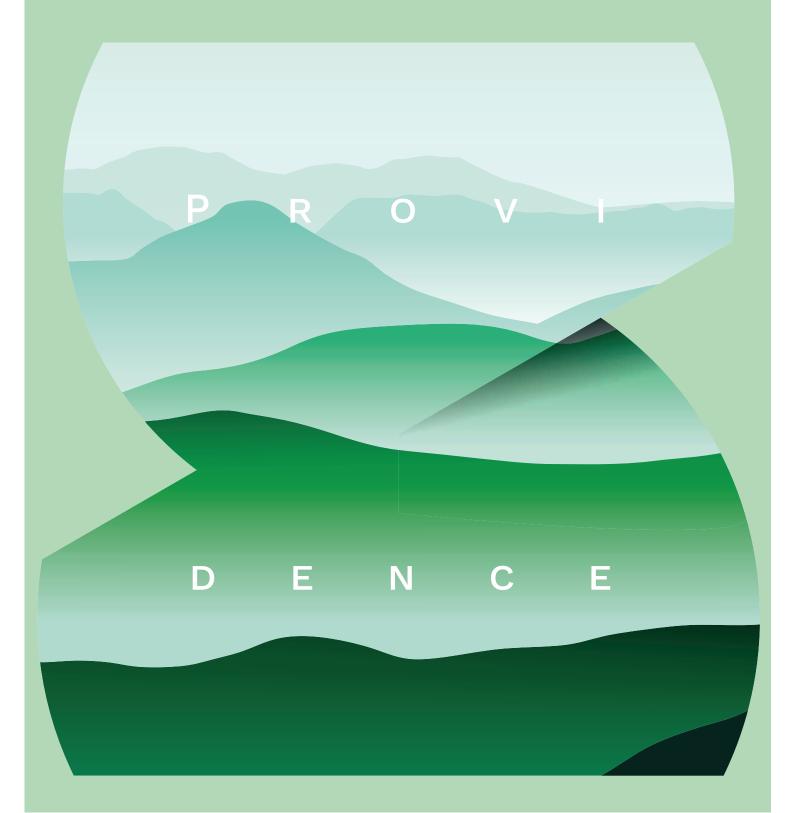
PROVIDENCE EAST



Design Essentials



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The community vision

The vision for Stockland Providence

Providence is a masterplanned community located in the heart of the Ripley Valley in South East Queensland. Surrounded by nature, Providence enjoys a position that boasts plenty of space to grow while still being close to it all. Nearby hubs Ipswich City and Springfield are only 15km* away and the bright lights of Brisbane just a 43km* drive.

With a range of amenities already accessible, including two established schools, you'll discover that Providence is a warm-spirited, fast-growing, welcoming place with a strong sense of community. Providence also provides a wide range of market-leading housing choices in a variety of community settings.

The Design Essentials outlined in this document allow the implementation of key design principles to deliver a strong sense of place and community.

Providence provides an incomparable range of lifestyle choices, providing an outstanding place set in the signature landscape with memorable landmarks where people will love to live. A place that people will be proud to call home.

*Approximately

Design Essentials



Introduction

Stockland's commitment and objectives

Stockland's commitment to you is to encourage quality urban design and development, to deliver a better way to live. Stockland's objective is to create a quality living environment that is centred around a strong sense of community and provides a variety of homes to suit a range of lifestyles.

It is important that the design of your home is in keeping with the Design Essentials outlined in this document. They have been created to:

- Encourage visually-appealing and cohesive streetscapes that protect your investment
- Promote environmentally responsive development
- Help you get the best out of your homesite
- Outline the process to get your home approved
- Assure you that everyone will contribute to achieving a strong neighbourhood character and standard of housing
- Promote a contemporary approach to design that responds to the local climate and context, and 'The Community Vision'.



Design approval

Submission requirements

In order to build, you must apply to, and have an application package approved by, Stockland's Covenant Specialist. Design Approval by Stockland does not constitute development or building approval or compliance with building regulations. Upon obtaining Design Approval from Stockland, a building approval must be obtained from the local council or a private Building Certifier before construction can commence.

The process

Stockland's Covenant Specialist will endeavour to assess proposals in the shortest possible time, generally within 10 business days of receiving all required information for the application. Approved plans will be stamped approved, copied and returned to the applicant or their agent. The progress of the home and landscape construction will be monitored by Stockland to ensure that it conforms with the approved design.

All requests for comment from Stockland's Covenant Specialist, or any other queries, should be directed to the Stockland Covenant Specialist.















Review

Review Design Essentials and Contract of Sale (including the MCP).

