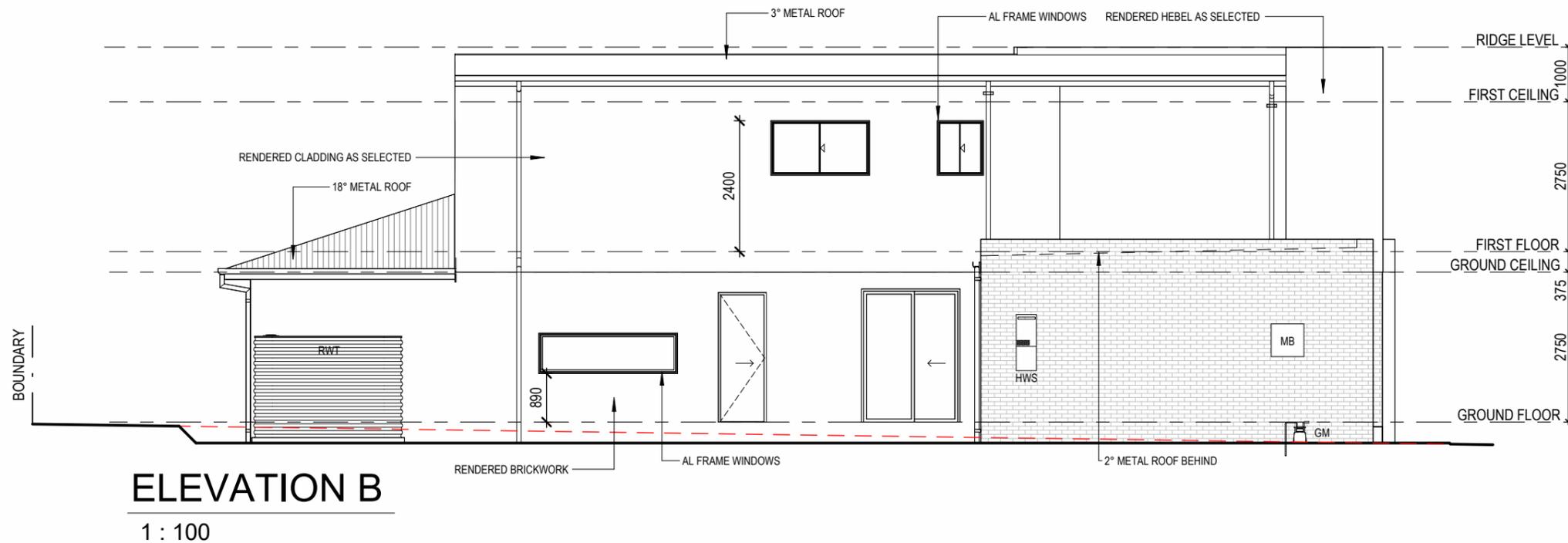
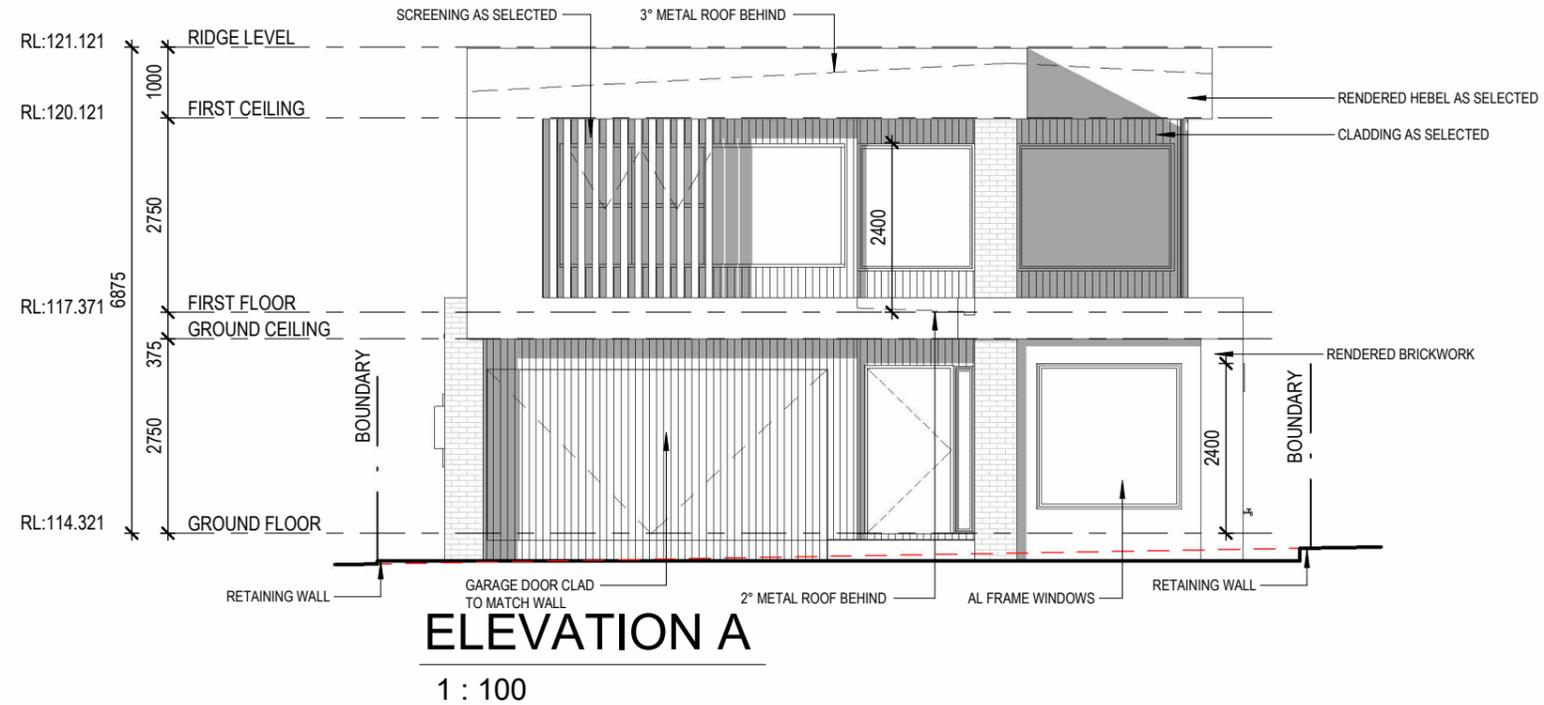
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8	25-03-22	AMENDED CC	RB
9	30-05-22	AMENDED CC	JC



KITCHEN WINDOW SPLASHBACK DETAILS : NTS



CC
PLAN

PROJECT	SHEET CONTENT: ELEVATIONS
	HOUSE TYPE: NATALIA
	PROPERTY ADDRESS: LOT 9018 CATO CIRCUIT, EMERALD HILLS
	CLIENT: ANSA HOMES

