



QLD HOUSE & LAND

LOT 4 TOWNSHIP ESTATE, FERNVALE

Fernvale is located approximately 60km west of Brisbane and 30km north of Ipswich, connected via the Warrago Highway. Fernvale is the largest town in the southern Somerset Region and Lower Brisbane Valley and its town centre offers a broad mix of facilities and services, including a wide range of retail shops in the region. Nearby, Lowood also provides a range of local services for its growing population.

INCLUSIONS

- Turnkey finish & fixed site costs
- Termite protection
- Connection to grey water tank
- Colorbond roof
- 20mm manufactured stone kitchen benchtop
- Cold water to fridge space
- Stainless steel kitchen appliances
- Roller blinds throughout
- Reverse cycle/split system air-conditioner in living and main bedroom
- 2550mm high ceilings
- Ceiling fans
- Approximately 1.8kw solar power system
- Undercover tiled alfresco area
- Fully fenced, turfed & landscaped

LIVING		176.20
GARAGE		44.47
ALFRESCO		12.44
PORCH		4.03
TOTAL		237.15m ²



4 4.5 2

CO-LIVING “PLANTATION”

LAND SIZE	600M ²
LAND PRICE	\$192,000
HOUSE SIZE	237.15M ²
HOUSE PRICE	\$350,965
RENTAL	\$700 - \$1000 p/w

TOTAL PACKAGE
\$542,965

MARKET OUTLOOK

FERNVALE

The Somerset Regional Council seeks to foster the growth and development of a network of centres, including Fernvale as a District Centre focused around the Brisbane Valley Highway - and is therefore expected to be a major focus of urban growth. Fernvale is located approximately 60km west of Brisbane and 30km north of Ipswich, connected via the Warrago Highway.

Fernvale is the largest town in the southern Somerset Region and Lower Brisbane Valley and its town centre offers a broad mix of facilities and services, including a wide range of retail shops in the region. Nearby, Lowood also provides a range of local services for its growing population.

DEMOGRAPHICS

The population in the suburb of Fernvale experienced an average annual growth of approximately 4.9% per annum from 2001 to 2019, far greater than the Queensland state annual increase of 2.1% per annum over the same period.

Fernvale accounted for approximately 28% of the population growth of the total Lowood SA2 and approximately 19% of the Somerset LGA over the period from 2001 to 2019.

A significant portion of the population growth (25%) is expected to be within residents aged 0-19 years, indicative of a young age profile within the Fernvale Catchment. This compares to the surrounding region and the prevalence of young families seeking affordable housing opportunities in the area.

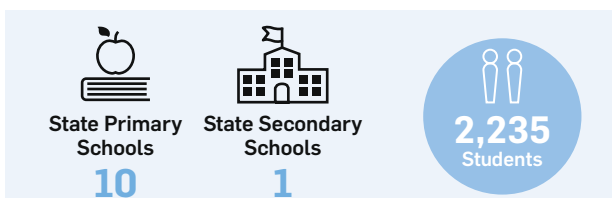
EMPLOYMENT

By 2041, the Fernvale Catchment is forecast to offer an additional 1,040 local jobs. An integrated road network offers connections to significant employment opportunities within the wider Somerset LGA, and through to Ipswich.

The majority of new jobs within Fernvale are forecast to be in the construction and Education and Training sectors, while the Somerset LGA is also set to see a considerable increase in the Health Care and Social Assistance sector.

EDUCATION

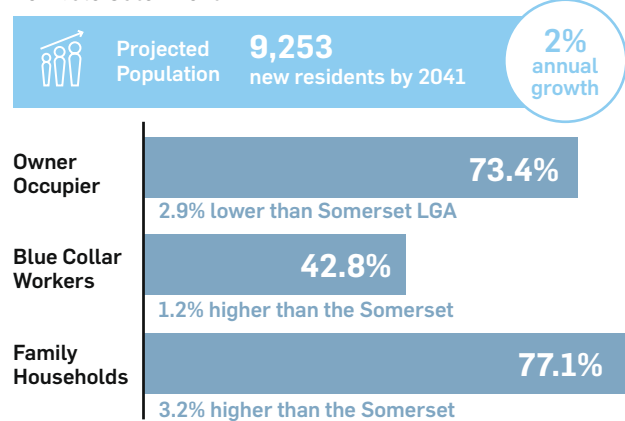
The Fernvale Catchment has 11 State Schools (10 Primary and 1 Secondary) with a total of 2,235 students as at 2020.