Check

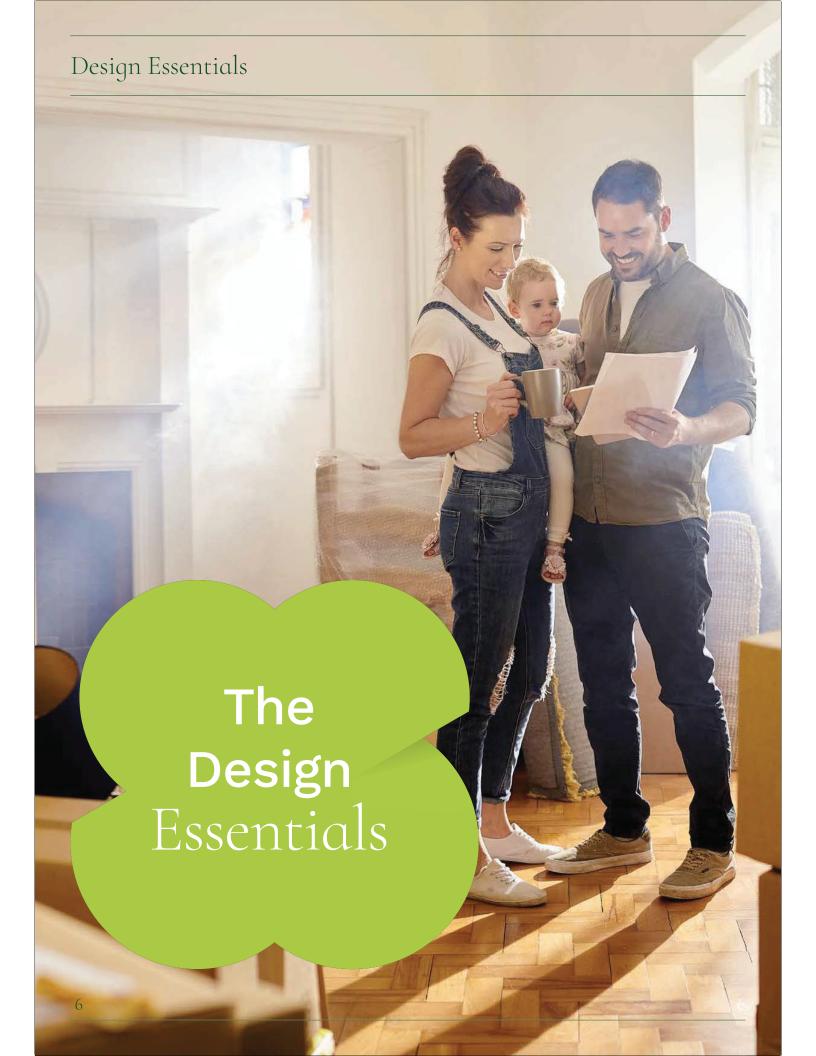
Check for Special Requirements unique to your community (Stockland will identify these for you).

Design application

Submit 'House Design Application' to Stockland for endorsement through our website builderportal. stockland.com.au

Building permit application

Submit Building
Permit Application
including Stocklands'
Design Approval to an
accredited Building
Surveyor to obtain a
building permit and
proceed to construction.
Town Planning approval
from council may also
be required.







Siting and servicing your home

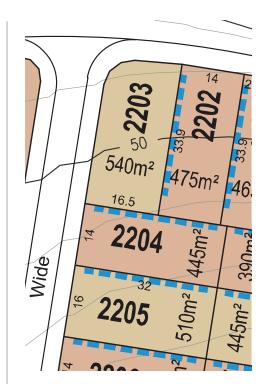
1.1 Minimum setbacks

The minimum boundary setbacks and zero lot boundaries must be as per the Plan of Development provided by Stockland within your land contract of sale.

Please note: all setbacks are measured to the wall.

1.2 Surrounding services

House construction and site works must not impact, damage or alter the surrounding levels of services installed within the council verge. If any works (such as filling or landscaping) result in the need for a service to be rectified by Stockland or utility provider, this rectification cost will be passed on to the property owner.



Legend

General details

Site Boundary

■ ■ Stage Boundary

***** Multiple Residential

Multiple Residential (Loft Home)

Subject to Separate Application/s

Bus Stop

BAL 12.5 Category

BAL 19 Category & Covenant Area

Bushfire Hazard Area 100m buffer

Road

Acoustic Requirements (see condition 58)
 Indicative Bin Pad Location

Allotment details

Optional Built to Boundary Wall

No Vehicle Access

Primary Frontage

SUCE Centre Edge Lot

🔭 Nominated Villa Allotments

Design Essentials



The style of your home

2.1 Home style

Homes are to be constructed to reflect contemporary Queensland architecture and to consider the climatic conditions of the area and the estate's unique location.

2.2 Roof pitch

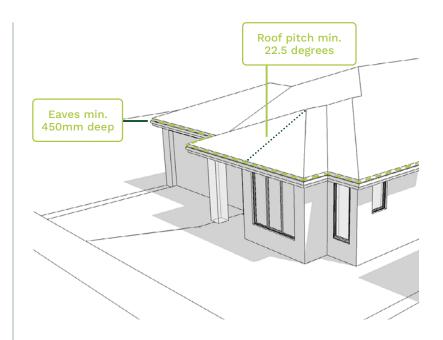
Roofing must be of a scale and form representative of contemporary Queensland architecture.

Hip and gable roofs must have a minimum pitch of 22.5 degrees.

Skillion roof planes must be a minimum of 15 degrees.

2.3 Eaves

- All hipped and gable roofs must have eaves overhanging by a minimum 450mm (excluding fascia and gutter) visible from the street or public areas.
- Eaves are encouraged to assist with shading of windows, minimising heat gain during the day, and helping to moderate the internal temperature of the home.
- Where the design is contemporary and does not allow for eaves, the use of awnings and/or sunshade materials is strongly encouraged where there is a window to improve energy efficiency.