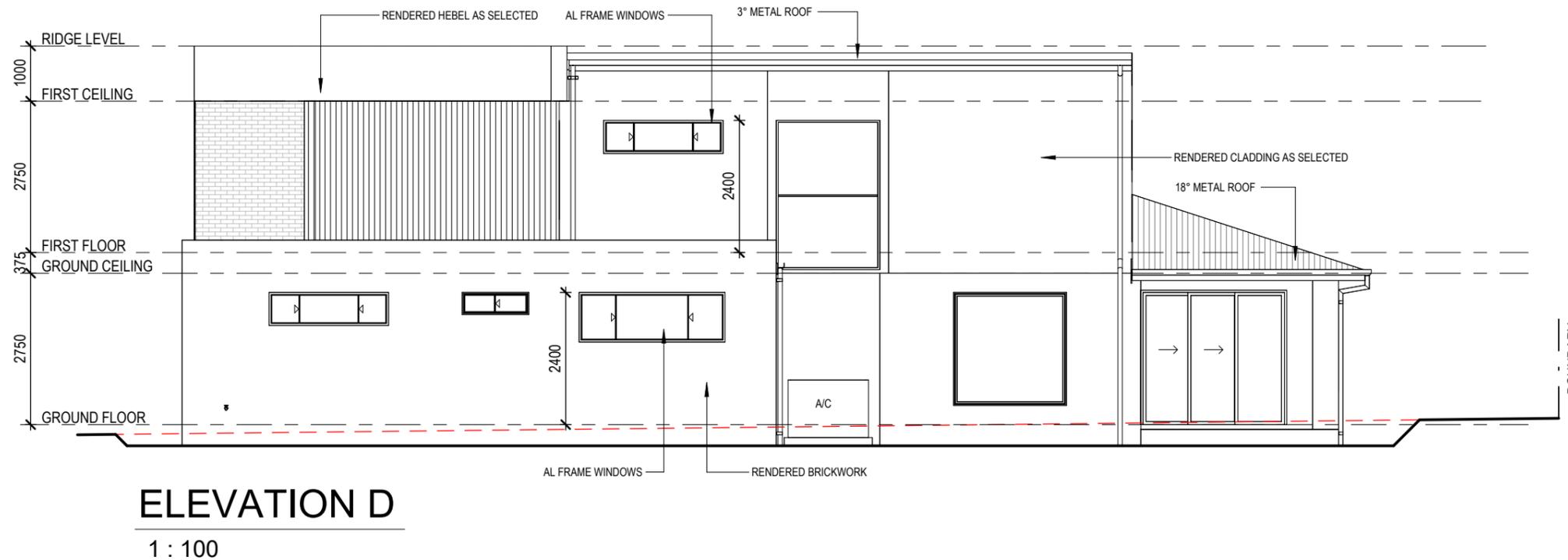
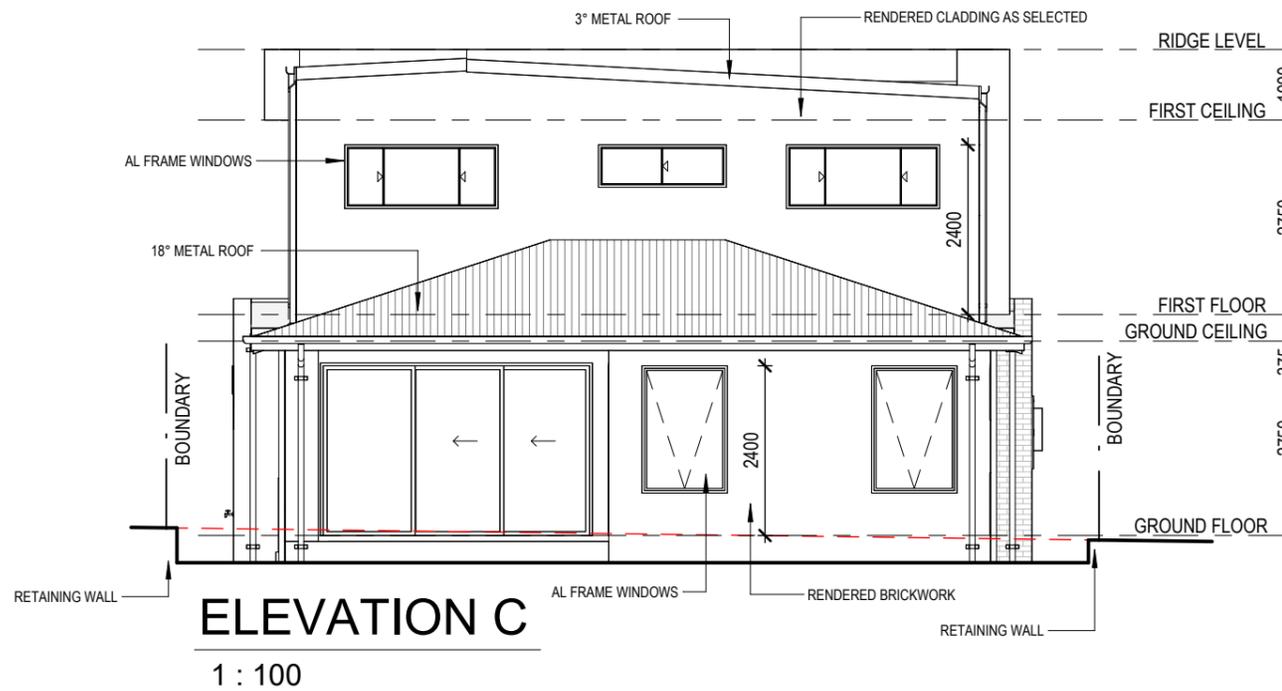
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	8	25-03-22	AMENDED CC	RB
	9	30-05-22	AMENDED CC	JC



CC
PLAN

PROJECT	SHEET CONTENT: ELEVATIONS
	HOUSE TYPE: NATALIA
	PROPERTY ADDRESS: LOT 9018 CATO CIRCUIT, EMERALD HILLS
	CLIENT: ANSA HOMES

SIGN OFF	CLIENT
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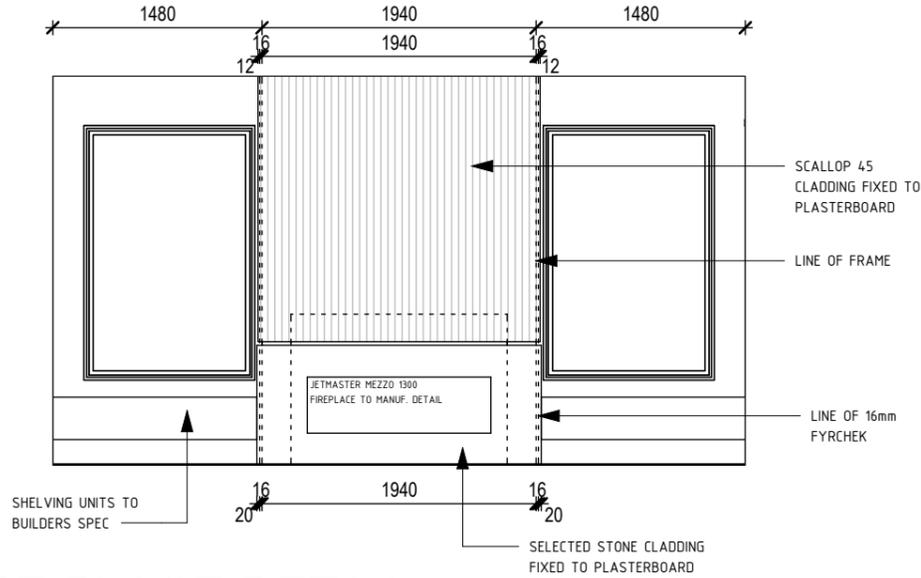
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	9	30-05-22	AMENDED CC	JC

BAL 12.5 CONSTRUCTION



FIRE PLACE DETAIL

1 : 50

WINDOW SCHEDULE				
TAG	CODE	HEIGHT	WIDTH	STYLE
W1	AF2020	2050	2050	AWNING
W2	AS0622	600	2170	SLIDING
W3	AS0412	400	1210	SLIDING
W4	AS0927	900	2650	SLIDING
W5	AF2020	2050	2050	AWNING
W6	ASSD2439	2400	3850	STACKER
W7	ASSD2426	2400	2650	STACKER
W8	AA1812	1800	1210	AWNING
W9	AA1812	1800	1210	AWNING
W10	AF0726 SP	740	2548	FIXED
W12	ASD12418	2400	1810	SLIDING DOOR
W13	AF2403	2360	300	AWNING
W15	F1816	1800	1660	FIXED
W16	F1822	1800	2220	FIXED
W17	AS0622	600	2170	SLIDING
W18	FF2718	2710	1880	FIXED
W19	AS0922	900	2170	SLIDING
W20	AS0618	600	1810	SLIDING
W21	AS0922	900	2170	SLIDING
W22	AS1018	1000	1810	SLIDING
W23	AS1009	1000	850	SLIDING

EXHAUST FANS CONNECTED TO LIGHT SWITCH, TO BE DUCTED TO EXTERNAL WALL OR ROOF SPACE. TO BE DETERMINED ON SITE BY THE BUILDER.

MECHANICAL VENTILATION IS TO BE DESIGNED TO PREVENT THE TRAVEL OF EXHAUST AIR BETWEEN THE LAUNDRY & OR SHOWER & MUST TRAVEL DIRECTLY TO THE OUTSIDE OF THE BUILDING.

THE KITCHEN RANGE HOOD EXHAUST SYSTEM MUST NOT BE CONNECTED TO THE LAUNDRY & OR THE SHOWER EXHAUST SYSTEM.

NOTE:
ALL FIRST FLOOR BEDROOM WINDOWS TO BE PROVIDED WITH PROTECTION AS PER BCA 3-9-2-5

NOTE:
STEEL & H/W TIMBER POSTS TO ENG'S DETAILS TO SUPPORT STEEL BEAMS OVER, TO BE LOCATED WITHIN TIMBER STUD WALL FRAMES.

