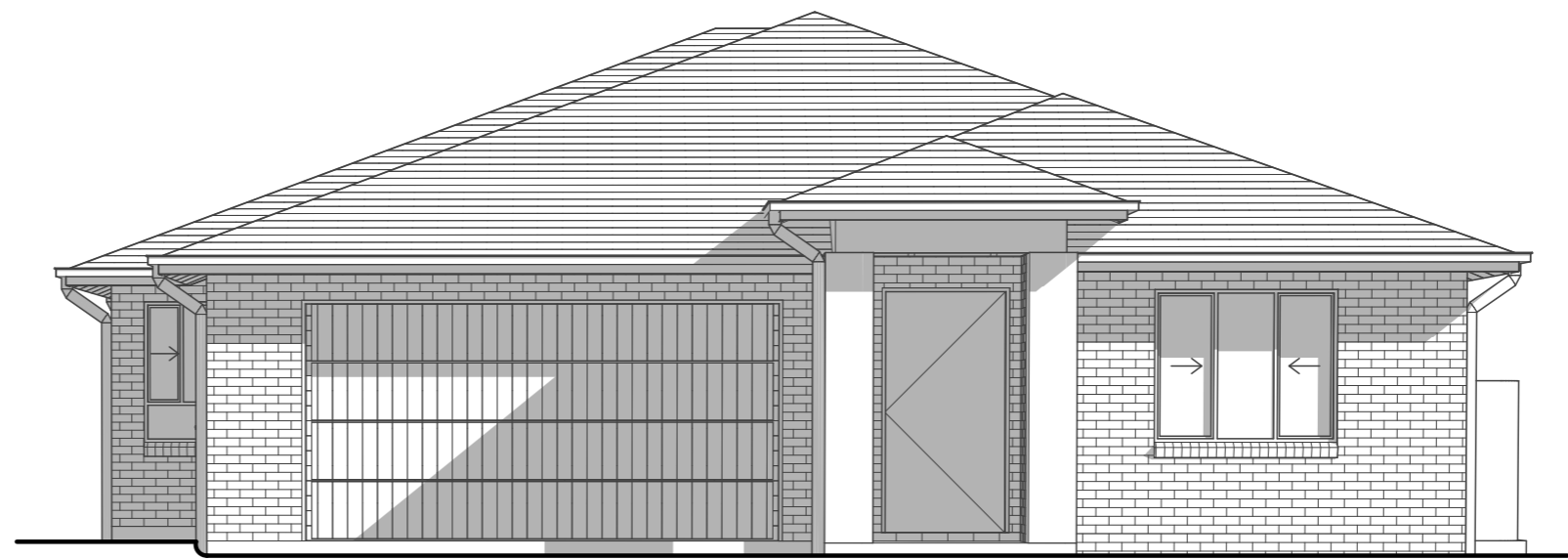


Page	Drawing
01	COVER PAGE & DRAWING INDEX
02	LEGENDS AND NOTES
03	SITE PLAN
04	SITE AREA CALCULATION
05	GROUND FLOOR PLAN
06	ROOF PLAN
07	ELEVATIONS
08	ELEVATIONS
09	SECTIONS
10	SITE MANAGEMENT PLAN
11	SITE ANALYSIS PLAN
12	LANDSCAPE PLAN
13	BASIX COMMITMENTS
14	A4 NOTIFICATION PLAN



LOT 409 #21 TAURUS STREET BADAGARANG 2540



ISSUE	DESCRIPTION	BY	DATE
A	PDF SURVEY	IL	09.07.25
B	PRELIMINARY PLANS	MZ	16.07.25
C	DWG SURVEY IMPORTED	IL	17.07.25
D	UPDATED PLANS	NH	05.08.25
E	CDC PLANS COMPLETED	NH	05.08.25
F	-	-	-
G	-	-	-
H	-	-	-
J	-	-	-
K	-	-	-
L	-	-	-
M	-	-	-
N	-	-	-
O	-	-	-
P	-	-	-
Q	-	-	-
R	-	-	-
S	-	-	-
T	-	-	-

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CLIENT
Sukhwinder Singh

SIGNATURE: _____ DATE: _____

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DATE
5/08/2025

PROJECT NO.
MRZ - 25 - 970

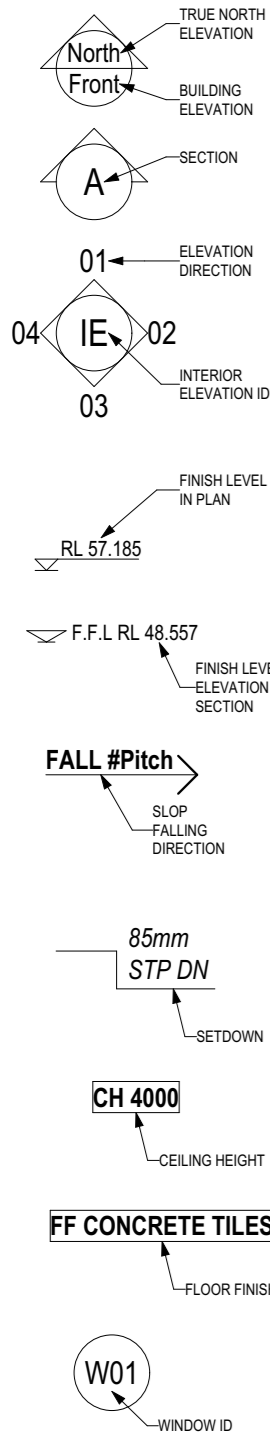
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LODGEMENT
CDC

PAGE TITLE: **COVER PAGE & DRAWING INDEX**

Symbols Legend



General Notes

Authorities:

All works (including but not limited to demolition, conservation, excavation & construction works) are to be carried out in accordance with the provisions of the building code of australia (bca), clause 98 of the environmental planning & assessment regulation 2000, the nsw work health and safety act 2011 and the nsw work health and safety regulation 2011.

All works (including but not limited to demolition, conservation, excavation & construction works) are to be carried out in accordance with the notice of determination of the applicable development approval.

Construction shall not commence before the relevant construction certificate is issued by the principal certifying authority.

The designer is not responsible for any changes requested by any authorities.

Documents:

These architectural drawings are to be read in conjunction with the architectural Schedules and specifications. The architectural documents describe the design intent and performance requirements for the project.

These architectural drawings are to be read in conjunction with all other consultants drawings, specifications and written instructions when they are issued at any time during the contract. Refer to the following drawings, specifications and reports which are to take precedence over any structural, services, technical or landscape information shown on the architectural drawings, schedules and specifications:

The geotechnical engineer's report, recommendations and specification where provided.

The structural engineer's drawings and specifications for all structural requirements and details.

The hydraulic engineer's drawings and specifications for all hydraulic requirements, including gutters and downpipes.

The services engineers' drawings and specifications for all fire, electrical and mechanical services requirements and details. Locations and positions to be coordinated with architectural requirements.

The landscape architect's drawings and specifications for all landscaping requirements and details including new finished paved surfaces.

The civil engineer's drawings and specifications for all roads, paths, accessways or parking hardscape details, including reduced levels (rl's), subgrade and concrete paving.

The contractor shall refer any discrepancy, errors, omissions, inconsistencies or other faults found in the architectural documentation to the client for review before proceeding with the works.

Unless noted otherwise, any works shown on one drawing but not on another, or shown on a consultants drawings but not on the architectural drawings (or vice versa) are deemed to be included in the contract works.

The contractor is to ensure that sufficient tolerances are allowed for the construction works.

The contractor is to allow for all material, equipment, accessories, labour, additional design input, permits, approvals and the like to complete the works in accordance with the intent and scope for all these works to be fit for their intended purpose.

Prior to commencement of any works, the contractor is to identify all existing services. Existing services if shown on any drawings are indicative only and are to be checked and located on site. Any damage to existing services is to be rectified at the contractor's expense.

No variations will be considered unless it is a clear change to the intent and scope of the works initiated in writing by the client.

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Proprietary systems:

All proprietary systems are to be installed & fixed in accordance with manufacturers specifications & instructions and to meet relevant construction standards and requirements.

Reference levels:

All services impacting the site, and all levels referred to in the architectural documentation, are referenced from the survey information provided to designinc by geimages services, and are to be checked on site prior to construction or manufacturing. Report any discrepancies to the client immediately.

All levels and rl's in the documents are to the Australian height datum (ahd). A benchmark level is to be established on site (to ahd) prior to setout of on-site works.

Building Specification

The building works included in the subject application will comply with the relevant deemed-to-satisfy provisions of the NCC 2022 National Construction Code (Volume 2- Housing Provisions) and relevant standards of construction.

Particular reference is made to the following NCC 2022 provisions and Australian Standards, which form part of the application and will be complied with:

Demolition:

AS 2601(2001) - The demolition of structures

Site Preparation:

Earthworks - To be carried out in accordance with the requirements of the Environmental Planning & Assessment Act 1979, conditions of development consent and the relevant requirements of Part 3.2 of the ABCB Housing Provisions & H1D3 of NCC 2022 (Volume 2).

Stormwater drainage - Part H2D2 of NCC 2022 (Volume 2); and

ASINZS 3500 (2003) Part 3 - Stormwater drainage

AS/NZS 3500 (2000) Part 5 - Domestic installations - Section 5 - stormwater drainage

Termite protection-Part-3.4 of ABCB Housing Provisions: and

AS 3660.1(2000) - Protection of buildings from subterranean termites

Footings and Slabs:

Footings and slabs - H1D4 of NCC 2022 (Volume 2); and

AS 2870 (2011) - Residential slabs and footings

AS 3600 (2009) - Concrete structures

AS 2159 (2009) - Piling - Design and installation

Site classification - Part A6 of NCC 2022 (Volume 2)

Masonry:

Masonry construction - Part H1D5 of NCC 2012 (Volume 2)

AS 3700 (2018) - Masonry Structures

Framing:

Sub-floor ventilation Part H2D5 of NCC 2022 (Volume 2)

Steel framing - Part H1D6 of NCC 2022 (Volume 2)

Part 6.3 Structural Steel Members of NCC 2022 (Volume 2) and/ or

AS 4100 (2020) - Steel structures

Timber wall, floor and roof framing - H1D6 of ABCB Housing Provisions; and

AS 1684 (2021) - Residential timber - frame construction

Part H1 Structure of NCC 2022 (Volume 2) - H1D1 to H1D12

Roof and wall cladding:

Roof and Wall Cladding - Parts H1D7 of NCC 2022 (Volume 2) and AS 2049 (2002) - Roof tiles

Part 7.1 to 7.5 of ABCB Housing Provisions

Gutters and downpipes - Part 7.4 of ABCB Housing Provisions ; and

AS/NZS 3500 (2021) Part 3 - Stormwater drainage

AS/NZS 3500 (2021) - Plumbing & Drainage set (Parts 0-4)

Glazing:

Glazing - Part H1D8 of NCC 2022 (Volume 2)

AS 1288 (2021) Glass in buildings

AS 2047 (2047) Windows in buildings Glazing

Part 8 of the ABCB Housing Provisions

Fire safety:

Fire Separation - Part 3.7.1 of NCC 2022 (Volume 2)

Fire Safety - Part H3 of NCC 2022 (Volume 2) - H3D1 to H3D6

AS 3786 (2023) - Smoke alarms

AS 2918 (2018) - Domestic solid - fuel burning appliances - installation

Fire Safety - Part 9.1 to 9.5 of ABCB Housing Provisions

Building Specification

Health and amenity:

Wet areas - Part H4D2 of the NCC 2022 (Volume 2) and AS 3740 (2021) -

Waterproofing of wet areas in

Room heights - Part H4D4 of NCC 2022 (Volume 2)

Kitchen, sanitary and washing facilities - Part H4D5 of NCC 2022 (Volume 2)

Natural and artificial light - Part H4D6 of NCC 2022 (Volume 2)

Ventilation - Part H4D7 of NCC 2022 (Volume 2)

Sound insulation - Part H4D8 of NCC 2022 (Volume 2)

Health and Amenity - Part 10 of ABCB Housing Provisions

Safe movement and access:

Stairway and ramp construction - Part H5D2 of NCC 2022 (Volume 2)

Barriers and handrails - Part H5D3 of NCC 2022 (Volume 2)

Stairway and ramp construction - Part 11.2 of the ABCB Housing Provisions

Barriers and handrails - Part 11.3 of the ABCB Housing Provisions

Safe movement and access:

Stairway and ramp construction - Part H5D2 of NCC 2022 (Volume 2)

Barriers and handrails - Part H5D3 of NCC 2022 (Volume 2)

Stairway and ramp construction - Part 11.2 of the ABCB Housing Provisions

Barriers and handrails - Part 11.3 of the ABCB Housing Provisions

Energy efficiency:

Energy Efficiency - Part H6 of the NCC 2022 (Volume 2)

Building fabric - Part 13.2 of the ABCB Housing Provisions

External glazing - Part 13.3 of the ABCB Housing Provisions

Building sealing - Part 13.4 of the ABCB Housing Provisions

Ceiling fans - Part 13.5 of the ABCB Housing Provisions

Whole-of-home energy usage - Part 13.6 of the ABCB Housing Provisions

Services - Part 13.7 of the ABCB Housing Provisions

Ancillary provisions and additional construction requirements:

Swimming pools - Part H7D2 of the NCC 2022 (Volume 2)

Construction in alpine areas - Part H7D3 of the NCC 2022 (Volume 2)

Construction in bushfire prone areas - Part H7D4 of the NCC 2022 (Volume 2)

Heating appliances, fireplaces, chimneys and flues - H7D5 of the NCC 2022

(Volume 2)

Ancillary Provisions - Part 12 of the ABCB Housing Provisions

Livable housing design:

Livable housing design - Part H8 of the NCC 2022 (Volume 2)

ABCB Standard for Livable Housing Design

Swimming pool safety:

Swimming pool safety fencing I 1992 and Regulation 2018 and

AS 1926 Part 1 (2012), Part 2 (2007) & Part 3 (2010)

Structural design manuals:

AS 1170.1 (2002) - Dead and live loads and load combinations

AS 1170.2 (2021) or AS 4055 (2021) -Wind loads

AS 1170.4 (2007) - Earthquake loads

AS 1720.1 (2010) - Timber structures

AS 2159 (2009) - Piling - design and installation

AS 3600 (2018) - Concrete structures

AS 4100 (2020) - Steel Structures

LEGENDS & NOTES



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CLIENT

Sukhwinder Singh

SIGNATURE:

DATE:

SITE ADDRESS

LOT 409 #21 TAURUS STREET

SUBURB

BADAGARANG 2540

DATE

5/08/2025

PROJECT NO.

MRZ - 25 - 970

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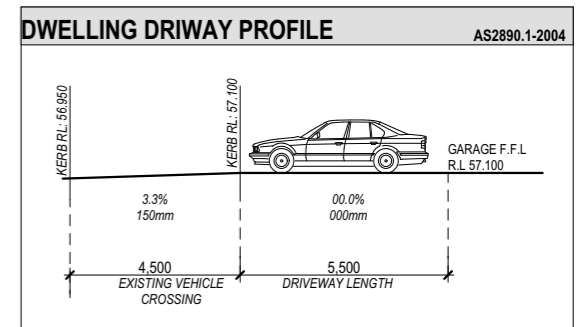
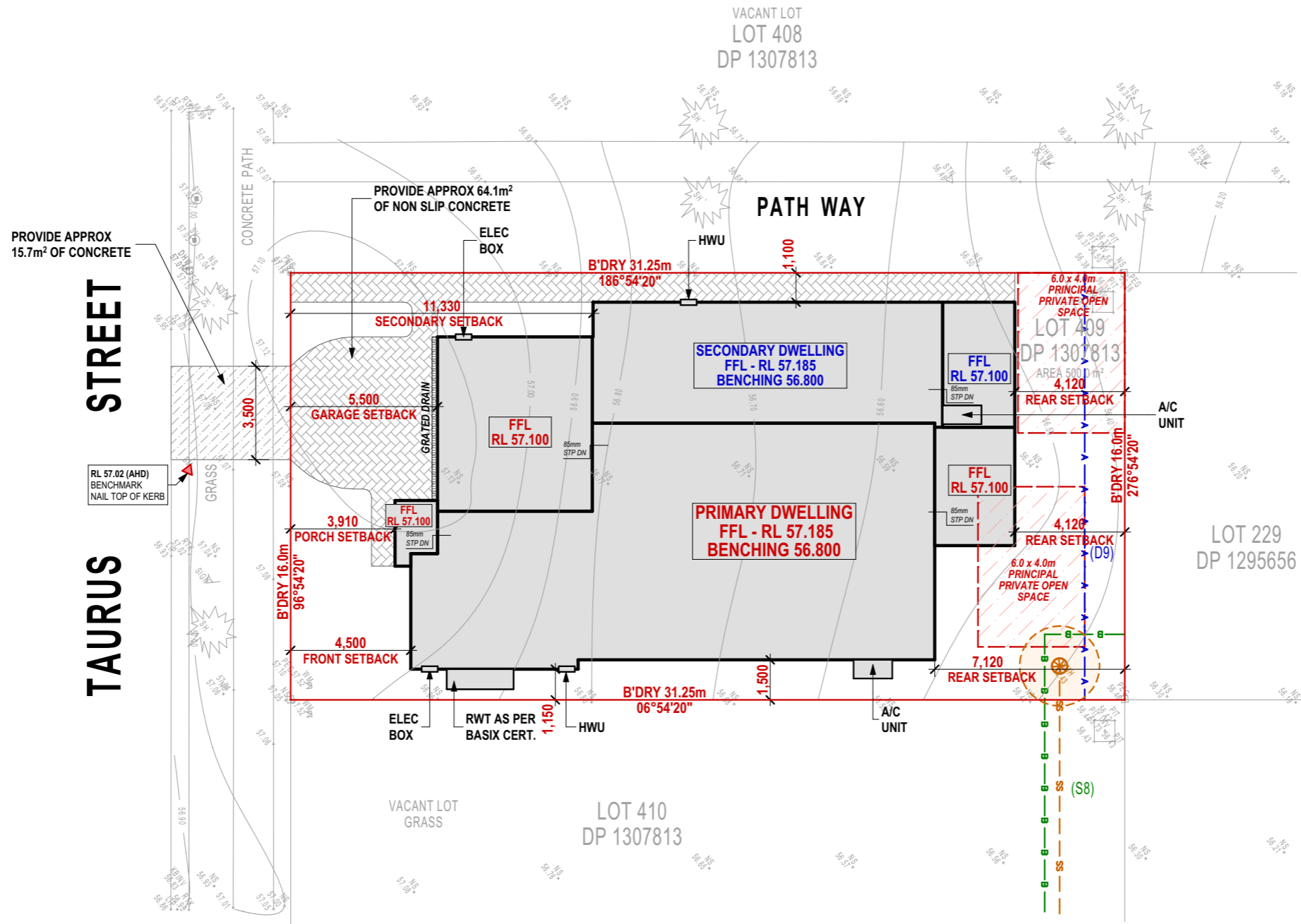
02

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LEGEND:	
AHD	AUSTRALIAN HEIGHT DATUM
BM	BENCH MARK
TEL	COMMUNICATION PIT
RTK	ROLLER TOP OF KERB
KO	KERB OUT LET
TRW	TOP OF RETAINING WALL
VC	VEHICLE CROSSING
WM	WATER METER
NS	NATURAL SURFACE
EC	EDGE OF CONCRETE
KBINV	KERB INVERT LEVEL
SHRUB	SHRUB
SEWER MAN HOLE	SEWER MAN HOLE
SEWER VENT	SEWER VENT



RESTRICTION(S) ON THE USE OF LAND CREATED BY DP 1307813 AND REFERRED TO NUMBERED (3,4) IN THE S.88B INSTRUMENT DP 1307813 POSITIVE COVENANT

SITE PLAN
1:200

LEGEND	
	EASEMENT A: (D9) : EASEMENT TO DRAIN WATER 1.5 WIDE
	EASEMENT B: (S8) : EASEMENT FOR DRAINAGE OF SEWAGE 3.6 WIDE
	EASEMENT SS: SEWER LINE
	1.2m HIGH BOUNDARY FENCE: - ANY FENCE LOCATED ALONG THE BOUNDARY OF, OR WITHIN THE SETBACK AREA TO, A PRIMARY OR SECONDARY ROAD
	1.8m HIGH BOUNDARY FENCE: - NOT BE HIGHER THAN 1.8m ABOVE GROUND LEVEL - NOT BE OF MASONRY CONSTRUCTION TO A HEIGHT THAT IS MORE THAN 1.2m ABOVE GROUND LEVEL.
	CONCRETE VEHICLE CROSSING TO MATCH DRIVEWAY
	NON SLIP HARDSTAND / CONCRETE DRIVEWAY AND PATH AS REQUIRED
	FLOOR SLAB FOOTPRINT
	RETAINING WALL AS REQUIRED

'H' CLASS SLAB SUBJECT TO BOREHOLE REPORT	BOUNDARIES HAVE NOT BEEN SURVEYED THEY ARE SHOWN APPROXIMATE ONLY AND ARE SUBJECT TO A FURTHER SURVEY
ANY RETAINING WALLS REQUIRED TO BE COMPLETED BY OWNERS TO MANUFACTURES SPECIFICATIONS. STORMWATER DRAINAGE TO EASEMENT	TREE 0.1 Ø TRUNK DIAMETER 1 S TREE SPREAD 1 H TREE HEIGHT

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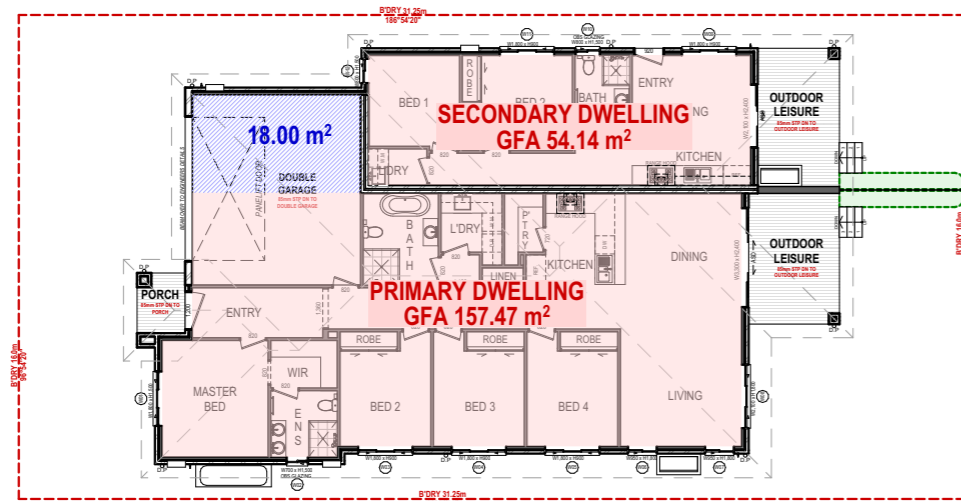
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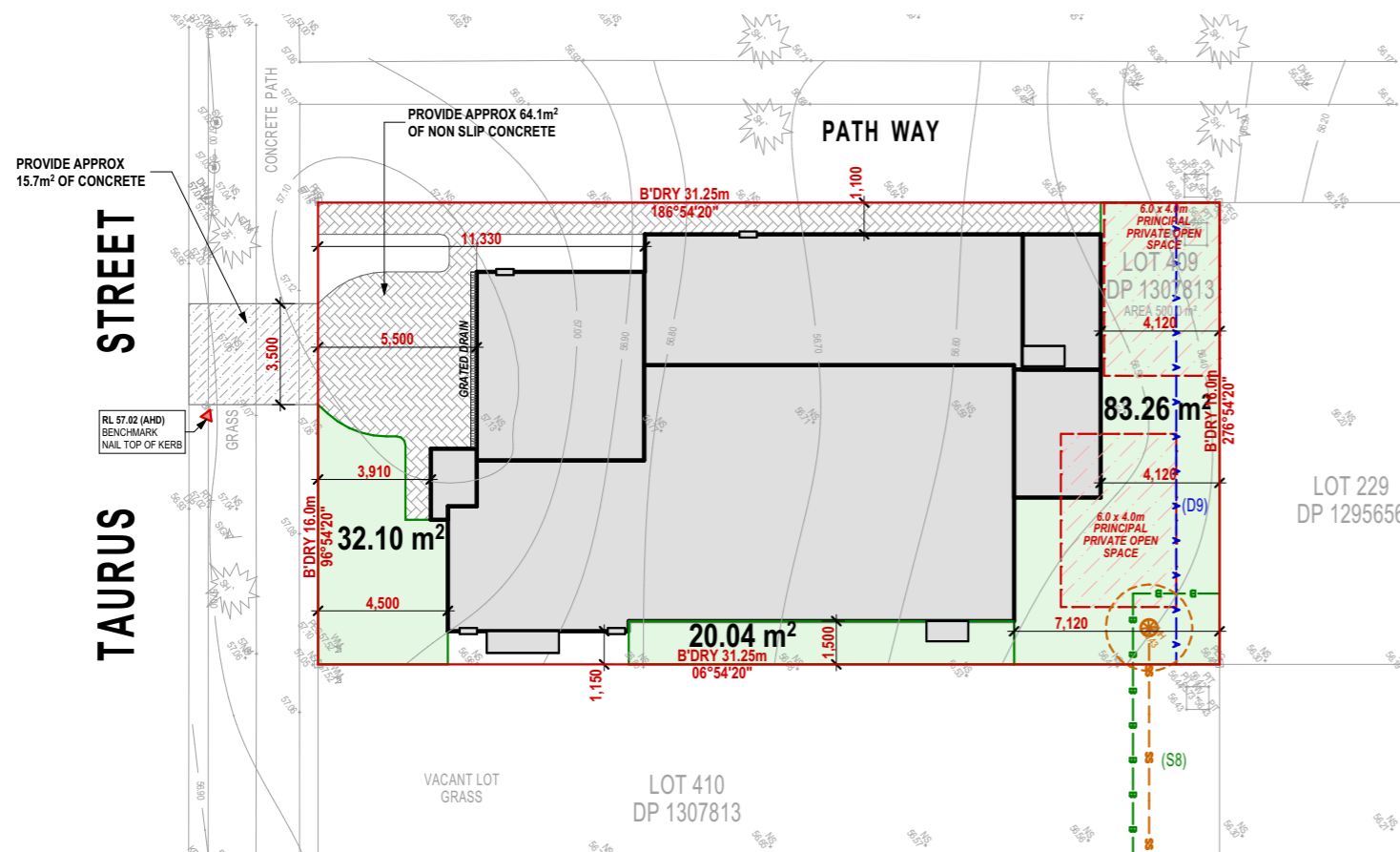
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PAGE No.
03
of 14