✓ Contemporary facade





How your home addresses the street

3.1 Front door facing the street

Your home must have a front door facing the street and must incorporate either a porch, portico or verandah that is:

- A minimum under roof area of 4m² and 1.5m depth; and
- Adequately covered, clearly defined and visible from the street.

3.2 Visibility

The facade area (excluding the garage door) facing a street or public area is to include sufficient glazing (minimum 10%) to allow for passive surveillance of the property and include a front door.

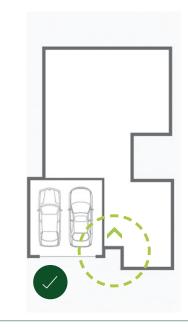
3.3 Front facade articulation

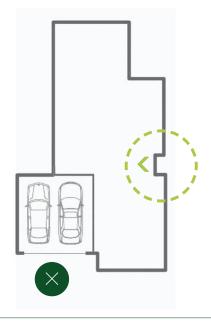
Walls may be up to 7.5m long before a change in setback and eave line of at least 450mm is required.

3.4 Secondary street facade

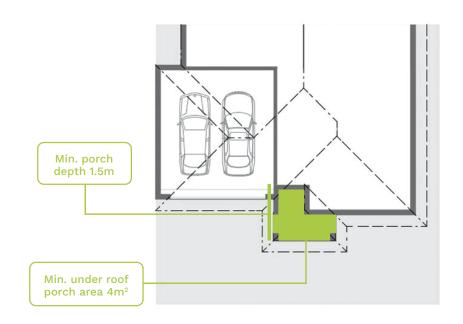
On the side wall that faces the secondary street (including facades visible from road reserves, easements, public walkways or parks) no straight section of the wall is to be longer than 8m.

A step of at least 450mm is to be incorporated to break up these sections and to provide interest to the facade along the secondary street.





Front door facing the street



Porch, portico or verandah size

How your home addresses the street

3.5 External materials

All external materials and colours are to be submitted to Stockland for approval and must reflect contemporary Queensland architecture.

- Two (2) contrasting materials or colours must be applied to the front and secondary street facade of the house.
- No one material or colour can be more than 80% of the facade area (excluding windows, doors, roof gables and infills).
- Face brickwork is only permitted to 50% of the front and secondary street facade of the home.
- Unfinished 'commons' and double height bricks are not permitted.

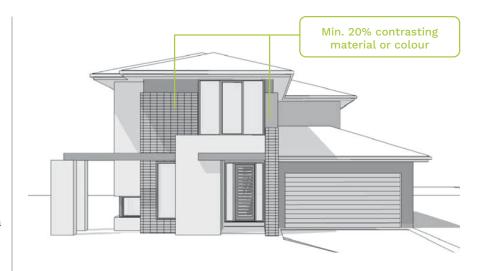
3.6 Roof colours

As a positive energy efficiency requirement, a 'cool roof' policy has been implemented at Providence. This policy requires roof colours to meet the criteria of a solar absorbency rating of less than 0.5.

Colorbond and flat tile roofs are permitted. No other roof tile will be accepted.

Roof materials must not be: unfinished, reflective, galvanised, zinc, fibre cement or tray deck sheeting. Please refer to the Approved Roof Colour Palette on page 27.

Note: Alternative shades that have not been specified on the approved colour palette that meet the solar absorbency rating of less than 0.5 will be assessed on design merit.



- Front street elevation materials and colours continue for all facades visible to the street
- No one material or colour can be more than 80%

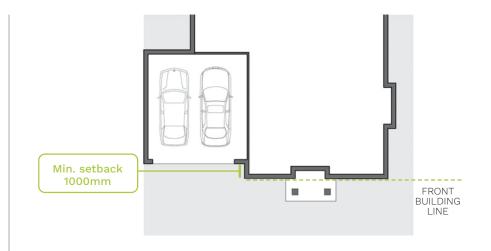


3.7 Garages

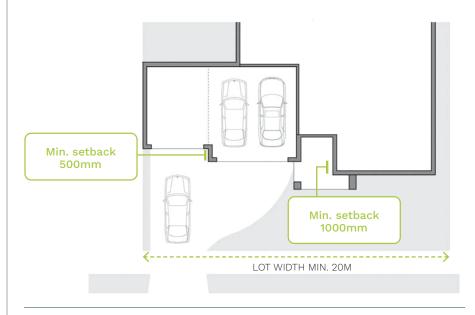
- Freestanding or attached carports and garages must include a roof design and design features that are consistent with the form and materials of the home.
- All garages are required to be recessed a minimum of 1000mm from the front building line[^] of the home.
- If the design is double storey, garages must be recessed 1m from the upper level building line.^
- Where a triple garage is to be constructed, the third garage must be set back a minimum of 500mm from the other garage doors.

3.8 Double garages on villa lot

If the proposed design has a double garage on a villa lot, please refer to the Plan of Development (POD) for additional requirements. Please discuss this with your builder and certifier to ensure this meets all requirements set out in the POD.



Double garages



Triple garages

[^]The front building line of the home is defined as a solid wall on the front facade of the home. A pier, nib wall, portico or open structure will not be permitted as a solid wall of the home.