Prepared by Urbis, Source: Urbis
Fernvale Catchment: Lowood SA2

DEMOGRAPHICS

Fernvale Catchment



Prepared by Urbis; Source: ABS Census 2016
Fernvale Catchment: Lowood SA2

EMPLOYMENT

Fernvale Catchment

	2016	Forecast 2041	New Jobs	Growth P.A.
Fernvale Catchment	3,163	4,203	1,040	1.1%
Somerset LGA	7,170	10,016	2,846	1.3%
Ipswich LGA	67,928	128,799	60,871	2.6%

Prepared by Urbis, Source: Urbis
Fernvale Catchment: Lowood SA2

INFRASTRUCTURE

Somerset LGA has approximately \$725 million worth of known infrastructure projects in the pipeline.

Approximately \$650 million is expected to occur within the suburb of Fernvale, which includes upgrades to the Wivenhoe Dam over the next ten years.

The State Government has also announced plans to upgrade the Brisbane Valley Highway through Fernvale with a new township entry treatment which will benefit residents and visitors alike.

RESIDENTIAL AND RENTAL MARKET

Price growth within the Fernvale Catchment (which includes the Statistical Area Level 2 boundary of Lowood) has demonstrated consistent growth for both houses and land. During the year to June 2020, the median house price recorded 2.2% growth and a 5.8% growth per annum over 20 years. Land price growth has also increased by 6.0% per annum over the last 20 years.

As at June 2020, the median house price for new houses is \$457,000, approximately \$100,000 greater than the overall Catchment median price.

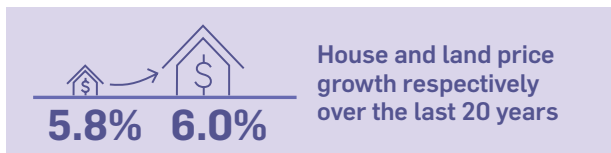
Vacant land has seen a decline in the number of transactions over the 12 months to June 2020, likely due to the limited supply entering the market within the catchment.

Rental demand is evident, specifically for three and four-bedroom houses, which have experienced an increase of rental bond lodgements. In the five years to June 2020, there has been a 15% increase per annum in rental bond lodgements for houses. This has resulted in a median weekly rental price of up to \$380 for three and four-bedroom houses.

AVERAGE ANNUAL PRICE GROWTH

Fernvale Catchment June 2020

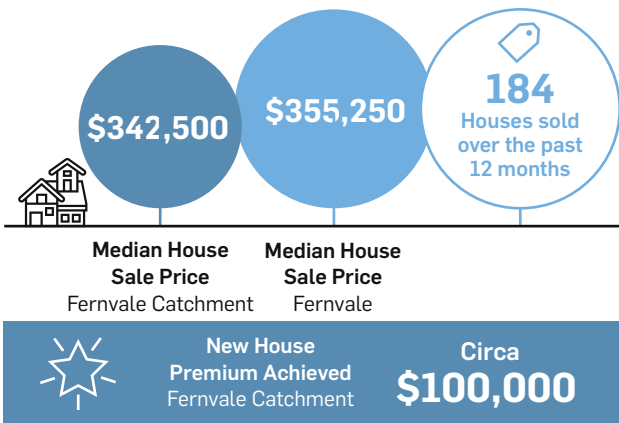
Fernvale has been identified as a key growth area of Somerset Regional Council. As a result of new developments, house and land prices have shown significant long term annual growth of 5.8% and 6.0% respectively over the last 20 years.



Prepared by Urbis; Source: APM Pricefinder

RESIDENTIAL MARKET

Fernvale Catchment June 2020



Prepared by Urbis; Source: APM Pricefinder, Realestate.com.au
Fernvale Catchment: Lowood SA2

RENTAL MARKET

Fernvale Catchment June 2020



Prepared by Urbis; Source: APM Pricefinder, Residential Tenancy Authority

RENTAL PRICE COMPARISON - HOUSES

Fernvale Catchment June 2020

Dwelling Type	June 2016	June 2020
3 Bed	\$330	\$350
4 Bed	\$395	\$380

Prepared by Urbis; Source: Residential Tenancies Authority (RTA), realestate.com.au
Fernvale Catchment: Includes all suburbs within the 4306 postcode.