GROSS GROUND FLOOR AREA 1:250

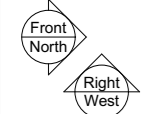
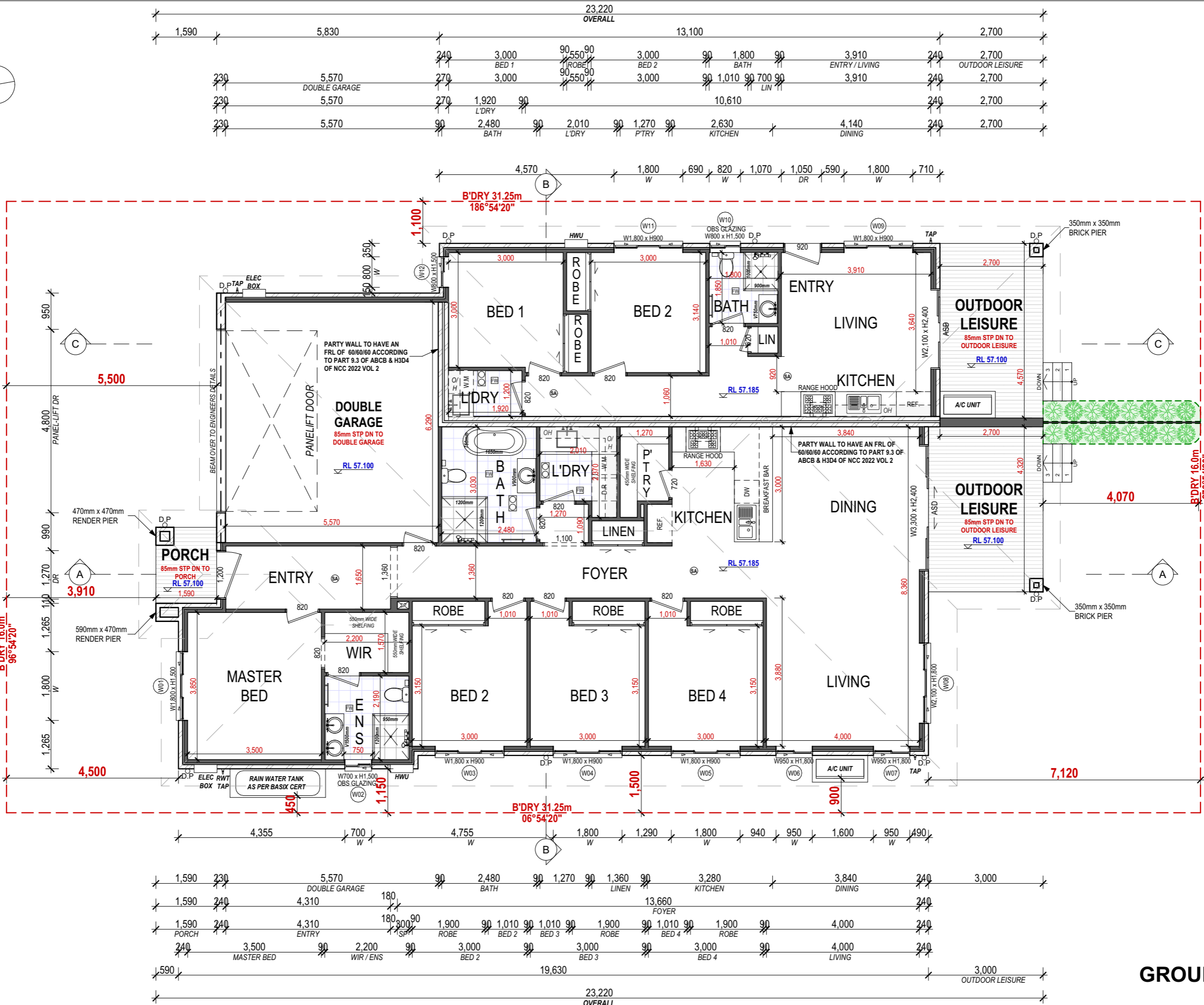
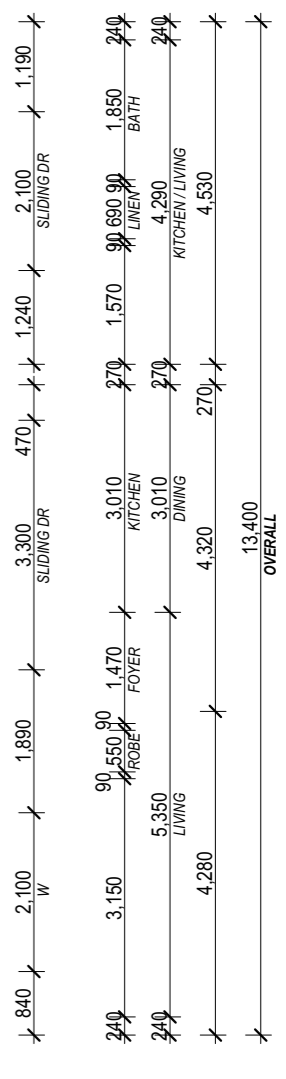
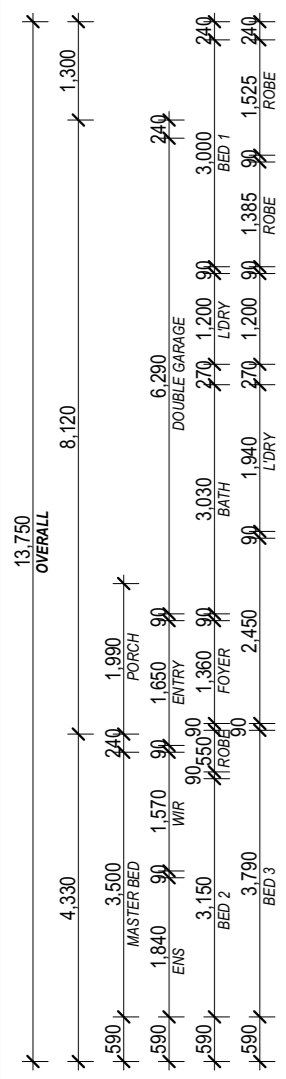
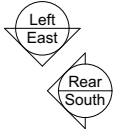


LANDSCAPE AREA CALCULATION 1:250

PRIMARY DWELLING- SEPP 2008		
SITE DETAIL		
LOT NUMBER	409	
DWELLING NUMBER	21	
DP NUMBER	1307813	
SITE AREA	500.00 m ²	
LOT WIDTH	16.00 m	
PRIMARY DWELLING AREAS		
GROUND FLOOR LIVING	152.28 m ²	
GARAGE	37.87 m ²	
PORCH	3.44 m ²	
OUTDOOR LEISURE	13.31 m ²	
TOTAL PRIMARY AREA	206.90 m²	
GRANNY FLAT AREAS		
GRANNY FLAT	59.49 m ²	
OUTDOOR LEISURE	12.65 m ²	
GRANNY FLAT TOTAL AREA	72.14 m²	
TOTAL COMBINED AREA	279.04 m²	
GROSS FLOOR AREA		
REQUIRED	290.00 m ²	
PRIMARY DWELLING	157.47 m ²	
GRANNY FLAT	54.14 m ²	
TOTAL FLOOR AREA	211.61 m²	
LANDSCAPE AREA		
REQUIRED	100.00 m ²	20.0%
PROPOSED	135.40 m ²	27.1%
LANDSCAPE AREA (FRONT SETBACK)		
REQUIRED	71.93 m ²	
PROPOSED	17.98 m ²	25.0%
LANDSCAPE AREA (BEHIND BUILDING LINE)		
REQUIRED	50.00 m ²	50.0%
PROPOSED	103.30 m ²	103.3%
PRIVATE OPEN SPACE		
REQUIRED	24.00 m ²	6m x 4m
PROPOSED	83.26 m ²	

SECONDARY DWELLING SEPP (HOUSING) 2021		
SITE DETAIL		
LOT NUMBER	409	
DWELLING NUMBER	21	
DP NUMBER	1307813	
SITE AREA	500.00 m ²	
LOT WIDTH	16.00 m	
PRIMARY DWELLING AREAS		
GROUND FLOOR LIVING	152.28 m ²	
GARAGE	37.87 m ²	
PORCH	3.44 m ²	
OUTDOOR LEISURE	13.31 m ²	
TOTAL PRIMARY AREA	206.90 m²	
GRANNY FLAT AREAS		
GRANNY FLAT	59.49 m ²	
OUTDOOR LEISURE	12.65 m ²	
GRANNY FLAT TOTAL AREA	72.14 m²	
TOTAL COMBINED AREA	279.04 m²	
SITE COVERAGE		
REQUIRED	250.00 m ²	50.0%
PROPOSED	249.64 m ²	49.9%
MAXIMUM FLOOR AREA		
REQUIRED	330.00 m ²	
PRIMARY DWELLING	190.15 m ²	
GRANNY FLAT	59.49 m ²	
TOTAL FLOOR AREA	249.64 m²	
LANDSCAPE AREA		
REQUIRED	100.00 m ²	20.0%
PROPOSED	115.36 m ²	23.1%
LANDSCAPE AREA (BEHIND BUILDING LINE)		
REQUIRED	50.00 m ²	50.0%
PROPOSED	83.26 m ²	83.3%
PRIVATE OPEN SPACE		
REQUIRED	24.00 m ²	6m x 4m
PROPOSED	83.26 m ²	