Front garden landscape



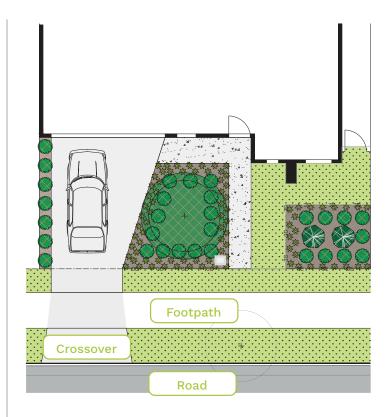
Front garden landscape

Legend

4.1 Extent of landscaping

Landscaping is a fundamental element in creating quality streetscapes and assists with providing a cohesive link between the home and the street.

- A minimum of five (5) plants within the front of the property;
- One (1) native feature tree that is a minimum of 1.5m at time of planting. Examples of native species can be found on page 22 of the Design Essentials.
- Hardscape such as decorative pavers/stones or pebbles are encouraged but should not exceed 20% of the front yard.
- Turf is to be applied to the remainder of the front yard between the front building line and kerb line, except where an alternative landscape treatment is provided. Synthetic/artificial turf is not permitted.
- All plants and trees must be installed adjacent to fence lines, pathways, driveways and the front building line of the home.
- All garden beds must be edged and mulched. Edging with raw materials (e.g. timber) is not permitted.
- Landscaping must be within the lot boundary only. Planting or altering the nature strip is not permitted, and will need to be rectified at the owner's cost.



Lot Boundary Property Boundary Garden Edging Pavement Pavement Driveway Small Shrub Planting & Mulch Turf Letter box

Example proposed landscape plan. Garden beds planted adjacent to front building line, front boundary, fence lines and driveway.

Planting is not permitted to the council verge.

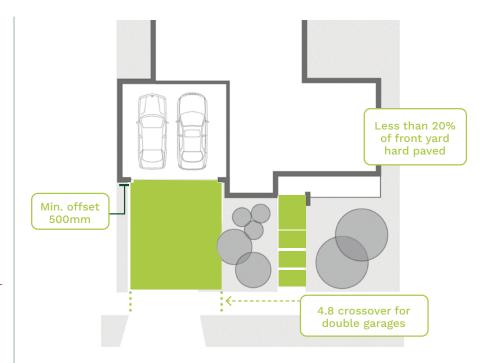


4.2 Landscaping bond

All landscaping to the front of the property is to be completed within 3 months of handover from the builder. Once all landscaping and fencing works have been completed the customer may apply for their landscaping bond as outlined in their land contract. The application form is attached to the back of the design guidelines.

4.3 Driveways

- Driveways are to be offset at least 500mm from the nearest side boundary. A landscape buffer strip is to be provided between the driveway and the side boundary.
- Driveways must not be constructed from plain concrete.
- Crossover is limited to a maximum width of 40% of the road frontage or 4.8m, whichever is the lesser.
- Driveway and crossover are to be completed prior to occupation.
- Parking areas and hardstand materials are to be designed so that they integrate with the landscape concept for the front yard and overall design of the home.
- For villa lot crossover requirements, please refer to the POD.





Fencing and boundaries



Fencing and boundaries

5.1 Front fencing

All front fencing is required to be displayed on the landscaping and fencing plans submitted to Stockland for Covenant approval prior to construction.

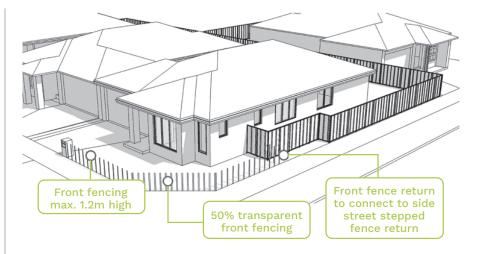
Solid fencing is permitted up to 1.2m in height and must apply an element of transparency (sections or whole fence).

The front fence must return a minimum of 1m behind the front building line^ to meet the side fence return.

All timber fencing must be painted in a colour that complements your home (stain is not permitted).

Masonry is to be rendered and painted with contrasting feature elements

Front fencing must not include any unfinished materials.





5.2 Mandatory side and rear fencing

Fencing constructed along the side and/or rear boundaries must be:

- A maximum of 1.8m in height.
- Colorbond fencing will be accepted to side and rear boundaries only and must not be visible from the street. Colorbond fencing in the colour 'Monument' must be installed a minimum of 1m behind the front build line and clearly noted on your landscaping plan when submitted for covenant approval.
- Where timber material is used, any section visible from the street is to have a painted finish.
- Where the side boundary forms the rear boundary of an adjoining lot, the side fence may continue to the front of the lot.
- Timber fencing is only permitted forward of the build line if installed directly in front of a 500mm retaining wall. The fence must not exceed 1200mm in height and be painted in a complementary colour to the dwelling. Proposed fencing and colour must be clearly marked on your landscaping plan.

Please discuss proposed fencing with your adjoining neighbours prior to construction and refer to the relevant Neighbourhood Disputes (Dividing Fences and Trees) Act 2011 legislation and guidelines in your state and local government area.