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SIMPSON STREET



Developments
Home Builder

BIO BASIN

STAGE 1

PINE STREET

PEAR STREET

PINE STREET

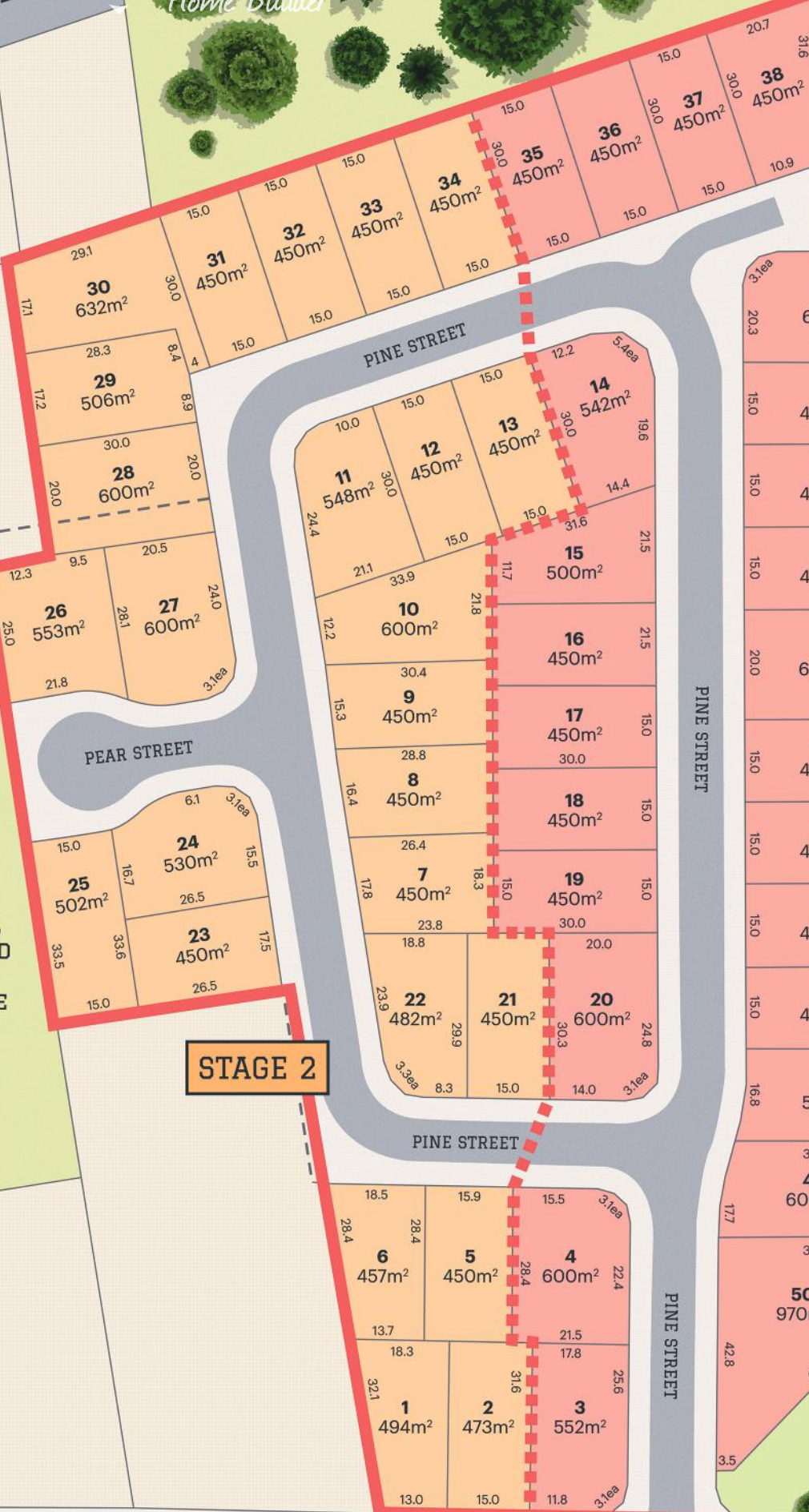
PINE STREET

PINE STREET

BANKS CREEK ROAD

APPROVED
COMMERCIAL
AND ATTACHED
TO LOCAL
TOWN CENTRE

STAGE 2





Client's Signature _____ Date _____



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DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

A SITING PLAN
REV. DESCRIPTION

19.05.2021
DATE

Client:

Product:
CO-LIVING 233 -
PLANTATION

Site Address:

LGA:

3D VIEWS

Plot Date: 24.05.2021	Drawn: JW	Rev: A
Scale:	Checked:	Checked Date:
Sheet: A02	Job No: SITING	



DH - DOUBLE HUNG WINDOW
AW - AWNING WINDOW
CS - CASEMENT WINDOW
FG - FIXED GLASS
BF - BIFOLD WINDOW
LV - LOUVRE WINDOW
SW - SLIDING WINDOW
SSW - STACK SLIDING WINDOW

FR - FRENCH DOOR
SD - SLIDING DOOR
CSD - CAVITY SLIDING DOOR
SSD - STACK SLIDING DOOR
FSD - FACE SLIDING DOOR
BF - BIFOLD DOOR
SR - SLIDING WARDROBE DOOR