REFER TO STURCTURAL ENGINEERS PLANS FOR POST TYPE & LOCATIONS.

NOTE:
STRUCTURAL BEAM AND JOIST DIRECTIONS ARE TO ENGINEERS DETAILS.

ALL LOCATIONS ON PLANS ARE INDICATIVE
REFER TO STRUCTURAL ENGINEERS PLANS FOR BEAM TYPE & LOCATIONS.

BUSHFIRE ATTACK LEVEL BAL12-5

PROVIDE A MINIMUM 6MM THICK FIBRE CEMENT WEATHERBOARDS TO REAR TOP FLOOR ELEVATION IN LIEU OF STANDARD

ALL JOINTS IN THE EXTERNAL SURFACE MATREIALS OF WALLS SHALL BE COVERED, SEALED OVERLAPPED OR BUTT-JOINTED TO PREVENT GAPS GREATER THAN 3MM

PROVIDE SPARK GUARDS MADE FROM CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM MESH WITH A MAX APERTURE SIZE OF 2-0MM TO ALL VENTS & WEEP HOLES IN EXTERNAL WALLS

PROVIDE A GRADE SAFETY GLASS (MINIMUM 4MM) TO ALL GLASS COMPONENTS OF WINDOWS LESS THAN 400MM ABOVE GROUND LEVEL

PROVIDE ALUMINIUM FLYSCREENS WITH ALUMINIUM MESH TO ALL SLIDING/AWNING ALUMINIUM WINDOWS

PROVIDE A GRADE SAFETY GLASS (MINIMUM 4MM) TO ALL GLASS COMPONENTS OF EXTERNAL GLASS DOORS LESS THAN 400MM ABOVE GROUND LEVEL

PROVIDE HINGED ALUMINIUM SAFETY DOOR TO FRONT ENTRY DOOR INCLUDING INSTALLATION LOCK & DIAMOND GRILL

PROVIDE A GRADE SAFETY GLASS TO ALUMINIUM SLIDING DOORS COMPLYING WITH AS1288 (TIMBER DOORS MUST BE OF FIRE RESISTANT MATERIAL)

PROVIDE SLIDING ALUMINIUM SAFETY DOORS TO ALUMINIUM STACKING DOOR INCLUDING INSTALLATION LOCK & DIAMOND GRILL IF APPLICABLE

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PROVIDE WEATHER STRIPS OR DRAUGHT EXCLUDERS INSTALLED AT THE BASE OF SIDE HUNG EXTERNAL DOORS (GARAGE EXTERNAL ACCESS DOOR)

PROVIDE SUITABLE WEATHER STRIP OR DRAUGHT EXCLUDER TO GARAGE PANEL LIFT DOOR WITH A MAXIMUM GAP OF 3MM

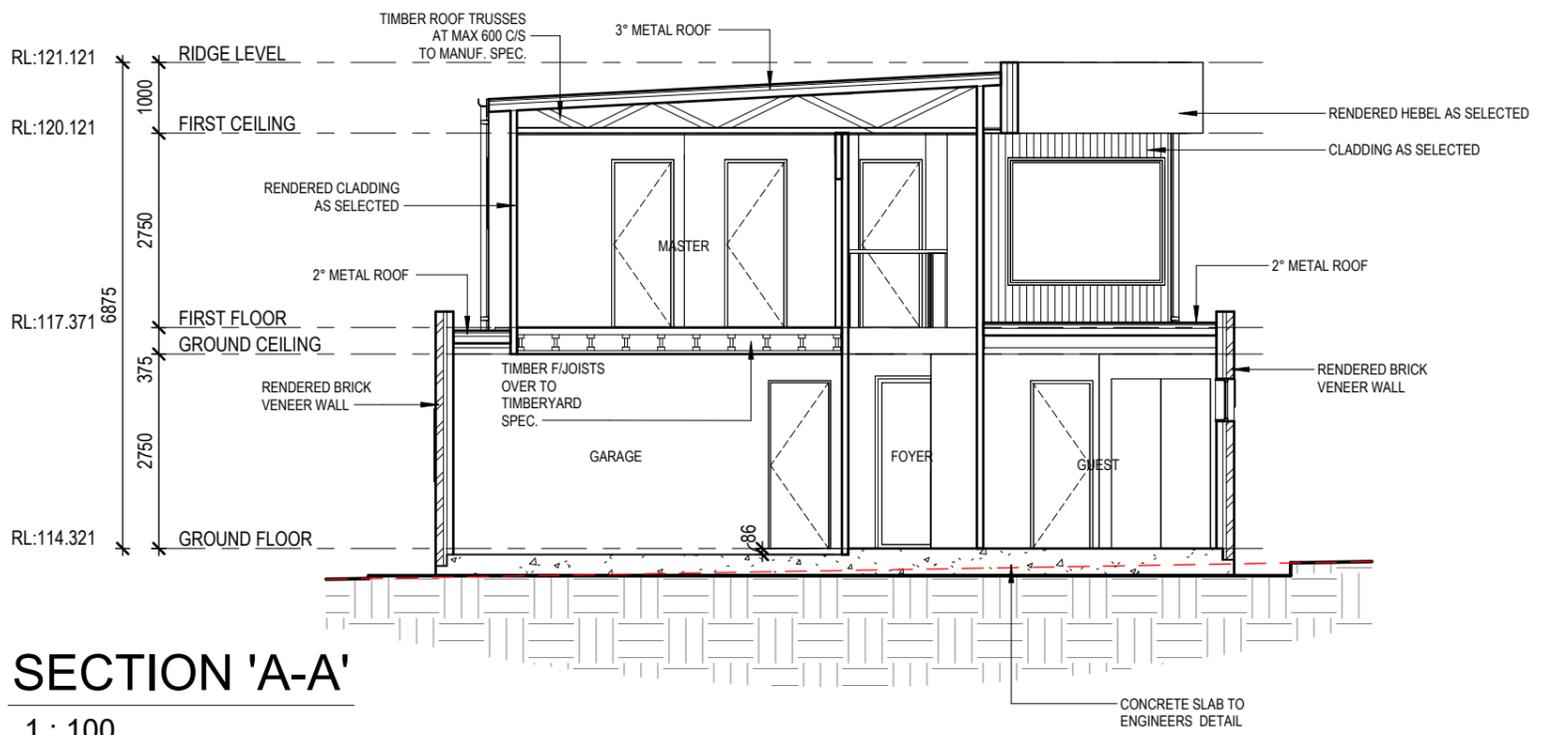
PROVIDE EMBER/SPARK GUARDS TO ROOF VENTILATION OPENINGS

PROVIDE FULL SARKING TO CONCRETE TILED ROOF WITH A FLAMMABILITY INDEX NOT GREATER THAN 5 INSTALLED DIRECTLY BELOW ROOF BATTERNS TO COVER THE ENTIRE ROOF INCLUDING THE RIDGE. INSTALLED TO LEAVE NO GAPS WHERE SARKING MEETS FASCIA, GUTTERS, VALLEYS & THE LIKE

PROVIDE FULL SARKING WITH FOIL BACKED INSULATION BLANKET TO METAL ROOF

PROVIDE NON-VENTED SKYLIGHTS MADE FROM NON-COMBUSTIBLE MATERIAL IF APPLICABLE

PROVIDE METAL PIPES TO ALL ABOVE GROUND EXPOSED WATER & GAS SUPPLY PIPES



SECTION 'A-A'

1 : 100

Door Schedule

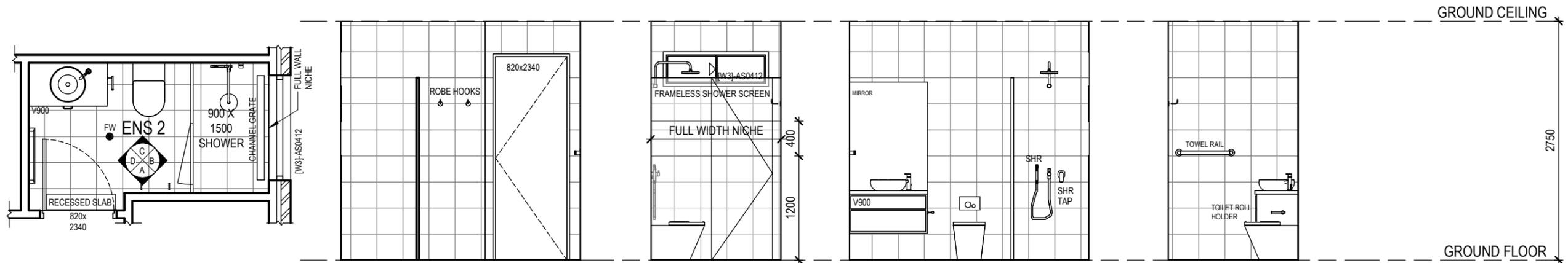
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4	820D	820	2340
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18	820D	820	2340
19	820D	820	2340
20	820D	820	2340
21	920D	920	2340
22	820D	820	2340