- Front fence 50% transparent.
- Front fencing complements style and colour scheme of home



Front fence 50% transparent and complements style of home



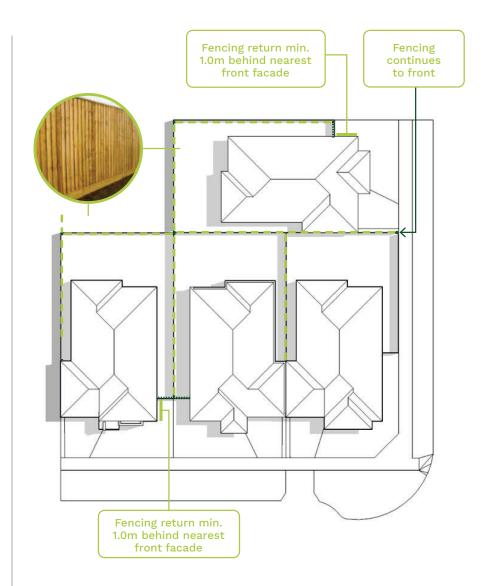
Front fence not transparent and does not complement the style and colour scheme of the home

Fencing and boundaries

5.3 Retaining walls

- Retaining walls visible from the street or public space must be constructed from stone or masonry.
- Any proposed retaining wall over 1m in height must comply with council regulations.

Please discuss proposed retaining walls with your adjoining neighbours prior to construction to ensure that the height of each retaining wall is appropriate to suit the finished ground levels on each adjacent block.



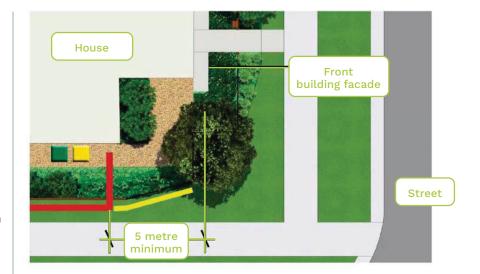


5.4 Corner fencing by Stockland

To create a neighbourhood streetscape, it is important for side fencing on corner lots to not only provide a dwelling with privacy but also to present well to a public street.

Stockland has committed to constructing developer fencing for all corner lots in Providence.

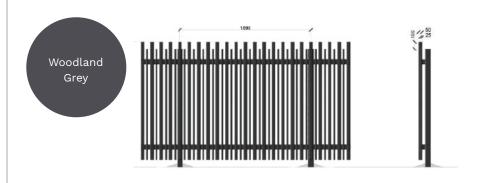
Developer fencing will be painted in Colorbond Woodland Grey.



Legend

- Indicative 1800mm-high fencing
- Transparent fencing may be required in addition to the Type A fencing at the discretion of the Stockland Covenants team

Type F8 fencing must have minimum 5m setback from front facade



Corner fencing by Stockland

How to make additions to your home



How to make additions to your home

6.1 General requirements

Any additions, fixtures, equipment, sheds, outbuildings or pergolas must be located to the rear of your home out of sight from your street or any public reserve.

This includes (but is not limited to) satellite dishes, external hot water services, solar hot water systems with roof-mounted tanks, water tanks, spa pumps, heating and cooling units, rubbish disposal containers, rainwater tanks, washing lines, and solar pool heating coils.

Solar panels for heating water or generating energy are exceptions to this requirement.

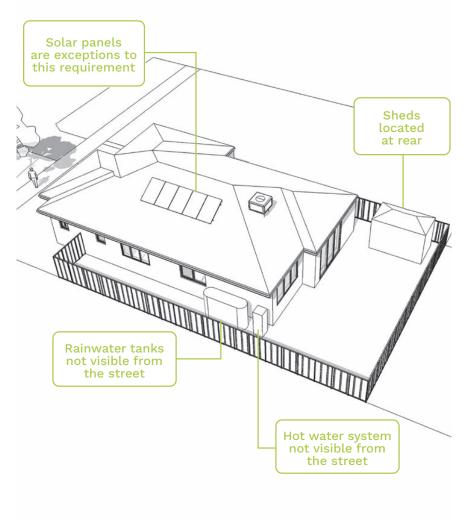
6.2 Bin storage

Rubbish bins must be screened and out of public view.

Bin location and storage area is to be noted on plans at time of submission. Dedicated bin storage is required behind the front building line of the home behind the side fence return and must be detailed on the plan.

6.3 Construction obligations

- Provide a skip bin or skip bag on site for the duration of the construction period.
- Site cleanliness is to be maintained.
- Where the developer has constructed a fence, entry statement or retaining wall, it is to be maintained by the owners to the standard to which it was constructed.





6.4 Presentation and maintenance of your property

An owner/builder must not permit, cause or authorise any damage to:

- Any adjoining lot and/or
- Any other part of the Providence community, including but not limited to footpaths, kerb and channel, roadways and/or landscaping.
- Where such damage occurs and Stockland is required to undertake repairs, the owner/builder of the lot will be responsible to pay the cost of these works.
- Your property must be kept in a clean and tidy state at all times.
- Silt fences and rubble driveways are in place and must be maintained during the total construction of your home.
- Where rubbish, soil and grass cuttings are washed or blown from your lot and Stockland determines it is necessary to remove this rubbish, you will be responsible to pay for the cost of the removal.
- The owner/builder must maintain an industrial waste bin or fully wrapped cage bin on site at all times.
- The bin is to be established on site as soon as construction has commenced. This waste bin must be regularly emptied and must be covered when full, so no material escapes the waste bin.
- The site must be cleared of rubbish or building material on a daily basis with this rubbish and building material placed into the waste bin each afternoon when building activity has finished for the day.
- No excavated material shall be placed on any adjoining lot or public area.
- When the home is constructed and completed, the owner is responsible for maintaining the front and secondary street frontages. All turf and garden areas are the owner's responsibility and are to be kept mowed and maintained.