- SYMBOLS**
- SMOKE ALARM
 - EXHAUST FAN
 - FLOOR WASTE
 - FLOOR DRAIN
 - CEILING FAN



GROUND FLOOR PLAN
1:100

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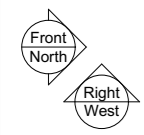
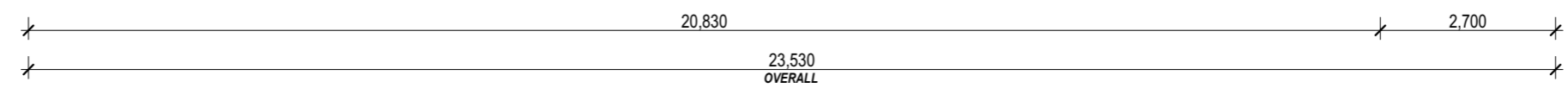
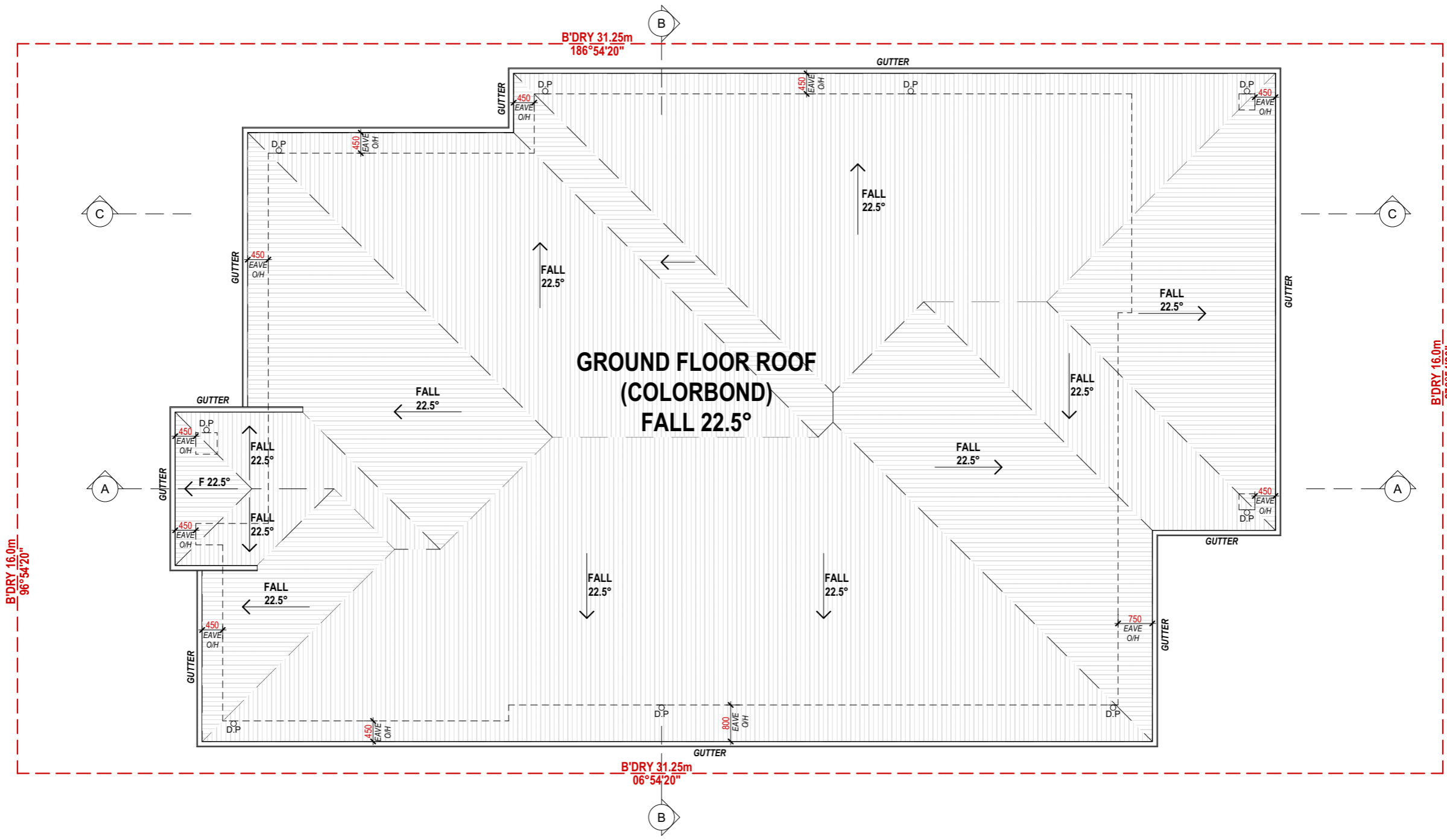
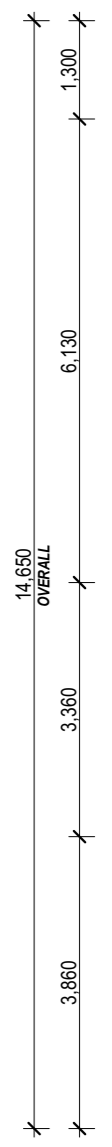
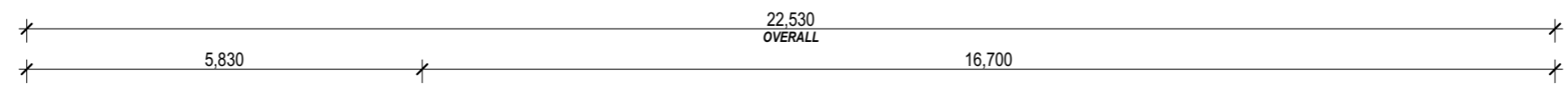
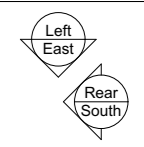
SITE ADDRESS
LOT 409 #21 TAURUS STREET
SUBURB
BADAGARANG 2540

DATE
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MRZ - 25 - 970

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SHOALHAVEN CITY
DP NO.
1307813
LODGE
CDC
PAGE TITLE: **GROUND FLOOR PLAN**

PAGE No.
05
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LEGEND:
 NEW DEVELOPMENT
 DEMOLISHED
 EXISTING



ROOF PLAN
1:100

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PAGE No.
06
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Surface Legend

Surface	Name
[White Box]	White Render
[Grey Box]	Grey Render
[Brick Pattern]	Brick
[Concrete Pattern]	Concrete
[Cladding Pattern]	Cladding
[?]	For Custom
[?]	For Custom
[?]	For Custom

Window Glazing Legend

Glazing	Name
[Clear Box]	Clear
[Double Box]	Double Glazing
[Low E Box]	Low E
[OBS Box]	OBS Glazing

Window Legend

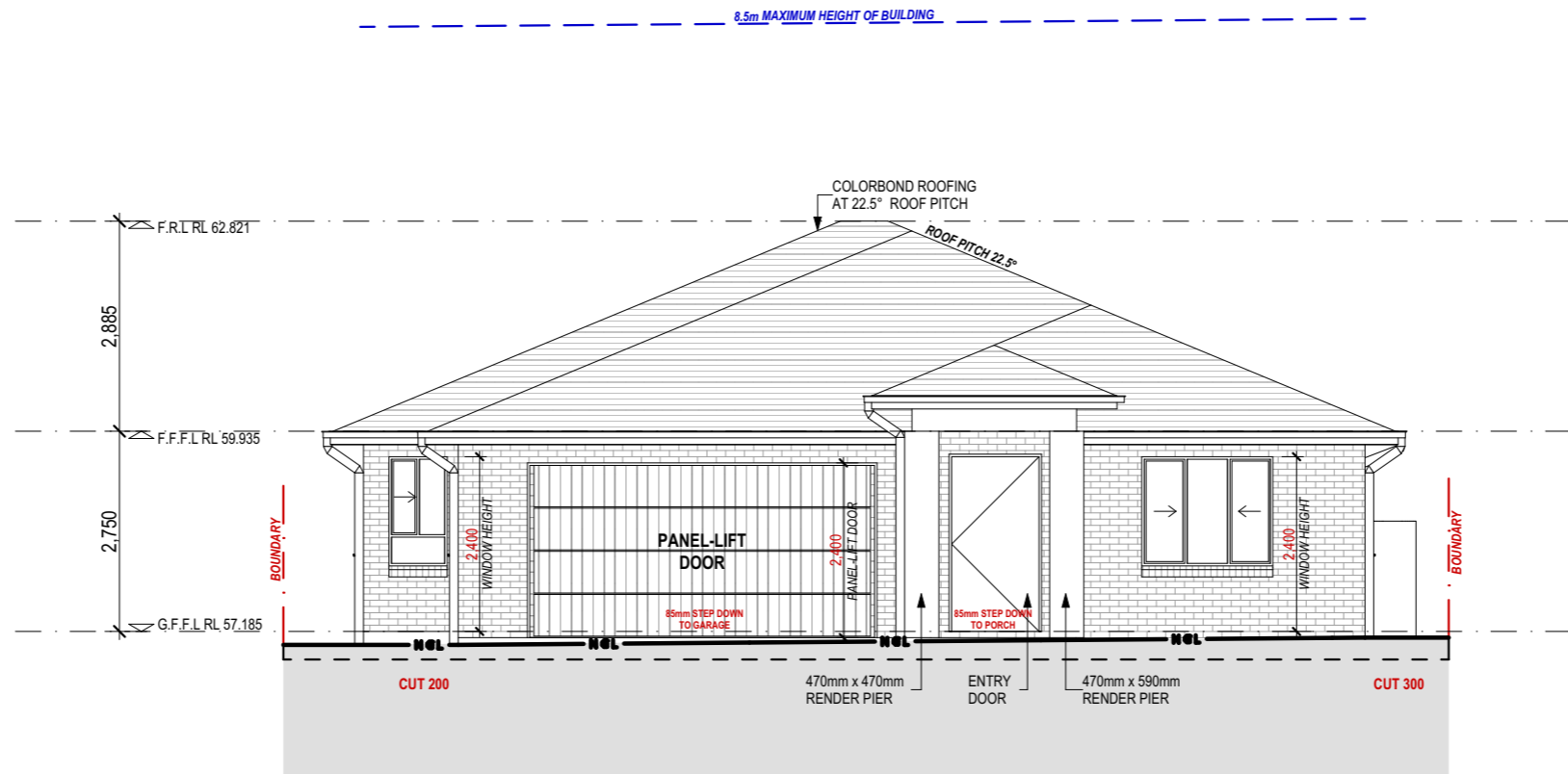
[Sliding Window Icon]	Sliding Window
[Awning Window Icon]	Awning Window
[Fixed Window Icon]	Fixed Window
[Double Hung Window Icon]	Double Hung Window
[Louvre Window Icon]	Louvre Window

Door Legend

[Solid Core Hung Door Icon]	Solid Core Hung Door
[Cavity Sliding Door Icon]	Cavity Sliding Door
[Sliding Door Icon]	Sliding Door
[Stacker Sliding Door Icon]	Stacker Sliding Door
[Bi-folding Sliding Door Icon]	Bi-folding Sliding Door