BASIX COMMITMENTS

- R-50 CEILING INSULATION TO ROOF SPACE EXCLUDING GARAGE
- R-2.5 INSULATION BETWEEN LEVELS ABOVE GARAGE TO ROOMS ABOVE
- LOW-E GLAZING THROUGHOUT AS REQUESTED AS PER NatHERS
- R-2.5 TO INTERNAL WALLS OF THE LAUNDRY & BATH



<h1>CC PLAN</h1>	PROJECT SHEET CONTENT: SECTION/SCHEDULES HOUSE TYPE: NATALIA PROPERTY ADDRESS: LOT 9018 CATO CIRCUIT, EMERALD HILLS CLIENT: ANSA HOMES	SIGN OFF CLIENT I / WE..... CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES SIGNED..... DATE..... SIGNED..... DATE.....	GENERAL NOTES: * THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS * FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE * UNLESS OTHERWISE DIMENSIONED ALL STUD WALLS ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 250mm THICK * DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTERNS, PLASTERBOARD ETC. * REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS	 T (02) 4648 2233 M GPO Box 1028, Narellan NSW 2567 E office@ansahomes.com.au W www.ansahomes.com.au A 84 152 606 178	NORTH: SCALE: AS SHOWN DATE: 15-03-22 DRAWN: RB PAGE SIZE: A3	SHEET NUMBER: 8/17 ATRIA JOB NUMBER: J1587 ANSA JOB NUMBER: 2071	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>REVISION DESCRIPTION</th> <th>DRAWN BY</th> </tr> </thead> <tbody> <tr> <td>7</td> <td>15-03-22</td> <td>AMENDED CC</td> <td>RB</td> </tr> <tr> <td>8</td> <td>25-03-22</td> <td>AMENDED CC</td> <td>RB</td> </tr> <tr> <td>9</td> <td>30-05-22</td> <td>AMENDED CC</td> <td>JC</td> </tr> </tbody> </table>	REV	DATE	REVISION DESCRIPTION	DRAWN BY	7	15-03-22	AMENDED CC	RB	8	25-03-22	AMENDED CC	RB	9	30-05-22	AMENDED CC	JC
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9	30-05-22	AMENDED CC	JC																				



ENS 2 DETAILS

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ENS2 - A

1 : 50

ENS2 - B

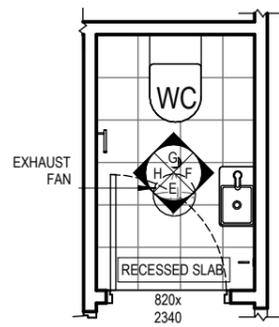
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ENS2 - C

1 : 50

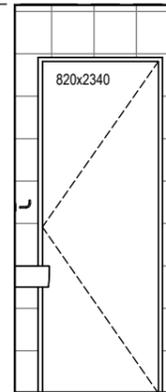
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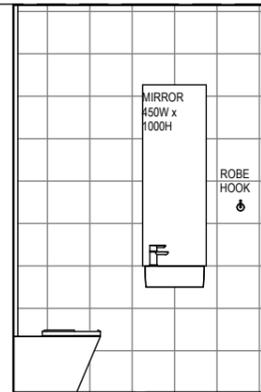
WC DETAILS

1 : 50



WC - E

1 : 50



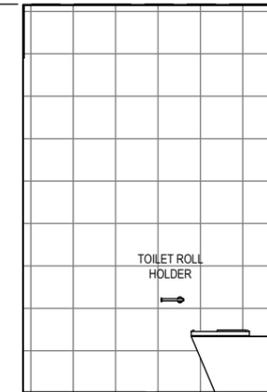
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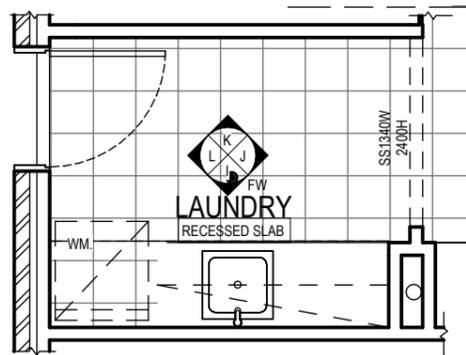
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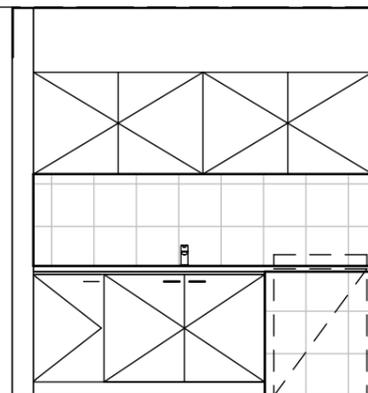
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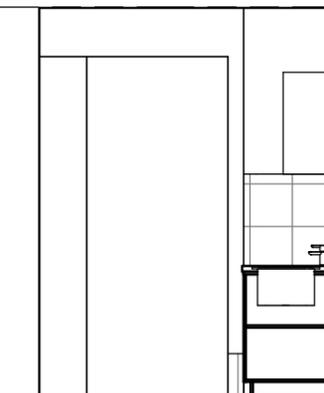
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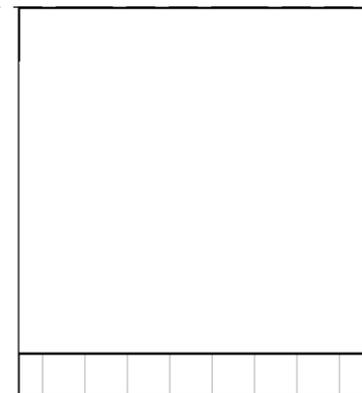
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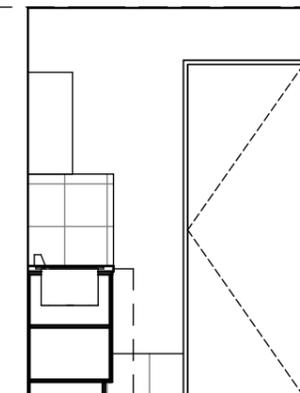
LAUNDRY - J

1 : 50



LAUNDRY - K

1 : 50



LAUNDRY - L

1 : 50



ATRIA DESIGNS

**CC
PLAN**

PROJECT

SHEET CONTENT:
WET AREA DETAILS

HOUSE TYPE:
NATALIA

PROPERTY ADDRESS:
LOT 9018 CATO CIRCUIT, EMERALD HILLS

CLIENT:
ANSA HOMES

SIGN OFF

CLIENT

I/WE.....

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES

SIGNED..... DATE.....

SIGNED..... DATE.....