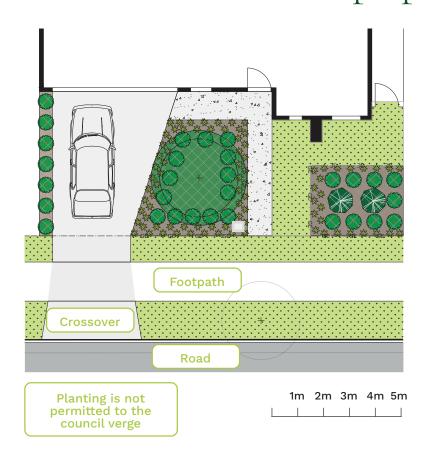




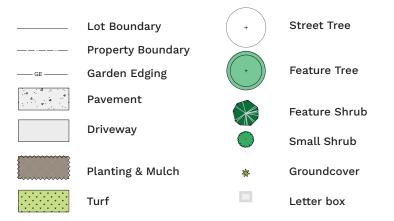
Landscaping concept plans



Landscaping concept plans



Legend

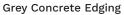


Typical front landscape



Garden edging







Charcoal Concrete Edging



Treated Pine Timber Edging

Mulch



Cypress Pine Woodchip



Medium Hoop Pine Mulch



Tea Tree Mulch

Materials selection

Landscaping concept plans

Plant selection

Australian Native Mix

Feature trees:



Brachychiton acerifolius



Waterhousea floribunda Weeping Lilly Pilly



Corymbia ficifolia



Grevillea baileyana

Small shrubs:

Feature shrubs:



Grevillea 'Robyn Gordon' Grevillea



Grevillea



Grevillea 'Orange Marmalade' Acacia fimbriata 'Crimson Blush'



Banksia spinulosa Golden Candle Sticks



Callistemon 'Little John' Little John Bottlebrush



Melaleuca thymifolia Honey Thyme Myrtle

Groundcovers:



Chrysocephalum apiculatum Lomandra hystrix





Ficinia nodosa



Grevillea x 'Cooroora Cooroora Cascade Grevillea



Casuarina glauca 'Cousin It'



Plant selection

Foliage Colour Mix

Feature trees:



Cupaniopsis anacardioides



Elaeocarpus eumundi Eumundi Quandong



Buckinghamia celsissima



Tristaniopsis laurina Luscious Tree

Small shrubs:

Feature shrubs:



Callistemon 'Wilderness White' Bottlebrush 'Wilderness White'



Grevillea 'Fire Sprite' Grevillea



Dodonaea viscosa Broadleaf Hopbush



Westringia fruticosa Coastal Rosemary



Melaleuca 'Claret Tops' Claret Tops



Grevillea 'Golden Lyre' Grevillea Golden Lyre

Groundcovers:



Liriope muscari Lily Turf



Trachelospermum jasminoides Star Jasmine



Tulbaghia violacea Society Garlic



Rosmarinus officinalis prostratus Prostrate Rosemary



Lomandra hystrix Green Mat Rush

Landscaping concept plans

Plant selection

Subtropical Mix

Feature trees:



Brachychiton acerifolius Illawara Flame Tree



Waterhousea floribunda Weeping Lilly Pilly



Atractocarpus fitzalanii Native Gardinia



Tristaniopsis laurina

Small shrubs:

Feature shrubs:



Doryanthes excelsa Spear Lily



Alpinia nutans Cardomon



Zamia furfuracea Cardboard Palm



Philodendron 'Xanadu' Xanadu



Carissa macrocarpa Desert Start



Pittosporum tobira 'Miss Muffet' Miss Muffet

Groundcovers:



Liriope muscari Lily Turf



Dianella caerulea Blue-flax Lily



Myoporum ellipticum Coastal Boobialla



Hymenocallis littoralis Spider Lily



Scaevola aemula Fairy Fan-flower





Environmental sustainability

8.1 Energy efficiency and lighting

All dwellings are encouraged to be designed and built to achieve reductions in greenhouse gas emissions in line with the relevant government regulations.

It is encouraged that all internal light fittings such as downlights, pendants, wall mounts etc allow for compact fluorescents or LED.

External light fittings must not result in excessive light spill.

8.2 Passive design

Locate indoor and outdoor living spaces to the north of the dwelling to facilitate solar access in winter months.

Where possible, provide adequate shading such as retractable shading devices, trees, tinted glass etc to prevent significant summer solar heat gain.

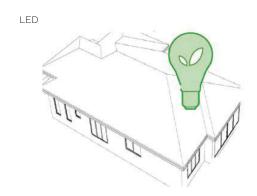
Where possible, locate private open space on the north side of the allotment and avoid being located along a primary frontage.