U.B.O - UNDER BENCH OVEN
W.O - WALL OVEN
M.W - MICROWAVE
D.W - DISHWASHER
P - PANTRY
WM - WASHING MACHINE
DR - DRYER
FR - FRIDGE

V - VANITY
G - GLASS
FSB - FREE STANDING BATH
RWH - CEILING MOUNTED RAINWATER HEAD

DP - DOWNPIPE
MH - MANHOLE
MB - METERBOX
SP - SPREADER PIPE

AREAS LOCATION

LOCATION	SQM	SQ
LIVING	176.20	18.97
GARAGE	44.47	4.79
ALFRESCO	12.44	1.34
PORCH	4.03	0.43
	237.15	25.53



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A SITING PLAN
REV. DESCRIPTION

19.05.2021
DATE

Client:

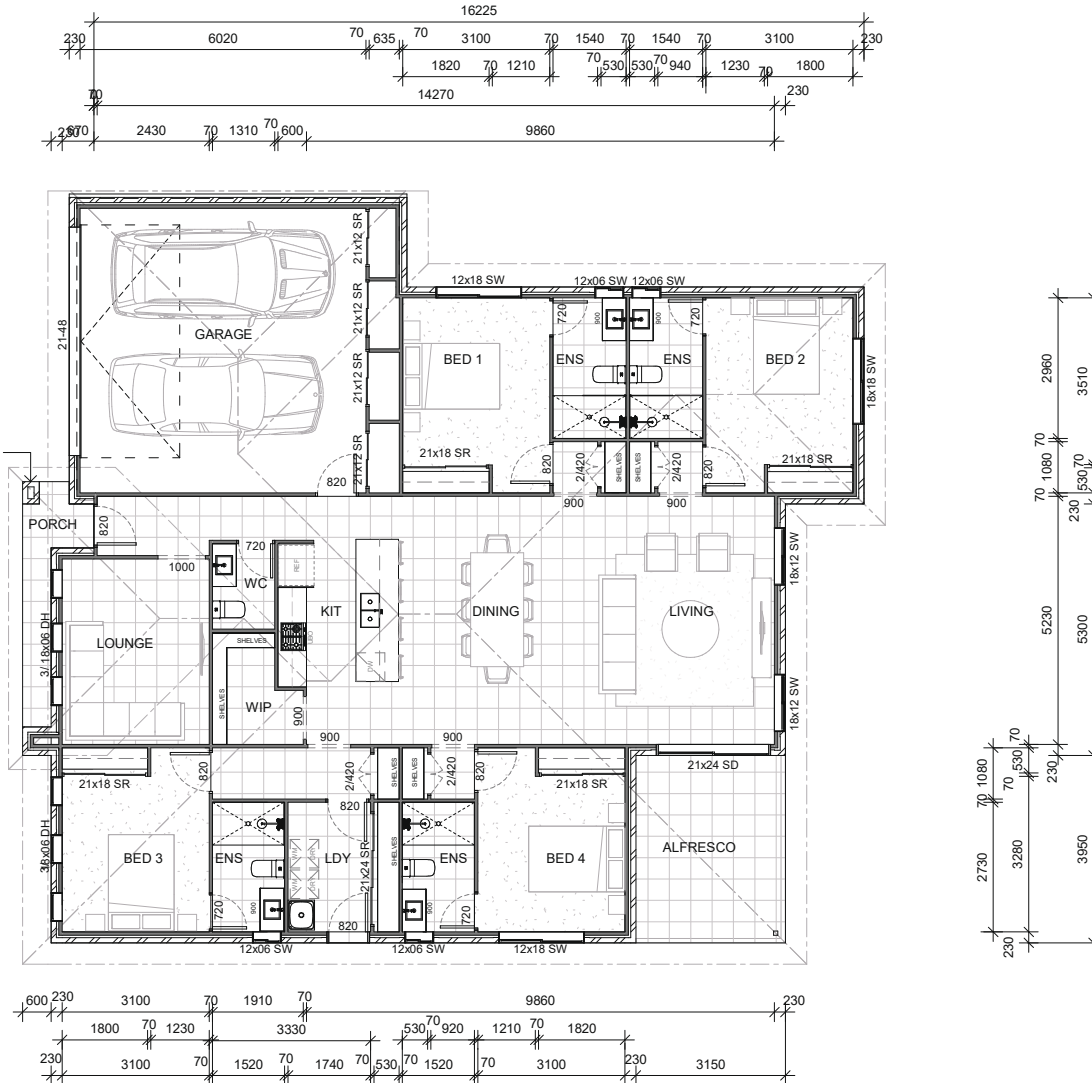
Product:
CO-LIVING 233 -
PLANTATION

Site Address:

LGA:

FLOOR PLAN

Plot Date: 24.05.2021	Drawn: JW	Rev: A
Scale: 1:100	Checked:	Checked Date:
Sheet: A03	Job No: SITING	

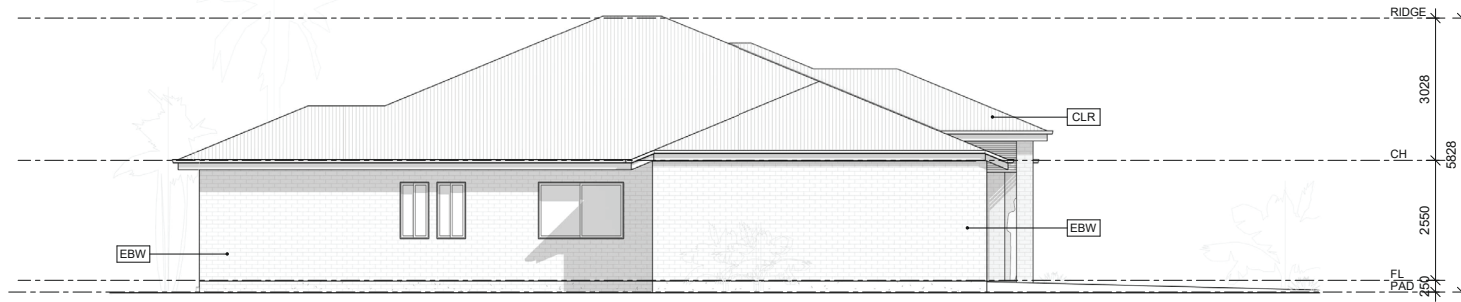
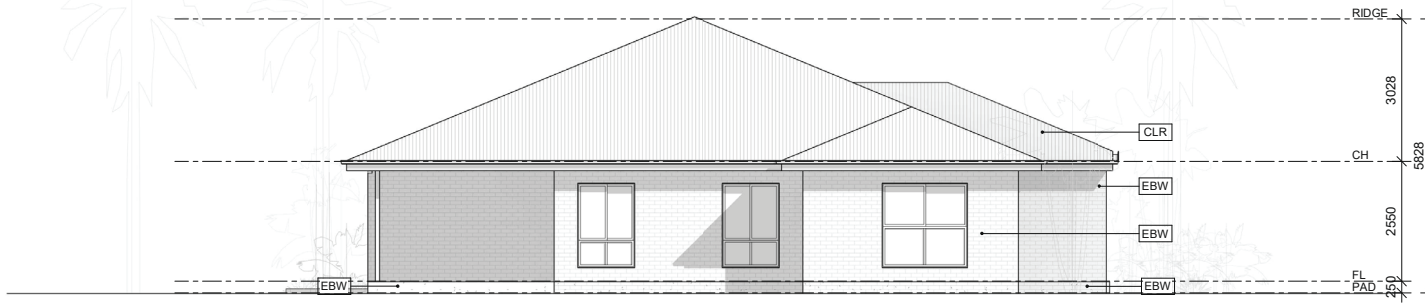


Client's Signature _____ Date _____

EXTERNAL FINISHES LEGEND

CLR COLORBOND ROOF SHEETING
EBW EXPOSED BRICKWORK

Date: _____
Client's Signature _____



B
A03 ELEVATION - B
1:100



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A SITING PLAN
REV. DESCRIPTION

19.05.2021
DATE

Client:
Product:
CO-LIVING 233 -
PLANTATION

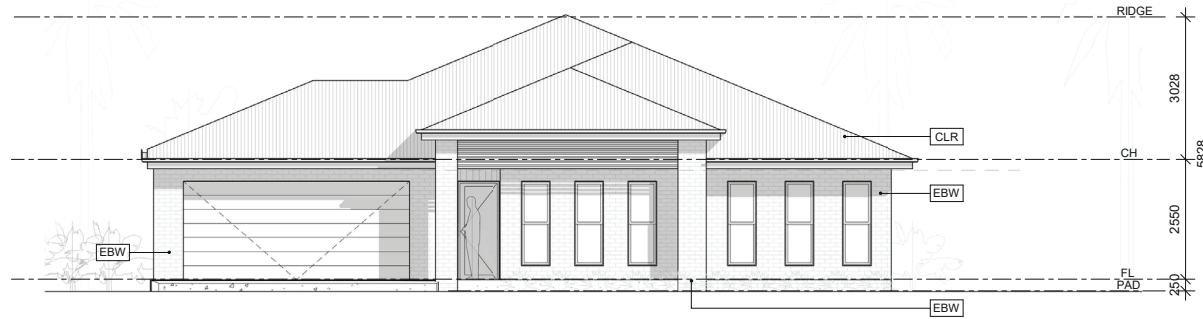
Site Address:
LGA:

ELEVATIONS

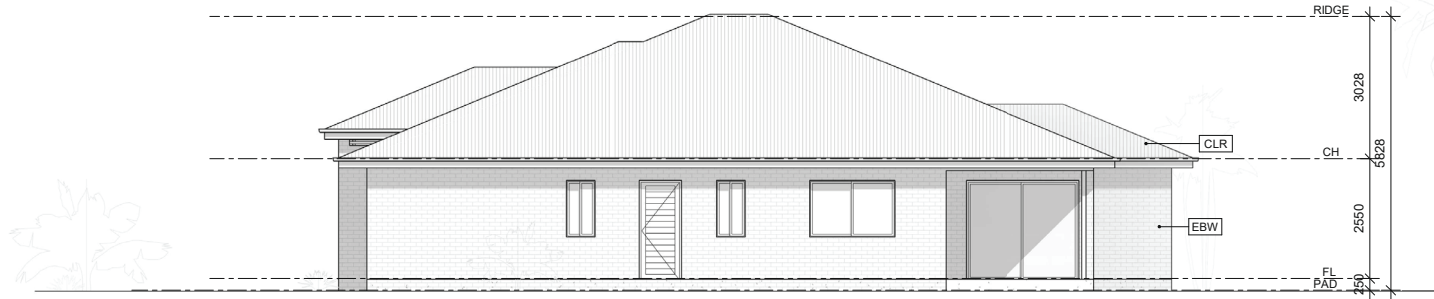
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Scale: 1:100	Checked:	Checked Date:
Sheet: A04	Job No: SITING	

EXTERNAL FINISHES LEGEND

CLR COLORBOND ROOF SHEETING
EBW EXPOSED BRICKWORK



C ELEVATION - C
A03 1:100



D ELEVATION - D
A03 1:100



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DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

A SITING PLAN
REV. DESCRIPTION

Client:
Product:
CO-LIVING 233 -
PLANTATION
DATE 19.05.2021

Site Address:
LGA:

ELEVATIONS

Plot Date: 24.05.2021	Drawn: JW	Rev: A
Scale: 1:100	Checked:	Checked Date:
Sheet: A05	Job No: SITING	



Queensland

2021 SPECIFICATIONS

Building a shared vision

PRE-CONSTRUCTION

- HIA fixed price contract.
- Plans - Specifications.
- Engineers soil report & slab design.
- Council building application fees.

SITE WORKS FOUNDATIONS & CONNECTIONS

- Site scrape and/or balanced cut & fill excavation for up to 1500mm site fall over the building platform.
- Engineer designed concrete slab to suit up to "H2" slab with bulk concrete piling (up to and including a depth of 600mm).
- Termite treatment to slab penetrations and physical perimeter barrier.
- Sewer & storm water connections to existing serviceable connection points for sites up to 600m² in size with a standard 6 meter set back from front boundary (battle-axe, other odd shaped blocks and blocks where service connection exceeds standard allowances may incur extra service costs).
- Eight (8) meters plan length of electrical mains.
- Water connection from pre-tapped water main up to and including six (6) meter setback to house.
- House constructed for "N2" wind rating conditions (W33).
- No allowance is made for retaining walls.

ENERGY EFFICIENCY

- Bulk ceiling insulation, rating R2.5, to ceiling area.
- Double sided foil wall-wrap to external stud walls.
- Energy efficient aluminium improved windows and sliding door units
- Weather stripping to hinged external doors.
- Electric hot water system.
- 500 KPA water pressure limiting device.
- LED down-lights
- Approximately 1.8kw solar power system

BRICKS, WINDOWS, ROOFING AND GARAGE

- Colorbond roof.
- Colorbond fascia & gutter from the standard builders' range of colours.

- Select range of clay bricks from the builder's standard range.
- Natural mortar.
- Powder coated aluminium windows from the standard builders' range of colours, with obscure glass to wet areas.
- Keyed window locks to all opening sashes and sliding doors.
- Auto Sectional garage door to garage from the standard builders' range of colours and two (2) handsets.

KITCHEN INCLUSIONS

- 20mm manufactured stone benchtop.
- Laminate finish cupboards from the standard builder's range of laminates.
- Door handles from the standard builder's range.
- Laminate finish microwave oven provision to cabinetry.
- 600mm under-bench oven.
- Electric Ceramic 600mm cooktop.
- Freestanding stainless-steel dishwasher.
- Stainless steel 600mm slide-out rangehood.
- 1¼ bowl stainless steel kitchen sink.
- Chrome sink mixer.
- Cold water point to fridge space for an ice maker.
- Bulkhead above kitchen overhead cupboards.