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DATE: 15-03-22

DRAWN: RB

PAGE SIZE: A3

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9/17

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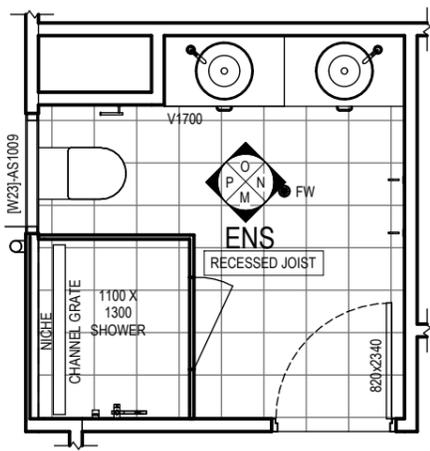
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ANSA JOB NUMBER:

2071

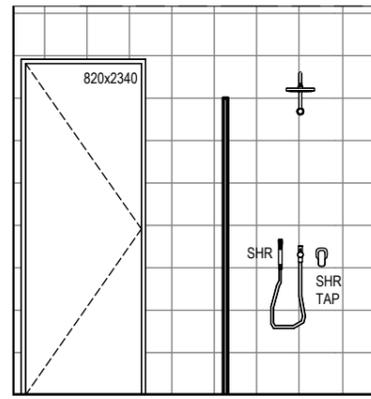
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8	25-03-22	AMENDED CC	RB
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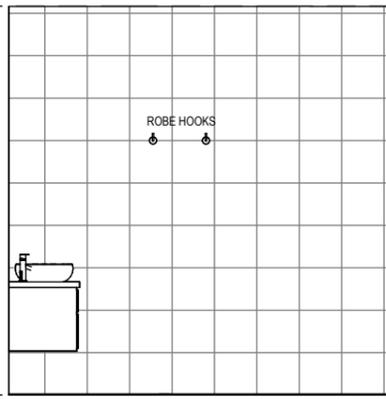
ENS DETAILS

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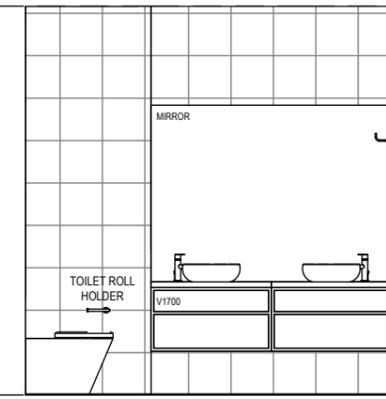
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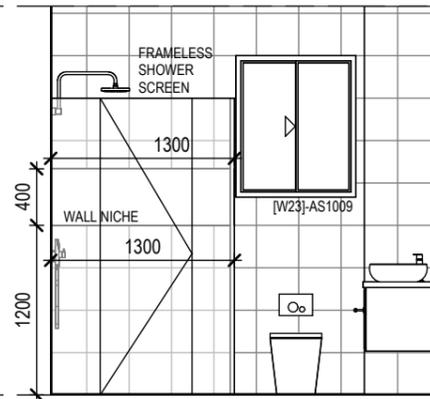
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1 : 50



ENS - O

1 : 50



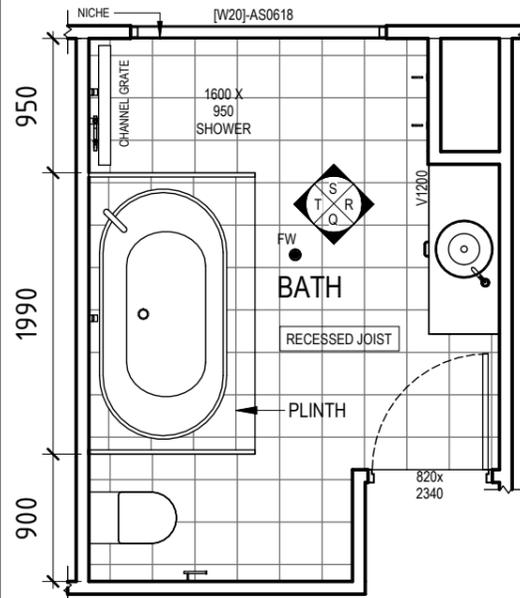
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1 : 50

FIRST FLOOR CEILING

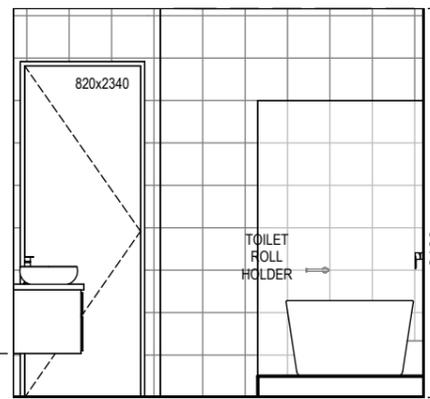
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FIRST FLOOR



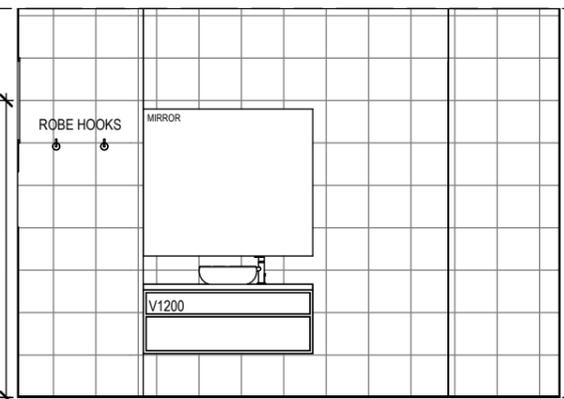
BATH DETAILS

1 : 50



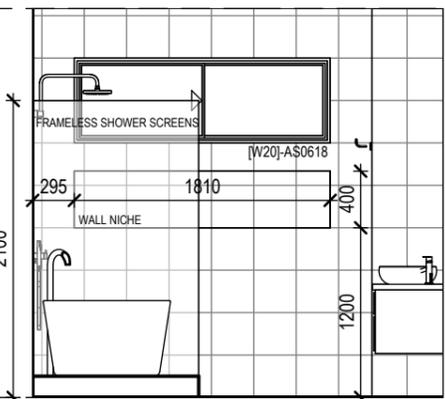
BATH - Q

1 : 50



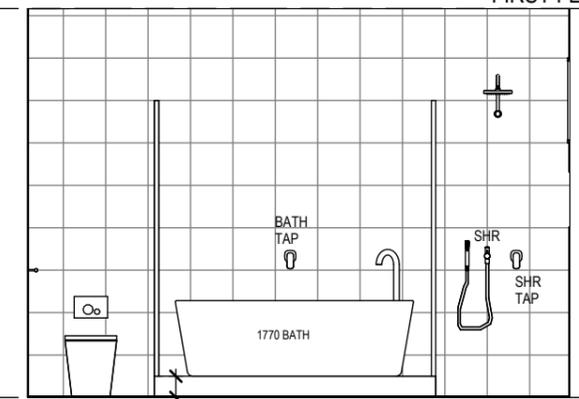
BATH - R

1 : 50



BATH - S

1 : 50



BATH - T

1 : 50

FIRST FLOOR CEILING

2750

FIRST FLOOR



ATRIA DESIGNS

CC PLAN

PROJECT	SHEET CONTENT: WET AREA DETAILS
	HOUSE TYPE: NATALIA
	PROPERTY ADDRESS: LOT 9018 CATO CIRCUIT, EMERALD HILLS
	CLIENT: ANSA HOMES

SIGN OFF	CLIENT
	I / WE.....
	CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES
	SIGNED..... DATE.....
	SIGNED..... DATE.....
	SIGNED..... DATE.....