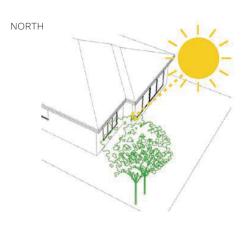
If possible, zone dwelling layout to enable main living areas to be separately heated and cooled.

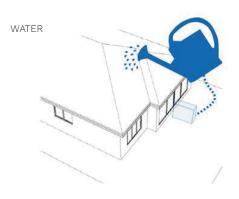
8.3 Water efficiency

All dwellings are encouraged to be connected to a rainwater tank for garden watering and car washing.

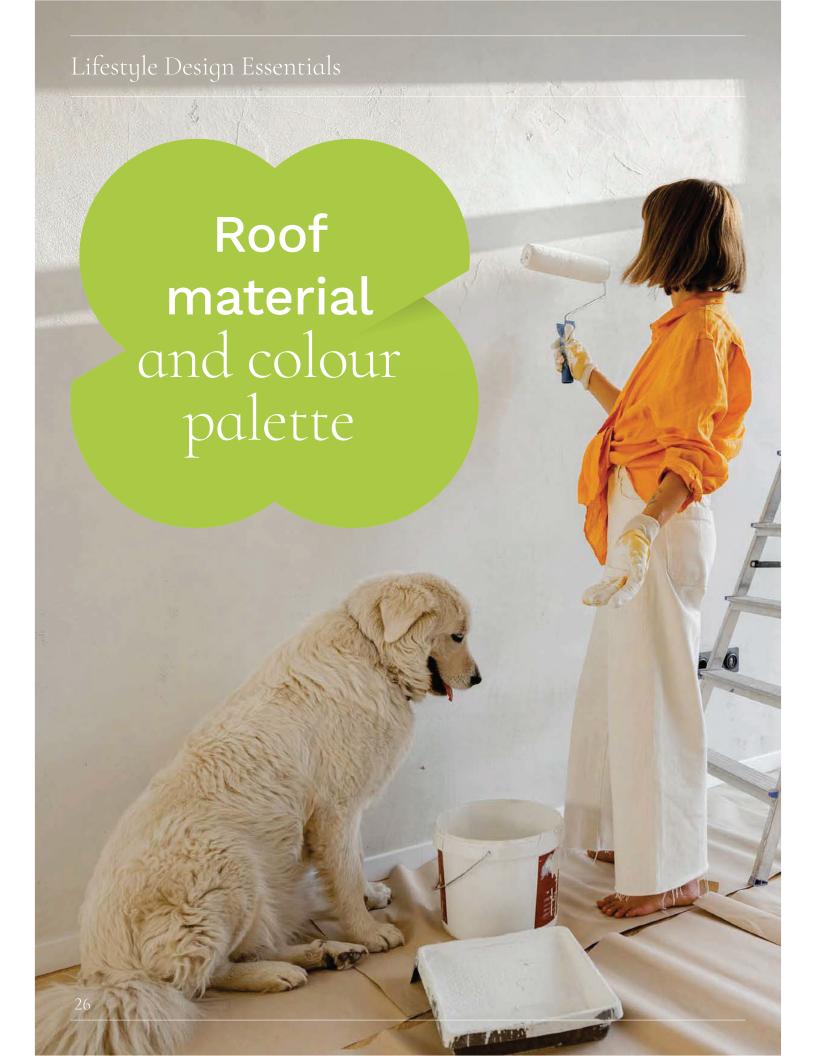
Where a purple pipe recycled water system is in operation you will be required to connect for other purposes such as toilet flushing and washing machine supply.







Reducing energy, waste and water needs and usage, increasing comfort and reducing running costs for homeowners.