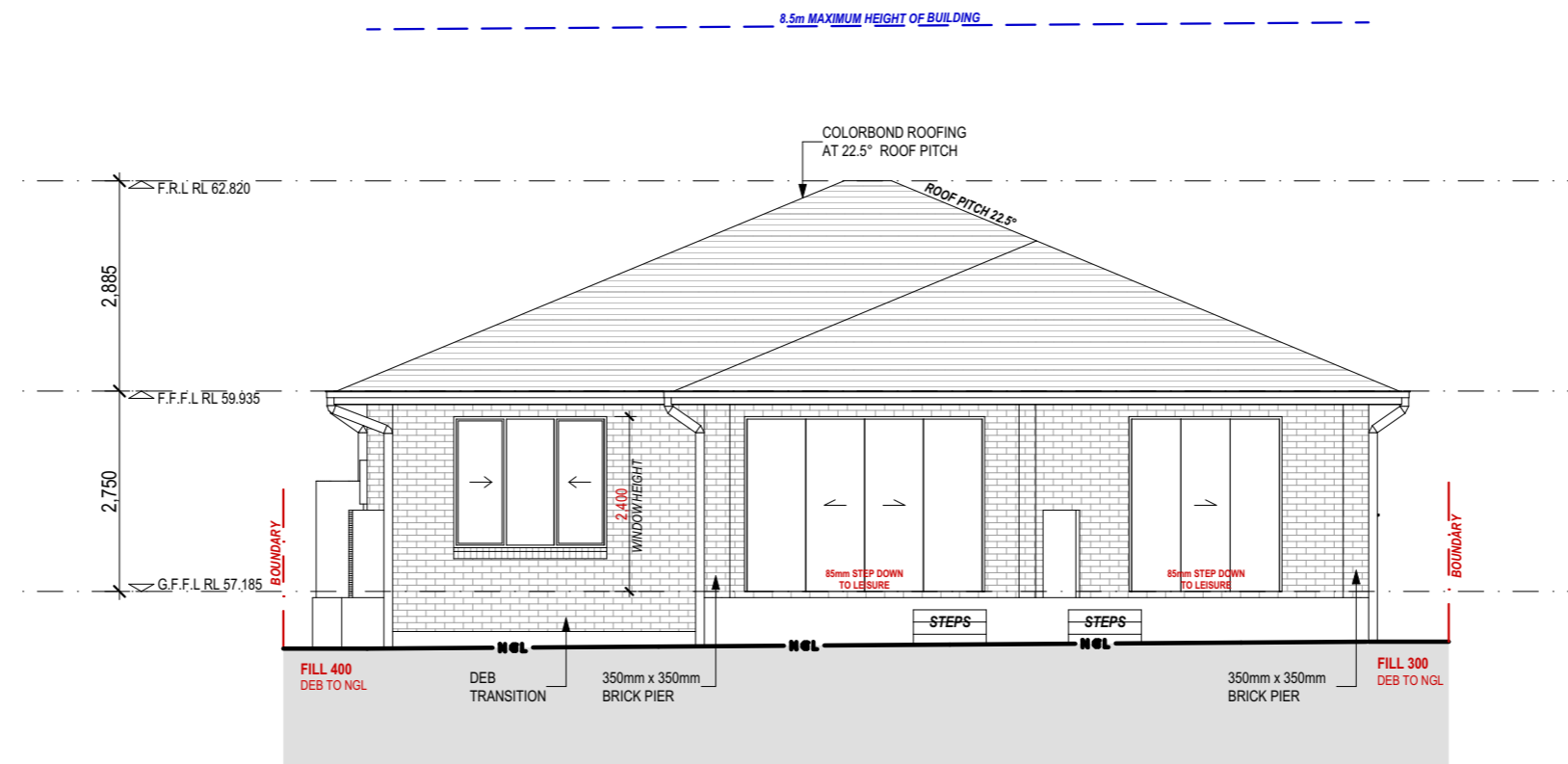
Notes:

- Guttering & Fascia to be colorbond
- All pier and parapet wall to have capping finish



FRONT/NORTH ELEVATION

1:100



REAR/SOUTH ELEVATION

1:100

Surface Legend

Surface	Name
[White Box]	White Render
[Grey Box]	Grey Render
[Brick Pattern]	Brick
[Concrete Pattern]	Concrete
[Cladding Pattern]	Cladding
[?]	For Custom
[?]	For Custom
[?]	For Custom

Window Glazing Legend

Glazing	Name
[Clear Box]	Clear
[Double Lines]	Double Glazing
[Low E Pattern]	Low E
[OBS Pattern]	OBS Glazing

Window Legend

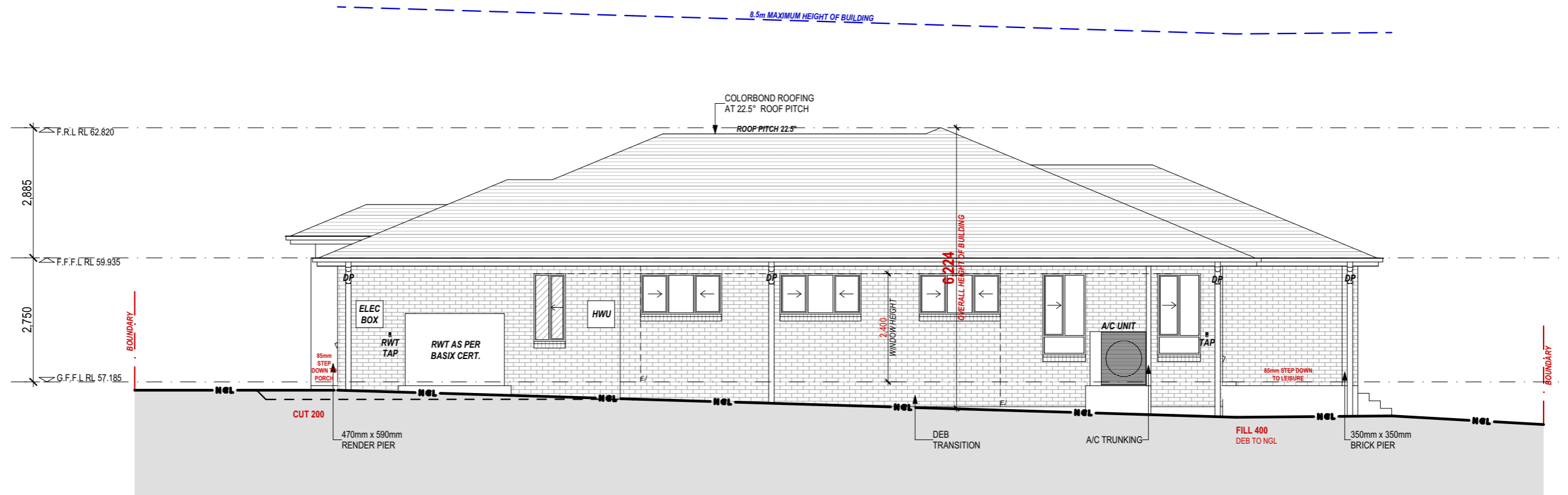
[Sliding Window Icon]	Sliding Window
[Awning Window Icon]	Awning Window
[Fixed Window Icon]	Fixed Window
[Double Hung Window Icon]	Double Hung Window
[Louvre Window Icon]	Louvre Window

Door Legend

[Solid Core Hung Door Icon]	Solid Core Hung Door
[Cavity Sliding Door Icon]	Cavity Sliding Door
[Sliding Door Icon]	Sliding Door
[Stacker Sliding Door Icon]	Stacker Sliding Door
[Bi-folding Sliding Door Icon]	Bi-folding Sliding Door

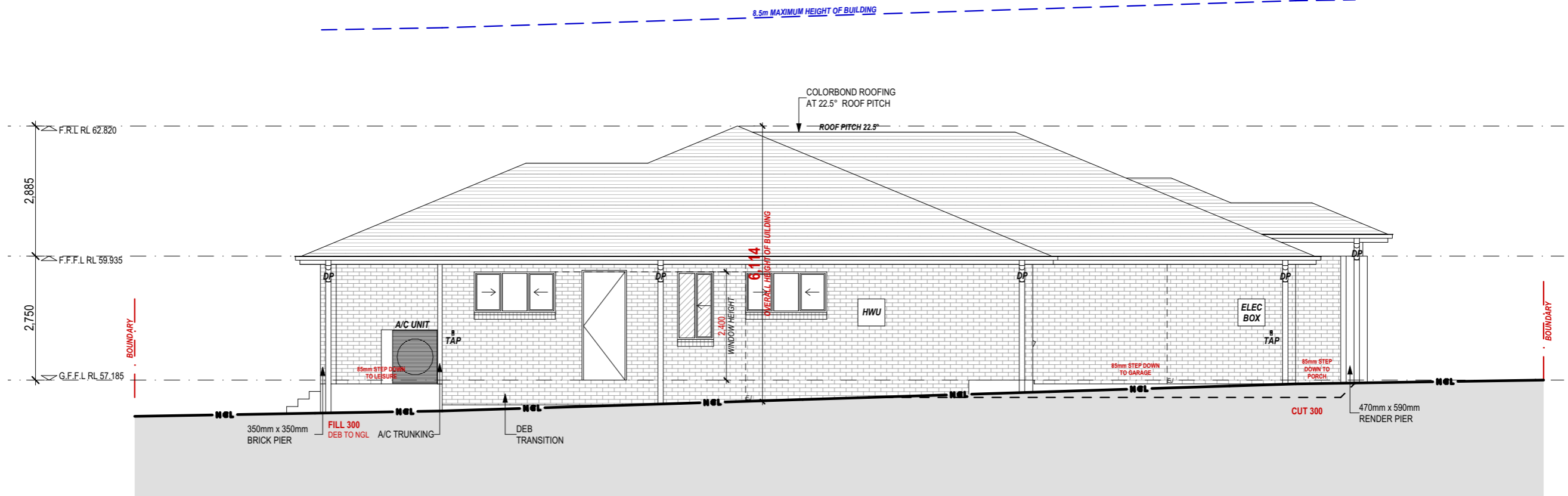
Notes:

- Guttering & Fascia to be colorbond
- All pier and parapet wall to have capping finish



RIGHT/WEST ELEVATION

1:100



LEFT/EAST ELEVATION

1:100

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







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Wall Legend

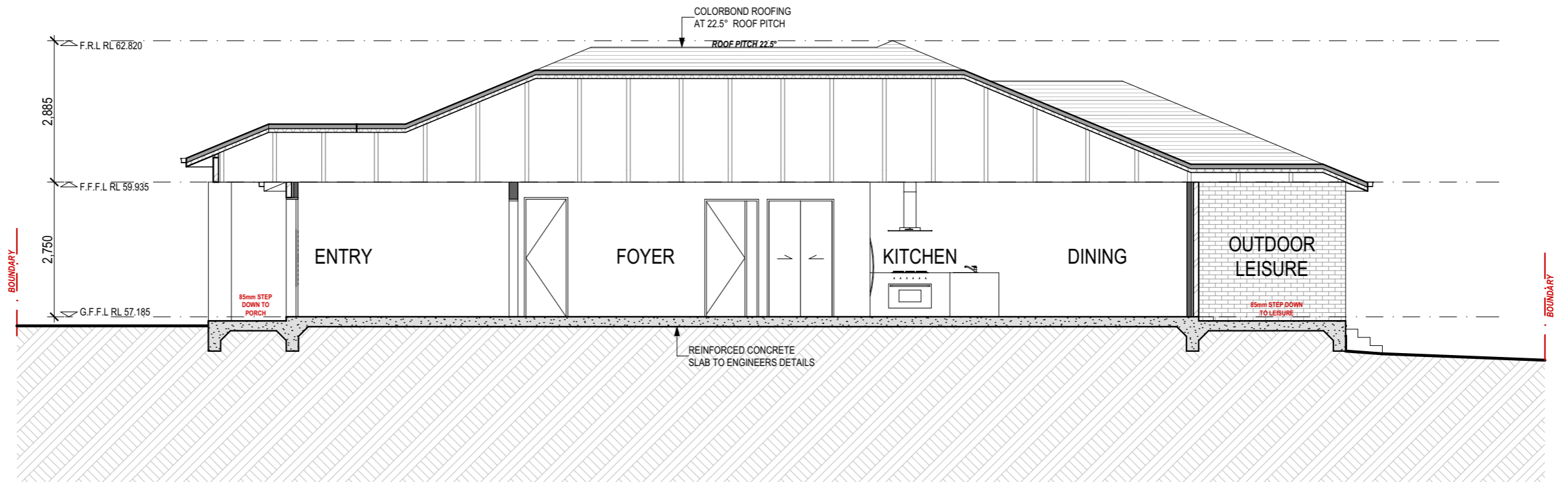
Type	Name
	Brick Veneer 240mm
	Stud Wall 90mm
	Cavity Double Brick - 270mm
	Double Brick - 230mm
	Single Brick - 110mm
	Hebel Wall 200mm
	Stud Cladding Wall - 110mm
	For Custom ???mm
	For Custom ???mm
	For Custom ???mm

Notes:

- Roof trusses to manufacturers details following roof pitch
- Provide sarking to underside of roofing
- Provide plasterboard finish to internal stud wall
- Reinforced concrete slab to engineers details
- Provide colorbond guttering & fascia
- Refer to structural plans for steel beam & post layout and size