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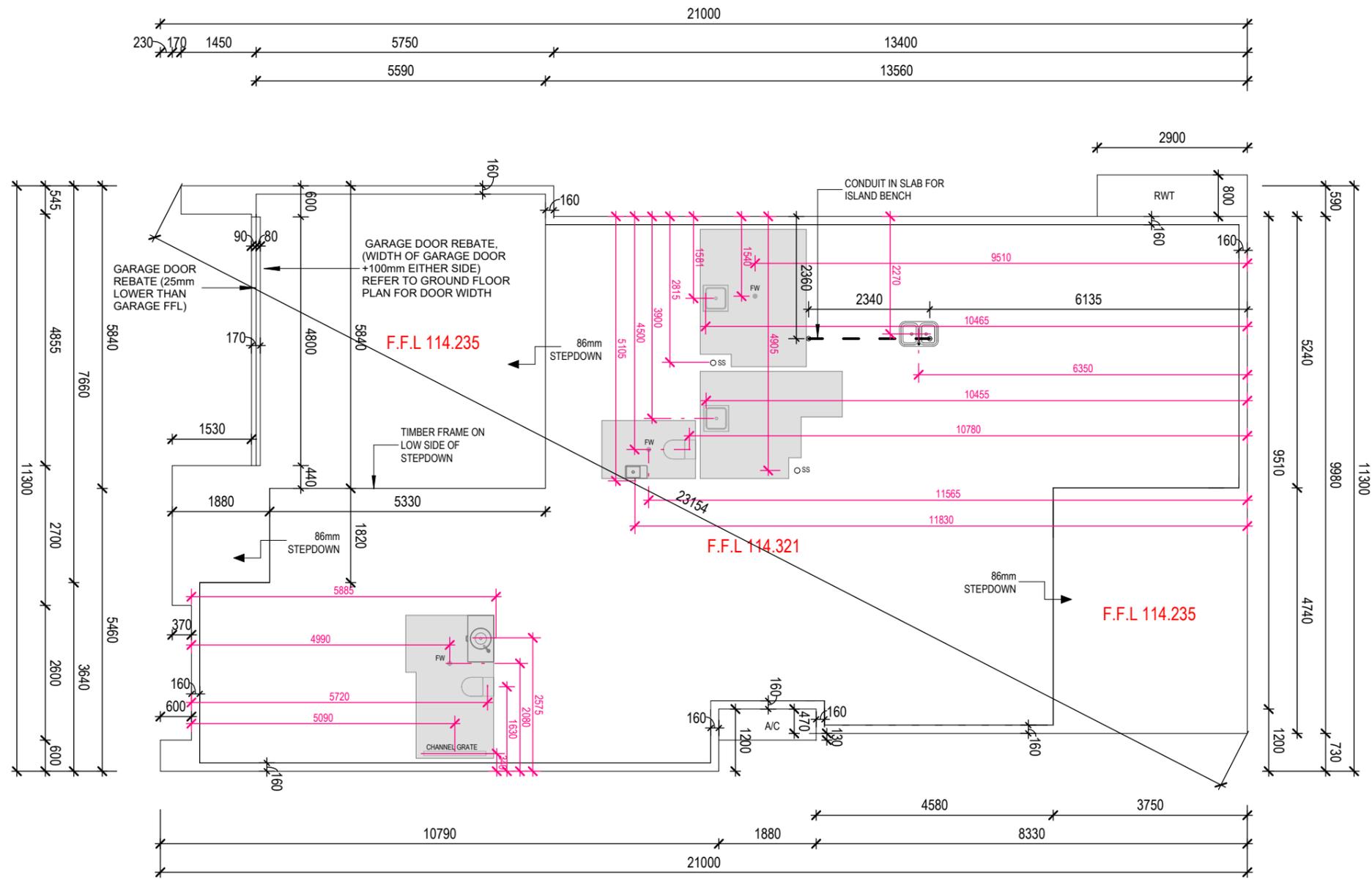
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	7	15-03-22	AMENDED CC	RB
	8	25-03-22	AMENDED CC	RB
	9	30-05-22	AMENDED CC	JC



SLAB PLAN 1:100

RECESSED SLAB



CC PLAN

PROJECT	SHEET CONTENT: SLAB PLAN
	HOUSE TYPE: NATALIA
	PROPERTY ADDRESS: LOT 9018 CATO CIRCUIT, EMERALD HILLS
	CLIENT: ANSA HOMES

SIGN OFF	CLIENT
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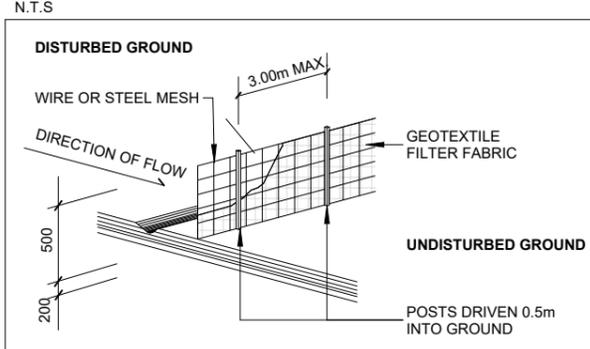
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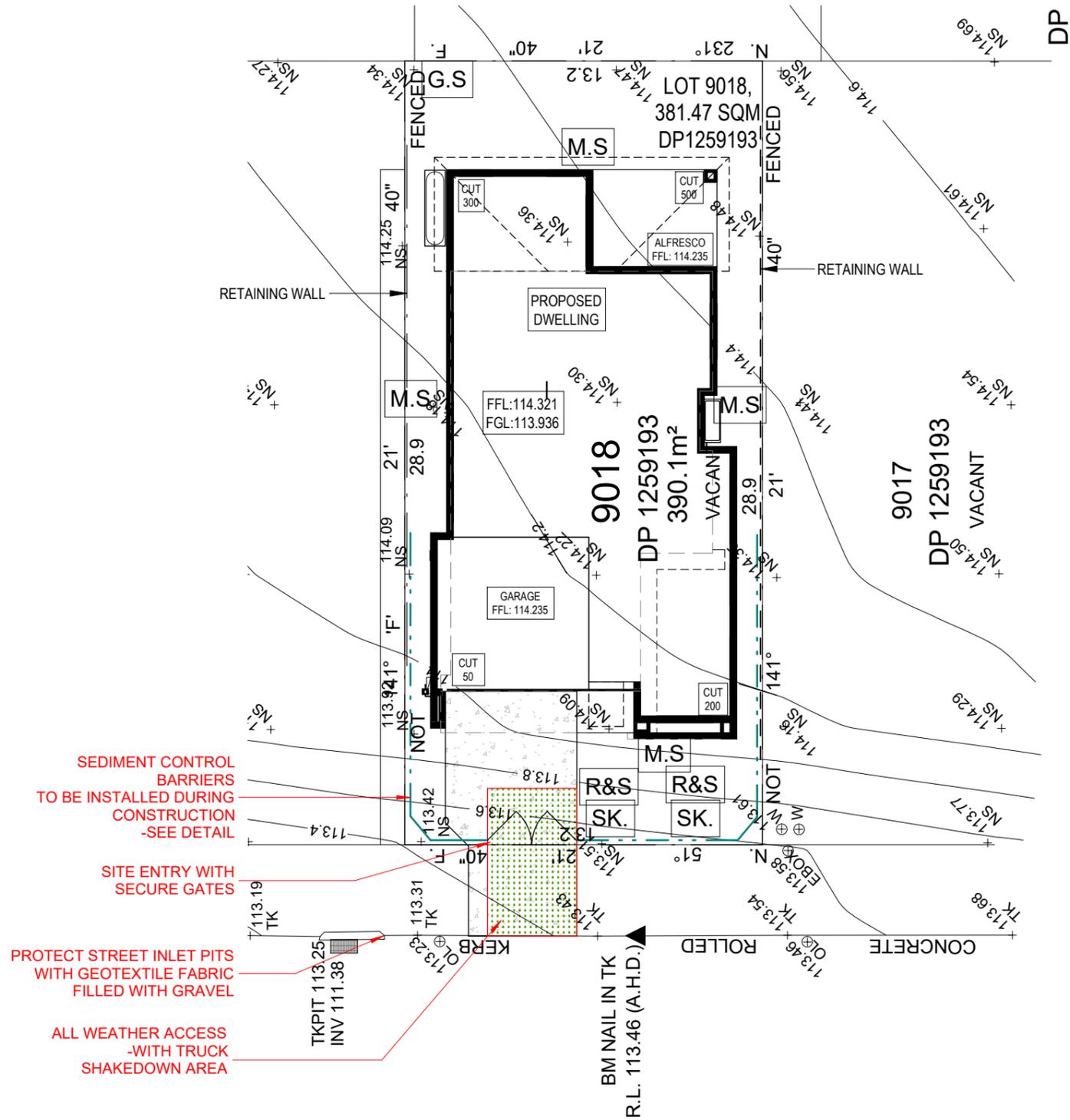
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	7	15-03-22	AMENDED CC	RB
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SEDIMENT CONTROL FENCE



GENERAL NOTES
 STORMWATER DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS
 - SEWER TO LOCAL AUTHORITY REQUIREMENTS
 - ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY REGISTERED SURVEYOR
 - WRITTEN DIMENSIONS TO TAKE PRESEDENCE OVER SCALING. ANY DISCREPANCIES TO BE REFERRED BACK TO SURF DRAFTING BEFORE PROCEEDING
 - SITE CLASSIFICATION **TBC**
 - CUT & FILL HOUSE PLATFORM APPROXIMATELY TO **RL 113.936** & GARAGE TO **RL 113.936**
 - HOUSE FLOOR LEVEL **RL 114.321**
 - GARAGE FLOOR LEVEL **RL 114.235**
HOUSE FLOOR LEVELS FLOOR TO BE 385mm ABOVE BENCHED LEVELS, FOR WAFFLE POD SLAB,
SUBJECT TO ENGINEERS DETAILS AND CONFIRMATION OF SITE CLASSIFICATION