BATHROOM ENSUITE AND TOILETS

- Wall-hung vanities with laminate bench tops from the standard builder's range of laminates.
- Door handles from the standard builder's range.
- Clear laminated glass shower screens with powder coated aluminium frames from the standard builder's range of colours.
- White acrylic bath.
- 900mm high polished edge mirrors fitted to the same width as the vanity unit.
- Chrome mixer tapware, double towel rails and toilet roll holders.
- Vitreous China close coupled toilet suites.
- Semi-inset basins (or semi recessed as required).
- Shower on rail to bathroom and ensuite showers.



Queensland

2021 SPECIFICATIONS

Building a shared vision

CERAMIC TILING

- Bathroom & ensuite floors, and:
 - 2000mm high to showers
 - 500mm above bath (nominal)
 - 200mm skirting tile.
- Kitchen tiled splashback 600mm high off bench.
- Toilet & Laundry floors, and:
 - 400mm splash back over laundry tub
 - 200mm skirting tiles
- No allowance has been made for frieze or decorator tiles.
- No allowance has been made for laying of border tiles, 45-degree patterns or floor feature tile layouts.

ELECTRICAL

- Earth leakage safety switch & circuit breakers.
- Single phase underground power connection from existing supply point.
- Meter box will be installed on the side nearest to the mains connection point.
- One (1) double power point to each room and as per electrical plan.
- One (1) 240-volt downlight point to each room as per electrical plan.
- Two (2) external para flood light points.
- Two (2) television points complete with 5 lineal meters of cable and no antenna.
- Smoke detectors hard wired with battery backup.
- Pre-wiring for two (2) Telstra phone points.
- Exhaust fan to bathroom and ensuite.
- Single GPO to microwave oven provision in kitchen.
- USB/double power point to the end of kitchen cabinetry.

STANDARD INTERNAL AND EXTERNAL FEATURES

- 2550mm ceiling heights throughout.
- Round aluminium powder-coated handrail and vertical balustrade to external balcony as selected from builders' standard range where applicable.
- Paint grade front door with clear glazing.
- Paint grade hinged doors to other external doors if applicable.
- Paint grade flush panel internal passage doors.
- Magnetic door stops from builders' standard range to passage doors.
- Vinyl sliders from builders' standard range to wardrobe doors.
- Builders range exterior lever set to front door.
- Interior lever set to internal doors.
- 90mm paint grade coved cornice.
- 41mm paint grade splayed architraves.
- 67mm paint grade splayed skirting.

- Paint:
 - Three (3) coat internal paint system - 2 colours allowed i.e. 1 colour to wall and 1 colour to timber work.
 - Two (2) coats to ceiling to Paint Manufacturers standard specifications.
 - Two (2) coat external paint system to external trim and doors to paint manufacturers standard specifications.
- 45 ltr laundry trough and cabinet.
- Two (2) external garden hose taps.
- AAA rated water saving shower heads and tap-ware.
- Internal & external builders house clean and site clean after construction.
- Carpet grade staircase with painted timber balustrade for staircases as selected from builders' standard range.

WARRANTIES

- Statutory maintenance period.
- Statutory structural guarantee period.

EXCLUSIONS

- Bush fire reports and/or build form upgrades required to meet BAL levels.
- Acoustic reports and/or build form upgrades required to meet acoustic requirements.
- Hydraulic reports and/or site work and build form upgrades required to meet hydraulic requirements.
- ENM/VNM reports.
- Additional bulk import and/or export of fill.
- Removal and/or disposal of old fencing.
- Removal and/or disposal of retaining walls.
- Property power poles.
- Sewer connection points.
- Water meter connection points.
- Water meters.
- Development Application fees and/or Town Planner costs.
- Relaxation Application fees.
- Any specialist consultant reports.
- Council Contribution and/or Infrastructure costs.
- More than one NBN connection per lot.
- Inter-allotment stormwater drainage systems.
- Build Over/ Near Sewer Infrastructure applications.
- Arborist reports, when required.
- Landscape architect, when required.
- Demolition, including any associated Development Permits, for existing structures located on the relevant lot.



Queensland 2021 SPECIFICATIONS

Building a shared vision



Stainless steel kitchen sink



Electric ceramic cooktop

STYLE

We provide stylish, modern and on-trend fittings and fixtures to your property to complete that finishing touch.

QUALITY

All products are high quality and sourced from reputable Australian suppliers.

FUNCTIONALITY

When designing our properties, we consider functionality and style, choosing products that are sleek and practical.