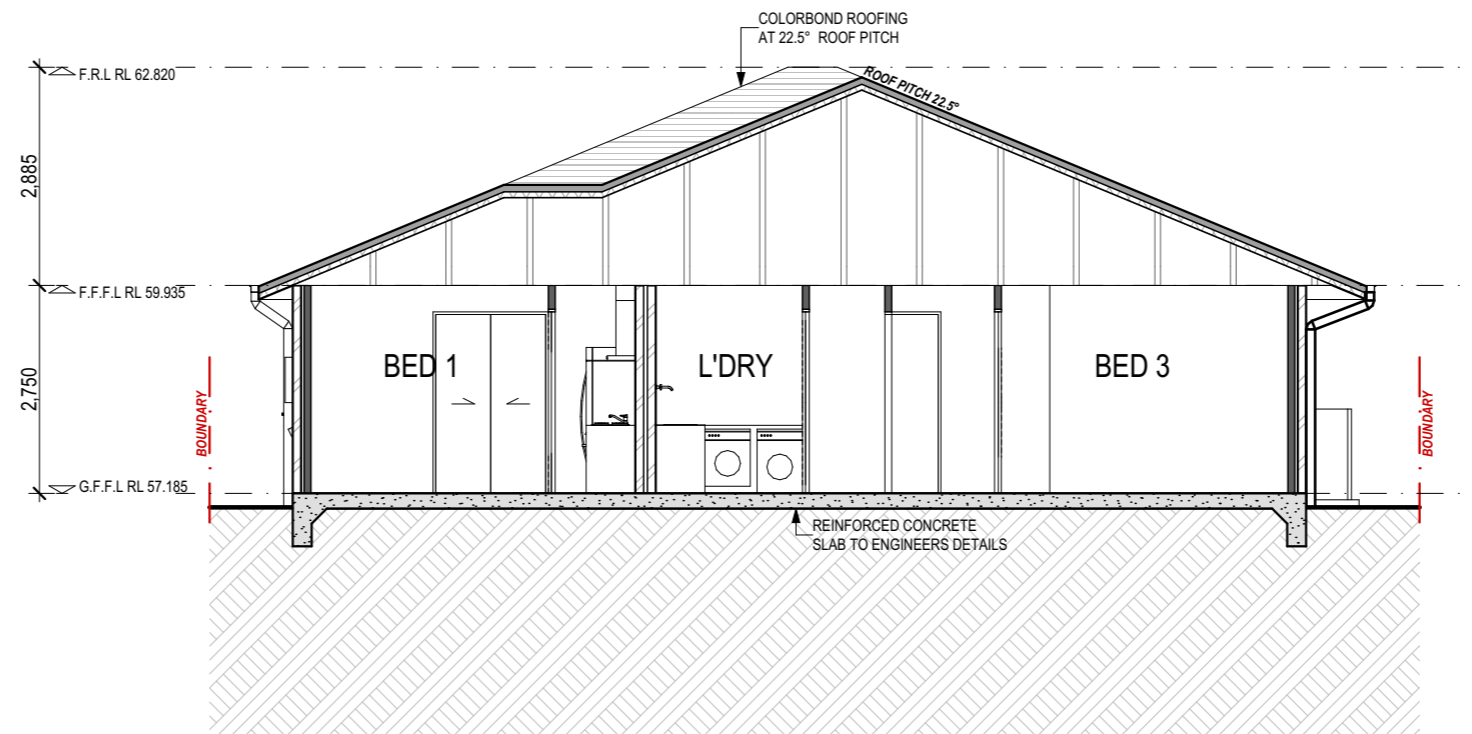
BASIX Notes:

- Provide R4.0 insulation batts to ceiling excluding garage & alfresco
- Provide R2.5 insulation to external walls excluding garage



SECTION A-A

1:100



SECTION B-B

1:100

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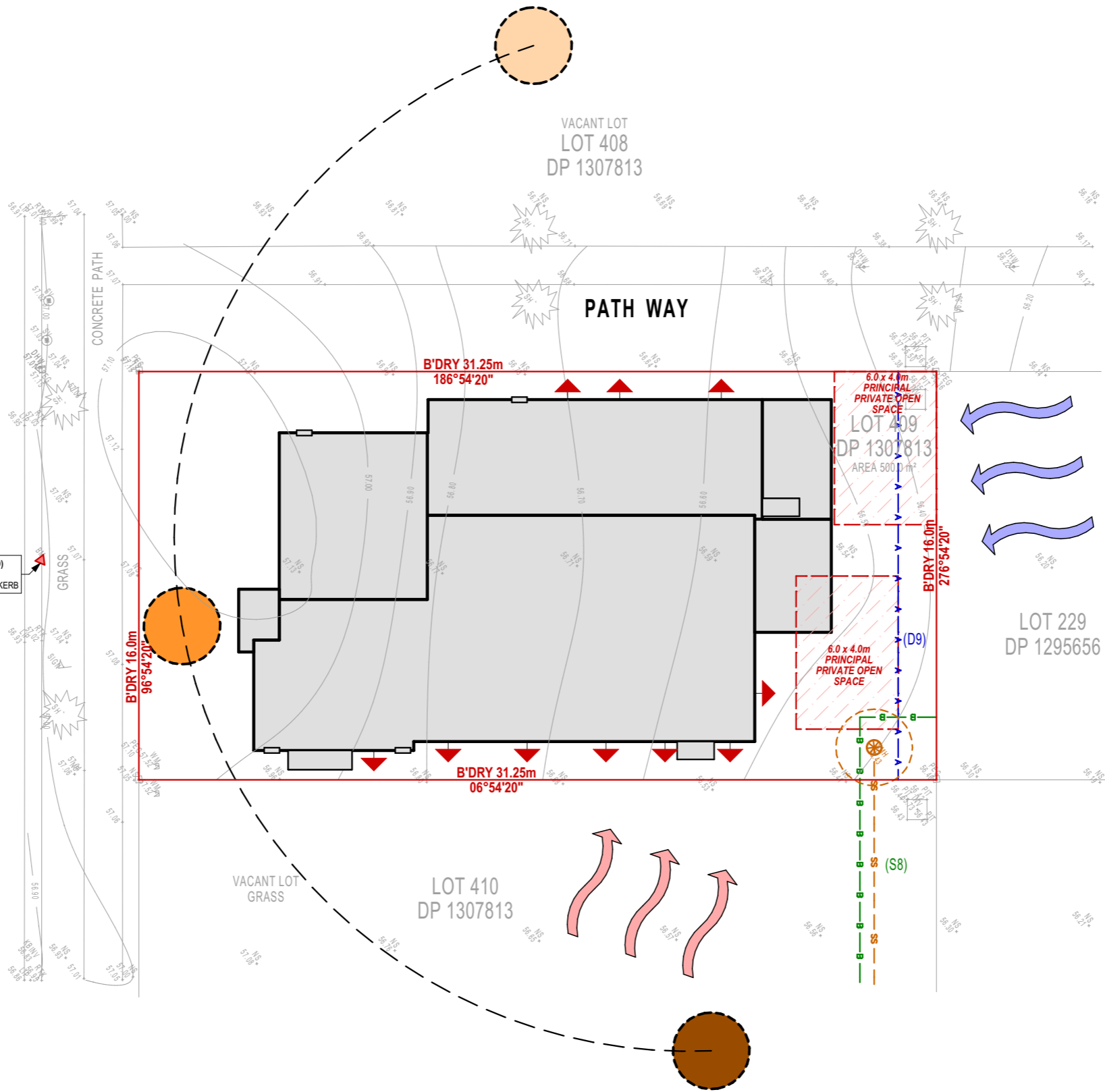
PAGE TITLE: **SECTIONS**

PAGE No.
09
 of 14



TAURUS STREET

RL 57.02 (AHD)
BENCHMARK
NAIL TOP OF KERB



SITE ANALYSIS PLAN

1:200

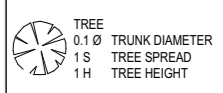
LEGEND



'H' CLASS SLAB
SUBJECT TO BOREHOLE REPORT

ANY RETAINING WALLS REQUIRED TO BE COMPLETED BY OWNERS TO MANUFACTURES SPECIFICATIONS. STORMWATER DRAINAGE TO EASEMENT

BOUNDARIES HAVE NOT BEEN SURVEYED THEY ARE SHOWN APPROXIMATE ONLY AND ARE SUBJECT TO A FURTHER SURVEY



DIAL 1100
BEFORE YOU DIG

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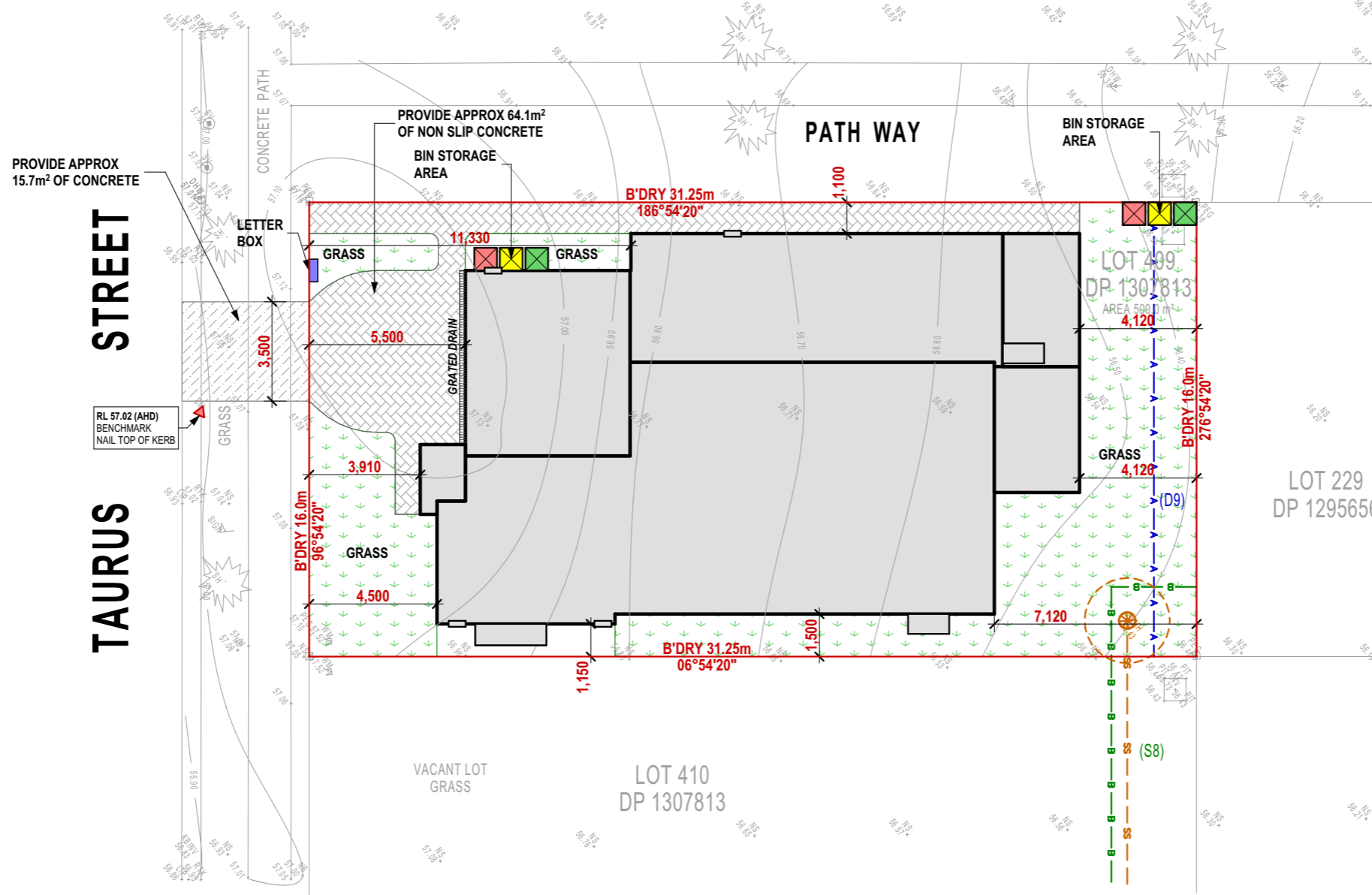
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PAGE No.
11
of 14



VACANT LOT
LOT 408
DP 1307813



DRIVEWAYS
DRIVEWAYS ARE TO BE CONSTRUCTED TO THEIR FULL WIDTH FROM THE GARAGE TO THE ROAD PRIOR TO OCCUPATION OF THE HOME.
DRIVEWAYS MUST ACCOMMODATE TWO CAR PARKING SPACES WITHIN THE PROPERTY.
THE MATERIAL AND COLOURS OF THE DRIVEWAY MUST BE CONSISTENT FOR THE FULL LENGTH OF THE DRIVEWAY AND CROSSOVER (I.E. FROM GARAGE TO KERB).
DRIVEWAYS MUST BE CONSTRUCTED OF EITHER ROOM FINISHED CONCRETE (COLOURED OR PAINTED), STENCILED OR STAMPED CONCRETE LAY PAVERS INTERLOCKING CONCRETE PAVERS/PLAIN UNCOLOURED CONCRETE IS.