Approved roof colour palette

Colorbond Colours

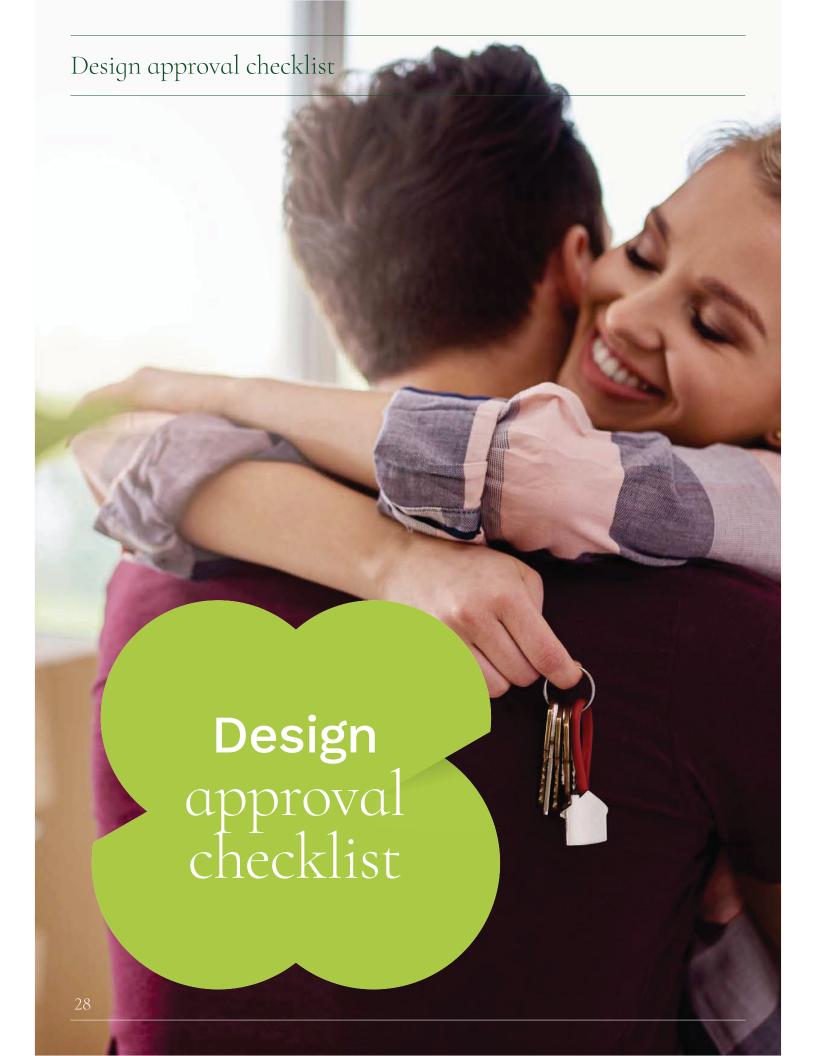


UniCote Colours



Bristile Roofing Tiles







Site plan 1:200 or 1:100 scale	Sections 1:100 or 1:50 scale
Existing and proposed contours	Built form and natural ground level
Proposed floor levels	Site cut/fill
All setback dimensions to boundaries	Ceiling heights
Fencing (incl. dimensions of fence return setbacks, stepped fencing, side street boundary fencing, etc)	Retaining walls
Floor plan 1:100 scale	External materials & colours schedule
Internal layout	Wall cladding material and colour
Dwelling areas	Roof material and colour
Dimensions (including setbacks, articulation, porch, etc)	Gutters, fascias, downpipes colour
Ancillary fixtures and equipment (eg. rainwater	Window and door frames colour
tanks, hot water systems, etc)	Decks, verandahs, etc
Sheds, outbuildings,	Fencing material and colour
pergolas, etc	Driveway material and colour
All elevations 1:100 scale	Landscape plan 1:100 scale
External materials and colours	Plant list, including species and sizes
Proposed floor levels and building heights from natural ground level	Front fencing details, material and colour
Eave dimensions	Driveway material and colour
Roof pitch	Paving or hardscape material and colour
Sheds, outbuildings, pergolas, etc	Retaining walls

Design approval checklist

Landscaping bond refund

To claim your landscaping bond for Providence here's what you need to do

You may be eligible to claim a refund on your bond payment, once you have completed the driveway, fencing and all landscaping to the front of your home. To receive your landscaping bond payment, you must comply as outlined below.

Checklist: standard allotments		
	$5\ x$ plants and $1\ x$ native feature tree with minimum height of 1.5m at time of planting	
	Hardscape does not exceed 20%	
	Turf to the remainder of the front yard Planting adjacent to fence lines, driveways and front building line	
	500mm landscaping buffer	
	Edged and mulched garden beds	
	Letterbox in similar style to home	
	Driveway completed	
	Fencing installed 1m behind front building line with a painted finish	
	Landscaping within property boundary (not on council verge)	



Landscaping bond refund application form – Providence

Property to be assessed by Stockland:

Community: Providence
Stage Number:
Lot Number:
Street Address:
\$1,000 landscaping bond
I/We acknowledge that a Stockland representative will assess and/or inspect the property mentioned above.
If all of the driveway and landscaping requirements have been met as per the Design Essentials, Covenant Approved Plans, and Land Contract of Sale, then the landscaping bond will be paid within 45 business days after the assessment and/or inspection has been completed.
Customer details:
Name(s):
Postal Address:
Mobile:
Email:
Signature 1: ✓ please sign here
Signature 2:
Date:
Account details:
Account Name:
Account Number:
BSB Number:
Bank Name
(1) Email this form to design@stockland.com.au (2) Attach a photo of your completed driveway, fencing and landscaping.

Stockland PROVIDENCE

(4) Advise of your landscaping completion date.

(3) Advise of your builder handover date.

PROVIDENCE FAST

Contact us today

6 Amity Way, South Ripley design@stockland.com.au stockland.com.au/providence

stockland.com.au

All details, images, and statements are based on the intention of, and information available to, Stockland as at the date of publication November 2023 and may change due to future circumstances. All images and photographs are conceptual and indicative only. An approval issued by Stockland under these Design Essential is not an approval or certification from the local Council, from an accredited certification authority or under the requirements of any legislation. Any building plans submitted to Stockland are not checked by Stockland for compliance with structural, health or planning requirements, or for the suitability of the building for your intended use. Stockland reserves the right to approve designs and works which do not comply with these Design Essentials where considered to be of merit, and to vary, relax or waive any of the requirements in this document, at its absolute discretion. If Stockland exercises any of these rights, this will not set a precedent or imply that the same or similar approval will be repeated by Stockland in the future.