SEDIMENT CONTROL BARRIERS TO BE INSTALLED DURING CONSTRUCTION -SEE DETAIL

SITE ENTRY WITH SECURE GATES

PROTECT STREET INLET PITS WITH GEOTEXTILE FABRIC FILLED WITH GRAVEL

ALL WEATHER ACCESS -WITH TRUCK SHAKEDOWN AREA

EASEMENT FOR SUPPORT, MAINTENANCE & REPAIR 0.9 WIDE (DP 1259193)



- KEY**
- SK.** -SKIP BINS
 - M.S.** -MATERIAL STORAGE
 - R&S** -RECYCLING & SEPARATION
 - G.S.** -GOOD SOIL STOCKPILE
- LEGEND**
- AHD AUSTRALIAN HEIGHT DATUM
 - BM BENCH MARK
 - C EDGE OF CONCRETE
 - EL ENTRY LEVEL
 - F FENCE
 - GFL GARAGE FLOOR LEVEL
 - GUT TOP OF GUTTER
 - SMH SEWER MANHOLE
 - 4/0.2 TREE SPREAD / TRUNK DIAMETER
 - NS NATURAL SURFACE
 - RL REDUCED LEVEL
 - SH SPOT HEIGHT
 - TK TOP OF KERB
 - VC VEHICLE CROSSING
 - WM WATER METER
 - PP POWER POLE
 - HYD HYDRANT
 - TEL TELSTRA
 - OL STORMWATER OUTLET
 - DH DRILLHOLE
 - DD DISH DRAIN
 - CONCRETE HARD AREA
 - APPROXIMATE GUTTER LINE

SITE MANAGEMENT PLAN
1 : 200



CC PLAN

PROJECT	SHEET CONTENT: SITE MANAGEMENT PLAN
	HOUSE TYPE: NATALIA
	PROPERTY ADDRESS: LOT 9018 CATO CIRCUIT, EMERALD HILLS
	CLIENT: ANSA HOMES

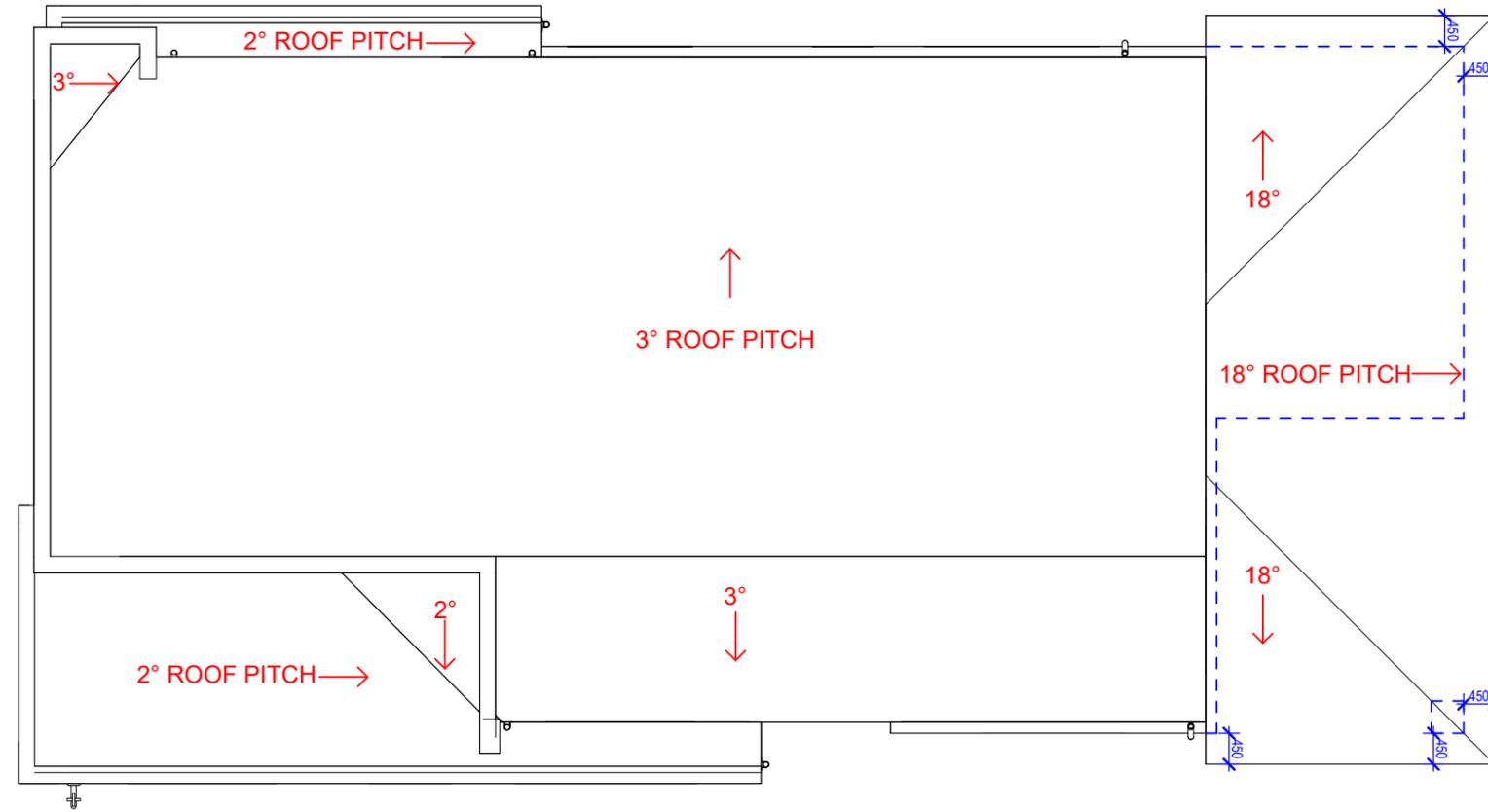
SIGN OFF	CLIENT
	I / WE.....
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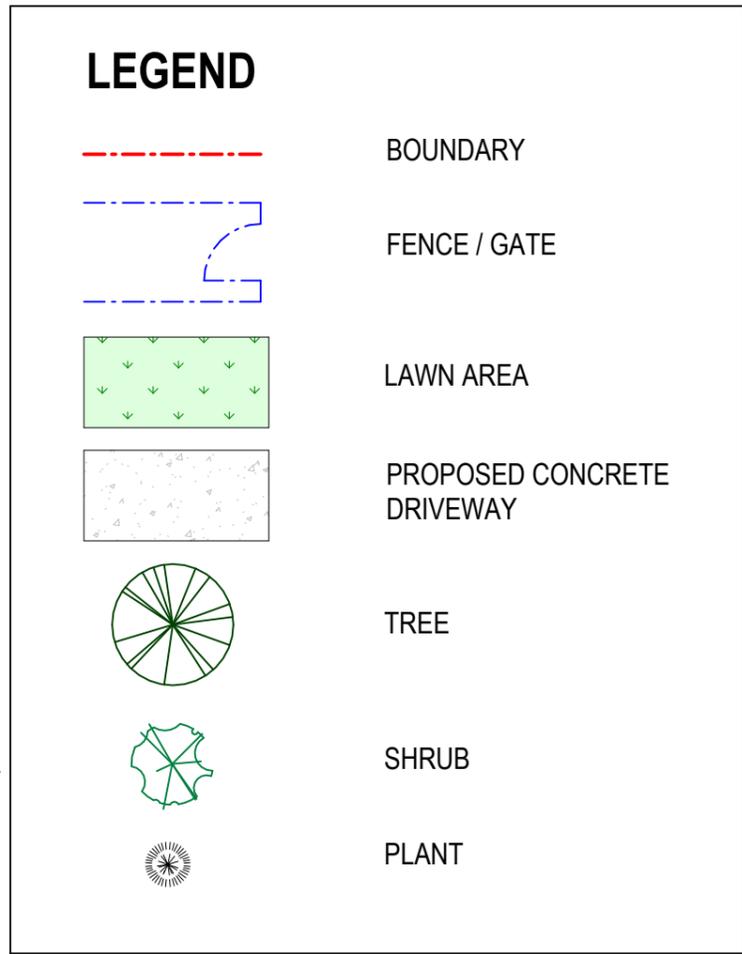
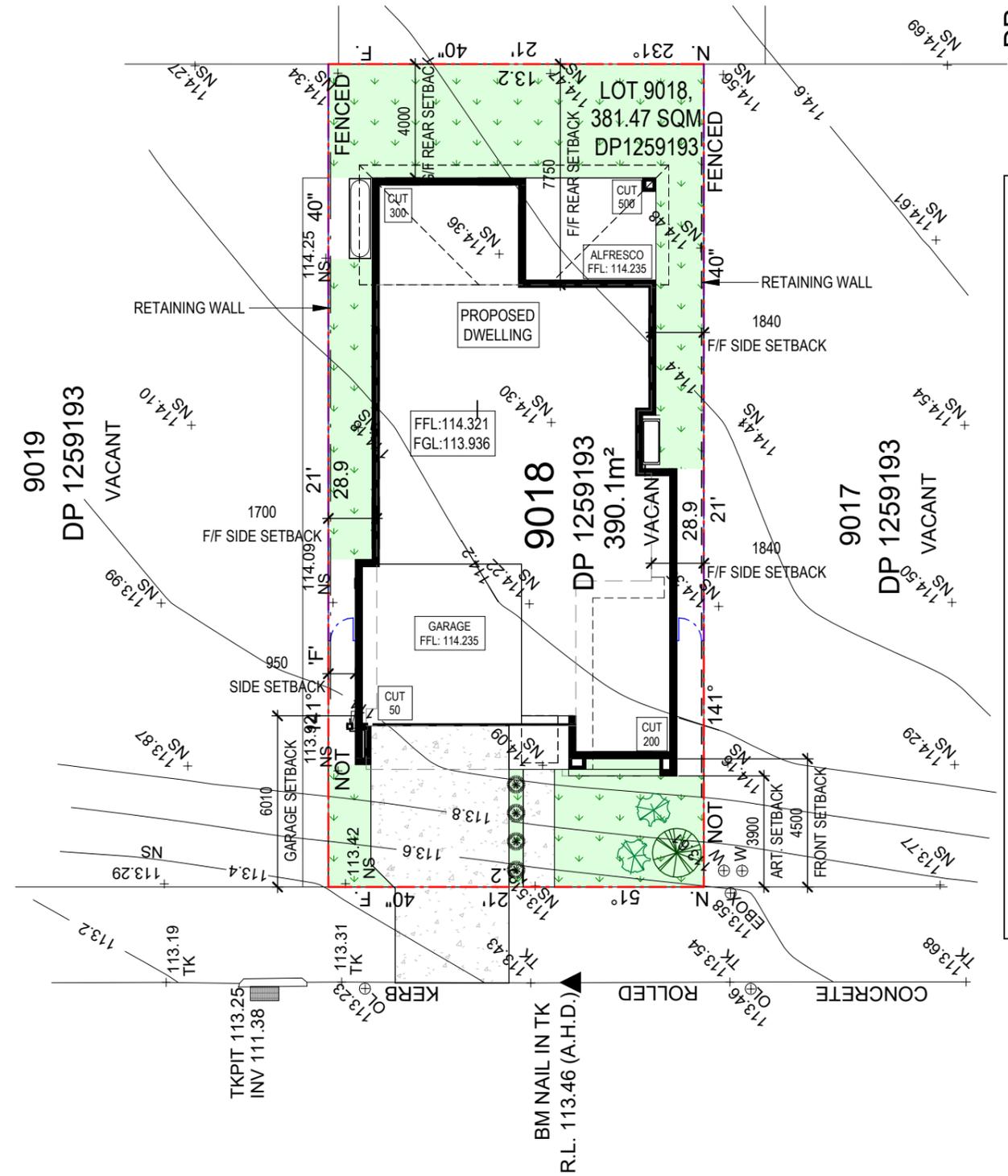