NOT PERMITTED
LIGHT GREY COLOURED CONCRETE IS NOT PERMITTED THE COLOUR OF THE DRIVEWAY IS TO COMPLEMENT THE COLOUR OF THE HOUSE AND IS TO BE NOMINATED ON THE LANDSCAPE PLAN.
DRIVEWAYS ARE TO BE SUFFICIENTLY SET BACK FROM SIDE BOUNDARIES TO ALLOW EFFECTIVE PLANTING ALONG THE BOUNDARY.
DRIVEWAYS ARE NOT PERMITTED IN SOME LOCATIONS. THESE LOCATIONS ARE SHOWN ON THE RESPECTIVE LOT DIAGRAMS.

FENCING
THE COLOUR OF ALL FENCING IS TO COMPLEMENT THE PALETTE USED IN THE HOUSE FAÇADE. ALL FENCING MUST BE APPROVED AS PART OF THE BUILDING APPROVAL PROCESS.

FRONT FENCING
FENCING ALONG THE FRONT BOUNDARY IS PERMITTED, PROVIDING THAT IT COMPLIES WITH THE FOLLOWING PROVISIONS:
1. FENCING IS TO INCLUDE FACE BRICK OR RENDERED MASONRY PIERS AT A SPACING OF NO MORE THAN 3M BETWEEN PIERS. THE PIERS ARE TO BE AT LEAST 300MM BY 300MM IN SIZE.
2. THE INFILL PANELS BETWEEN PIERS ARE TO BE VISUALLY PERMEABLE AND CONSIST OF LANDSCAPING, DECORATIVE STEEL, WROUGHT IRON, TIMBER PICKETS OR MOD-WOOD PICKETS.
3. THE PIERS ARE TO BE NO HIGHER THAN 1100MM AND THE FENCING BETWEEN THE PIERS IS TO BE NO HIGHER THAN 900MM.
4. THE FENCE STYLE AND MATERIALS ARE TO BE CONSISTENT FOR THE FULL WIDTH OF THE HOMESITE.
5. IF THE FRONT FENCE IS LOCATED ON A RETAINING WALL, THE FENCE IS TO BE NO HIGHER THAN 1400MM FROM THE BASE OF THE WALL. FOR RETAINING WALLS HIGHER THAN 500MM, THE FRONT FENCE IS TO BE SET BACK FROM THE WALL BY AT LEAST 500MM.
6. FRONT FENCES CONSTRUCTED ENTIRELY OF COLORBONDI®, BAMBOO, BRUSHWOOD, TIMBER PICKETS, TIMBER PAVERS OR MATERIALS OF SIMILAR APPEARANCE ARE NOT PERMITTED. REFER TO FIGURES 2.15 - 2.17.

SIDE AND REAR FENCING BETWEEN HOMESITES
FENCING ON COMMON BOUNDARIES BETWEEN HOMESITES MUST COMPLY WITH THE FOLLOWING PROVISIONS:
SIDE FENCING IS PERMITTED BETWEEN THE FRONT BOUNDARY AND THE FENCE RETURN (I.E. THE FRONT GARDEN). THIS FENCING IS TO BE NO HIGHER THAN 0.9M AND IS TO MEET THE REQUIREMENTS FOR FRONT FENCING AS PER SECTION 2.12 (D). IF THE SIDE FENCING AND THE FRONT FENCING ARE TO BE MATCHING IN STYLE ALL FENCING BEHIND THE FENCE RETURN, INCLUDING ON THE REAR BOUNDARY AND SIDE BOUNDARY, IS TO BE NO HIGHER THAN 1.8M.
THIS FENCING IS TO BE CONSTRUCTED OF EITHER MASONRY RENDERED PANELS COLORBONDI® IN WOODLAND GREY COLOUR (OR AN EQUIVALENT PRODUCT FROM ANOTHER MANUFACTURER).

RETURN FENCING
RETURN FENCING IS THE FENCING THAT CONNECTS THE BOUNDARY FENCE TO YOUR HOME, AND MUST COMPLY WITH THE FOLLOWING PROVISIONS:
RETURN FENCING TO THE HOME IS TO BE:
A. THE SAME HEIGHT AS THE ADJOINING SIDE FENCING.
B. SET BACK A MINIMUM OF 1M BEHIND THE BUILDING FAÇADE FRONTING THE STREET AND CLOSEST TO THE HOMESITE BOUNDARY.
C. CONSTRUCTED FROM THE SAME MATERIALS AS THE FRONT FAÇADE OF THE HOME.
GATES LOCATED IN THE RETURN FENCING ARE TO BE CONSTRUCTED OF DECORATIVE STEEL, WROUGHT IRON, BRUSHWOOD OR DECORATIVE TIMBER.
GATES ARE TO BE CONSISTENT IN COLOUR WITH THE FRONT FAÇADE OF THE HOME.
COLORBONDI® (OR EQUIVALENT) RETURN FENCING IS PERMITTED WHERE THE DISTANCE FROM THE HOME TO THE BOUNDARY IS LESS THAN 3M AND THE FENCE RETURN IS LOCATED AT LEAST 500MM BEHIND THE BUILDING.

CORNER HOMESITE FENCING & FENCING ADJACENT TO OPEN SPACE
FENCING ON BOUNDARIES OF CORNER HOMESITES IS TO COMPLY WITH THE FOLLOWING PROVISIONS:
FRONT BOUNDARY FENCING ON CORNER HOMESITES IS TO BE IN ACCORDANCE WITH SECTION 2.12 (D) (ON REAR BOUNDARIES, THE COLORBONDI® (OR EQUIVALENT) FENCE IS TO STOP 2.5M BEHIND THE BUILDING SETBACK IN ACCORDANCE WITH FIGURE 2.21. FORWARD OF THIS POINT THE FENCE IS TO BE CONSTRUCTED OF FACE BRICK, RENDERED BRICK OR RENDERED BLOCKWORK WITH OR WITHOUT VISUALLY PERMEABLE PANELS OF LANDSCAPING, DECORATIVE STEEL, WROUGHT IRON, MODULAR WALLS OR DECORATIVE TIMBER.
FENCING THAT IS POSITIONED ALONG THE LOT BOUNDARY THAT ADJOINS A ROAD RESERVE IS PERMITTED UP TO 1.8M IN HEIGHT FOR NO MORE THAN 20% OF THE LENGTH OF THE HOMESITE ALONG THE ROAD FRONTAGE. THIS PROVISION IS MEASURED IN ACCORDANCE WITH FIGURE 2.22 AND IS ONLY PERMITTED ON ONE STREET FRONTAGE PER CORNER HOMESITE. FENCING ON CORNER HOMESITES IS NOT TO IMPEDRE THE SIGHT DISTANCE FOR THE TRAFFIC ON ADJACENT ROADS FENCING ABUTTING A ROAD RESERVE OR PARK IS TO BE CONSTRUCTED OF:
A. FACE BRICK, RENDERED BRICK OR RENDERED BLOCKWORK
B. FACE BRICK, RENDERED BRICK OR RENDERED BLOCKWORK PIERS WITH INFILL PANELS OF LANDSCAPING, DECORATIVE STEEL, WROUGHT IRON, DECORATIVE TIMBER, RENDERED PANELS OR MODULAR WALLS WHERE FENCING ABUTTING A ROAD RESERVE IS ON A RETAINING WALL, THE OVERALL HEIGHT OF THE FENCE AND WALL IS NOT TO EXCEED 1.8M. IN THE CASE OF A RETAINING WALL HIGHER THAN 500MM, THE FENCE IS TO BE SET BACK AT LEAST 500MM FROM THE WALL.

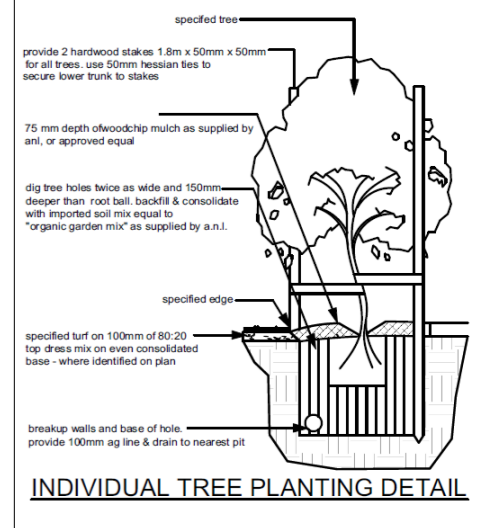
WATERTANKS AND OTHER FIXTURES
WATERTANKS AND OTHER FIXTURES ARE TO BE LOCATED TO REDUCE THEIR VISIBILITY FROM THE STREET, AND THE FOLLOWING PROVISIONS APPLY:
WATERTANKS ARE TO BE LOCATED BEHIND THE FENCE RETURN.
SOLAR PANELS ARE NOT TO BE PLACED ON ANY PART OF THE ROOF THAT IS PROMINENT WHEN VIEWED FROM THE STREET.
AIR CONDITIONING CONDENSER UNITS ARE NOT TO BE VISIBLE FROM THE STREET. ROOF MOUNTED AIR CONDITIONERS ARE NOT PERMITTED.
SATELLITE DISHES MUST NOT BE LARGER THAN 900MM IN DIAMETER. SATELLITE DISHES MUST BE LOCATED AT THE REAR OF HOMES.
EXPOSED SANITARY PIPEWORK IS NOT PERMITTED ON STREET-FRONTING FAÇADES.
GAS METERS SHOULD BE SCREENED TO MINIMIZE VISIBILITY FROM THE STREET.
WHERE POSSIBLE, DOWNPIPES SHOULD BE AVOIDED ON THE FRONT FAÇADE.
CLOTHESLINES ARE TO BE LOCATED AT THE REAR OF THE HOME OR SCREENED TO ENSURE THEY ARE NOT VISIBLE FROM THE STREET.

LETTERBOXES
THE COLOUR OF THE LETTERBOX IS TO BE CONSISTENT WITH THE FRONT FAÇADE OF THE HOME. NO PRIMARY BOLD COLOURS ARE PERMITTED.
THE LETTERBOX IS TO BE CONSTRUCTED OF EITHER STONE MASONRY GLASS REINFORCED CONCRETE (GRG) THAT HAS THE APPEARANCE OF STONE OR MASONRY.

LANDSCAPING
IN ORDER TO CREATE ATTRACTIVE STREETS CAPES, IT IS IMPORTANT THAT GARDENS ARE LANDSCAPED TO A HIGH STANDARD AND THAT THE LANDSCAPING IS COMPLETED PROMPTLY AFTER THE HOME IS BUILT. THE FOLLOWING PROVISIONS RELATING TO LANDSCAPING APPLY:
NO MORE THAN 50% OF THE HOMESITE BETWEEN THE HOUSE AND THE STREET IS TO BE PAVED. ALL LANDSCAPING WITHIN THE FRONT AREA OF THE HOMESITE IS TO BE COMPLETED WITHIN 3 MONTHS OF THE HOME BEING OCCUPIED. THE USE OF NATIVE PLANTS THAT REQUIRE LESS WATERING IS ENCOURAGED.
BEDS, PAVING, SHRUBS AND TREES
HOMEOWNERS ARE ENCOURAGED TO KEEP THEIR GARDENS WELL MAINTAINED. ADVICE ON THE MAINTENANCE OF GARDENS CAN BE OBTAINED FROM THE USE OF TIMBER RETAINING WALLS IN FRONT OF THE HOME IS NOT PERMITTED. THE USE OF SYNTHETIC TURF IS NOT PERMITTED IN THE FRONT GARDEN, NATURE STRIP, OR ANYWHERE THAT IS VISIBLE FROM THE STREET.

LANDSCAPE PLAN

1:200



Botanical Name	Common Name	Pot Size	Plant Qty	Height	Spread	Native/ Exotic
Trees						
Elaeocarpus reticulatus	Blueberry Ash	45ltr	2	10m	6m	Native *
Shrubs						
Acmena smithii 'Minor'	Lilly Pilly	200mm	11	2m	1.5m	Native *
Phormium tenax	NZ Flax	200mm	4	1m	1m	Exotic
Westringia fruitcosa	Coastal Rosemary	200mm	9	1m	1m	Native *

LEGEND

ELAEOCARPUS
RETICULATUS
- BLUEBERRY ASH
- 15m HEIGHT

PHORMIUM
TENAX
- NEW ZEALAND FLAX
- CLUMPING PLANT

SHRUBS -
ACMENA
SMITHII
- LILLY PILLY
SHRUB

GRASS/
TURFED
AREA

GARDEN
BED

PAVED
AREA

LETTER BOX
- MUST BE INCORPORATED INTO THE DESIGN AND MUST COMPLEMENT THE HOUSE DESIGN. LETTER BOX TO COMPLY WITH AUSTRALIA POST REQUIREMENTS

BIN STORAGE AREA
- APPROX POSITION OF BIN STORAGE AREA

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PAGE TITLE: **LANDSCAPE PLAN**

PAGE NO.
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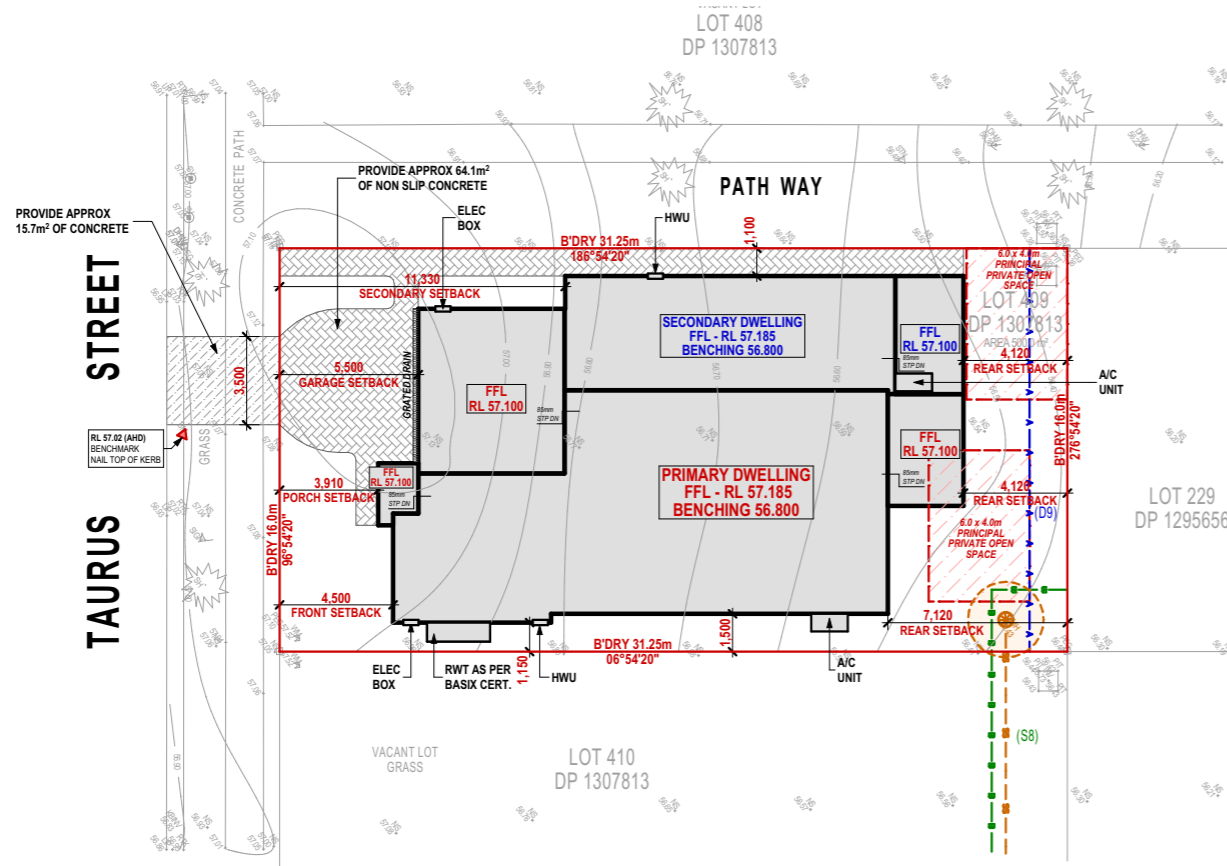
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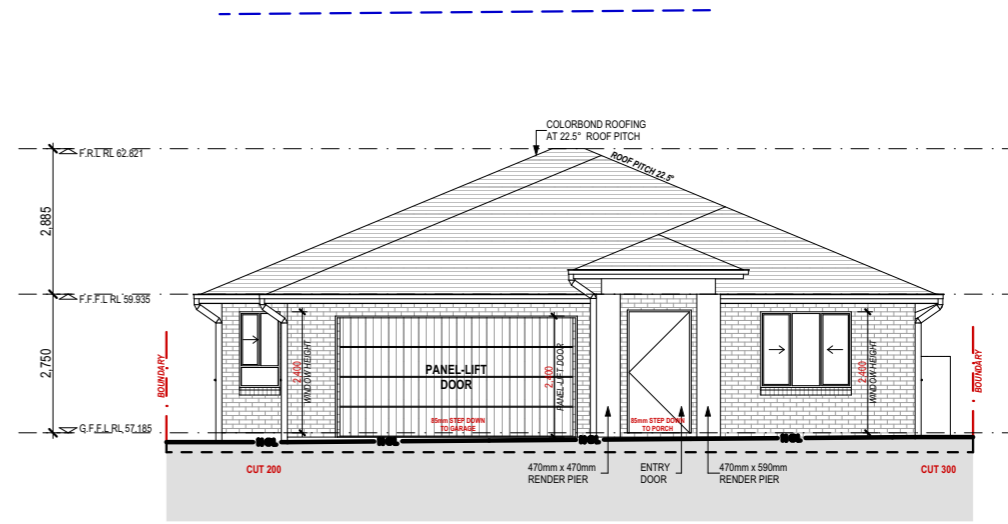
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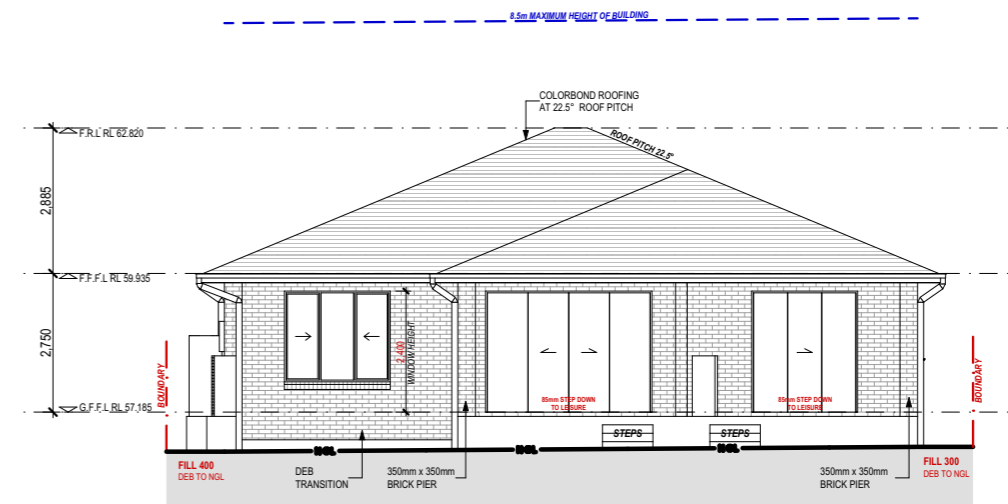
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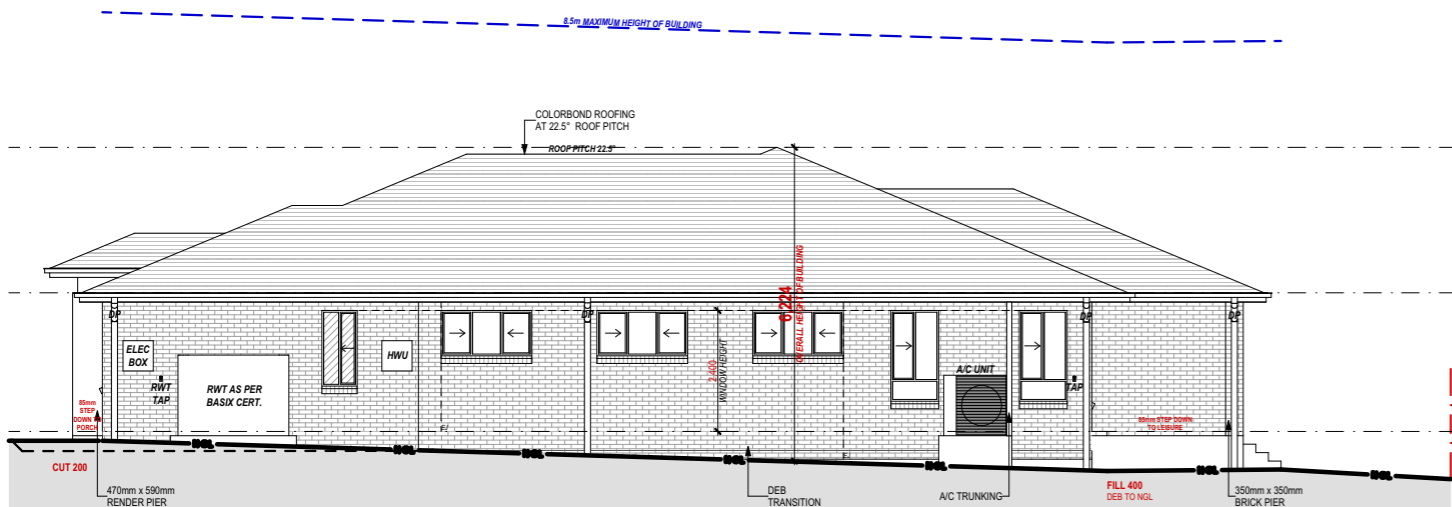
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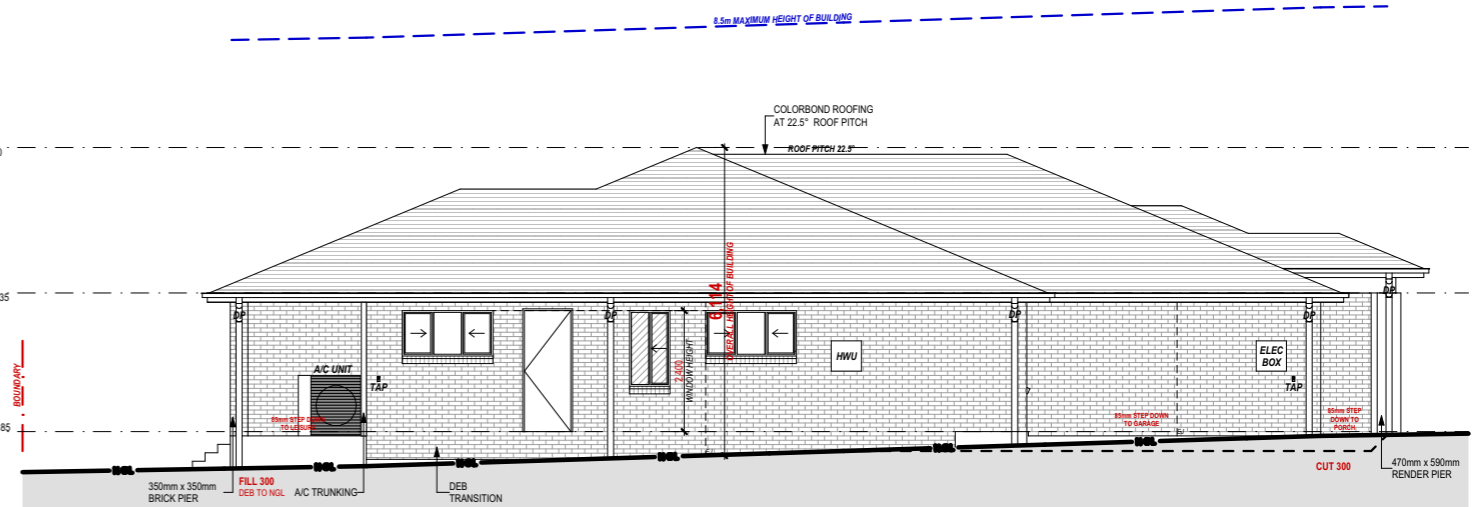
FRONT/NORTH ELEVATION
1:150



REAR/SOUTH ELEVATION
1:150



RIGHT/WEST ELEVATION
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LEFT/EAST ELEVATION
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