ROOF PLAN 1:100



CC
PLAN

PROJECT	SHEET CONTENT: ROOF PLAN	SIGN OFF	CLIENT	GENERAL NOTES: * THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS * FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE * UNLESS OTHERWISE DIMENSIONED ALL STUD WALLS ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 250mm THICK * DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC. * REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS	<p>T (02) 4648 2233 M GPO Box 1028, Narellan NSW 2567 E office@ansahomes.com.au W www.ansahomes.com.au A 84 152 606 178</p> <p><i>Just the way you like it.</i></p> <p><small>COPYRIGHT OF THE DESIGN AND ANY OTHER INFORMATION SHOWN HERE IS OWNED BY ANSA HOMES. REPRODUCTION OR USE OF THE DESIGN BY ANY PARTY FOR ANY PURPOSE IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF ANSA HOMES.</small></p>	NORTH:	SCALE: AS SHOWN	SHEET NUMBER: 15/17	ATRIA JOB NUMBER: J1587											
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CATO CIRCUIT
LANDSCAPE PLAN
1 : 200



**CC
PLAN**

PROJECT	SHEET CONTENT: LANDSCAPE PLAN	SIGN OFF	CLIENT I / WE.....	GENERAL NOTES: * THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS * FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE * UNLESS OTHERWISE DIMENSIONED ALL STUD WALLS ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 250mm THICK * DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC. * REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS	 T (02) 4648 2233 M GPO Box 1028, Narellan NSW 2567 E office@ansahomes.com.au W www.ansahomes.com.au A 84 152 606 178	NORTH: 	SCALE: AS SHOWN	SHEET NUMBER: 16/17	ATRIA JOB NUMBER: J1587												
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	CLIENT: ANSA HOMES		SIGNED.....			DATE.....	PAGE SIZE: A3														
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BASIX & THERMAL COMMITMENTS



Date 19 August 2021

Lot Number	House Number	Street	Suburb	Post Code	State
9018	n/a	Cato Circuit	Leppington	2179	NSW

FLOORS

Ground	1st Floor
Waffle pod	Timber

WALLS

Ground	1st Floor
Brick Veneer	Fibre Cement Cladding
Insulation External Walls R2.5	Internal Walls to be Insulated Garage internal walls, Bathroom, Laundry
External Colours Not yet selected	Insulation Internal Walls R2.5

CEILINGS

Ceilings with cavity to roof	Ceiling between Ground and 1st Floor
R5.0	R2.5
Areas requiring insulation between levels Above garage	

ROOF AREA

Colours	Material	Insulation
Not yet selected	Metal (Colourbond)	Anticon 50mm (R1.3)

WINDOWS (Refer to NatHERS Certificate for more detail)

Upgraded windows, refer to NatHERS Certificate

WATER

Landscape Area	Rainwater Tank	Rainwater Tank Size	Roof Area to Tank
188m ²	Garden, WC, Laundry	3,000 L	80% of Roof
Showerheads 3 Star > 7.5 but less < or = 9.0 litres per minute	Toilets 4 Star	Basin Taps 5 Star	Kitchen Taps 4 Star
Swimming Pool No			

ENERGY

Hot Water	Air Conditioning	Air Conditioner EER
Gas Instantaneous 6 Star	3 Phase	Heating & Cooling 3.0 - 3.5

VENTILATION

Laundry	Bathroom	Kitchen
Natural Ventilation (has external window/door)	Ducted	Ducted

OTHER

Solar Photovoltaic System	Cooking	
No	Gas Cooktop/Electric Oven	
Living Room Ceiling Fans	Bedroom Ceiling Fans	Other
No	No	Outdoor Clothes Line, Air Conditioning Zoned

ADDITIONAL NOTES

The project has been assessed under the simulation method of the BASIX Protocol. Downlights fitted after the assessment must be IC Rated and non-ventilated. All new residential buildings must be constructed in accordance with Building BCA Part 3. 12. 1, Build Sealing BCA Part 3. 12. 3. Insulation must be installed in accordance with AS3995.

Frys Building Consultancy Pty Ltd Trading as Frys Energywise are Accredited Thermal Energy Assessors ABSA 20856, BDAV 12/1441, COLA 2011291



**CC
PLAN**

PROJECT	SHEET CONTENT: BASIX
	HOUSE TYPE: NATALIA
	PROPERTY ADDRESS: LOT 9018 CATO CIRCUIT, EMERALD HILLS
	CLIENT: ANSA HOMES

SIGN OFF	CLIENT
	I / WE.....
	CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES
	SIGNED..... DATE.....
	SIGNED..... DATE.....

GENERAL NOTES:

- * THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS
- * FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE
- * UNLESS OTHERWISE DIMENSIONED ALL STUD WALLS ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 250mm THICK
- * DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC.
- * REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS

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NORTH: 	SCALE: AS SHOWN	SHEET NUMBER: 17/17	ATRIA JOB NUMBER: J1587	
	DATE: 15-03-22		ANSA JOB NUMBER: 2071	
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	8	25-03-22	AMENDED CC	RB
	9	30-05-22	AMENDED CC	JC