Underbench oven



Acrylic bathroom basin and mixer



Stainless steel dishwasher



Double towel rail



White bath



Vitreous china toilet suit



Rail shower mixer



Queensland

2021 SPECIFICATIONS

Building a shared vision

TURNKEY PACKAGE

PRE CONSTRUCTION

- Provide additional council cross over and building application fees according to local city council.

SITE WORKS

- Provide additional driveway cut and excavation including kerb cut-out and removal when non-mountable kerb exists.

WINDOWS

- Powder coated aluminium diamond grill security screens.
- Powder coated frames to glass sliding doors.
- Powder coated frames to opening windows.

LANDSCAPING

- Provide up to 70 lineal meters of 1800mm high treated pine timber fencing.
- Provide (1) steel frame gate with treated pine palings.
- Provide up to 60 m2 of exposed aggregate driveway, front path and porch.
- Provide up to 300 m2 of A-Grade turf.
- Provide one (1) 15m2 garden bed including clay paver edge, builders' range plants and mulch.

INTERNAL AND EXTERNAL FEATURES

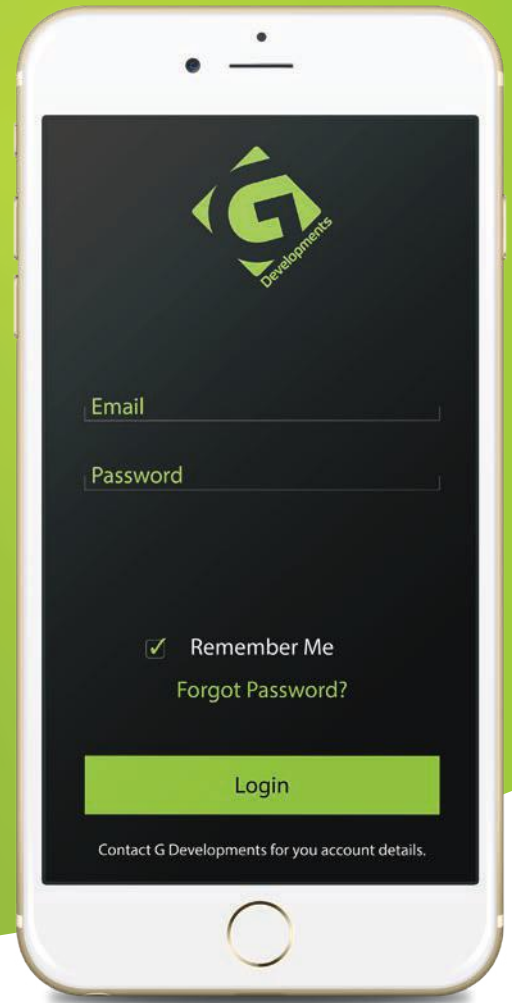
- Provide carpet to all bedrooms and living rooms as selected from the builders' standard range.
- Provide main floor tiles to all other internal areas (excluding garage).
- Provide suitable external grade tile finish to alfresco slab as selected from the builders' standard range.
- Provide a fold down wall mounted clothes line as selected from the builders' standard range.
- Provide a TV antenna and booster (as required) to roof as selected from the builders' standard range.
- Provide a letter box as selected from builders' standard range.
- Provide Roller blinds throughout.
- Provide (1) white fan/light to all bedrooms.
- Provide (1) split system A/C from builders' standard range to living room and (1) to master bedroom
- Provide internal & external builders house clean.

THE ULTIMATE HOUSE BUILD APP

KEEP UP TO DATE WITH YOUR BUILD INFORMATION AT THE TOUCH OF A FINGER

The G Developments app allows you to manage your documents and view your build milestones 24 hours a day.

G Developments provides you with your login details once your contract is signed, keeping you up to date from the very start.



FEATURES

DASHBOARD

The dashboard is the first screen you land on when you login. Swipe away to quickly flick through your progress images.

MENU

Easily navigate your way around the app by clicking on the drop down menu located on every screen.

PHOTO GALLERY

Want to share your build images with friends, family and colleagues, simply select an image and forward on.

MESSAGES

Any important documents or conversations relating to your property can be managed on the app. G Developments will send you documents and updates keeping you up to date.

DOCUMENTS

All documents delivered during your build will be saved in the one location making it easy for you to keep track. Print off your document, sign, scan, send and save, so simple!

MILESTONES

Keep track of your milestones with quick to recognise status tags - 'completed', 'overdue' and 'upcoming tags'.



Appraised on: 28 May 2021

Shared Living – Lot 4 Township Estate, Fernvale

 4  4  2

Rental Estimate Vicinity: \$ 700 - \$1000pw

3 YEAR RENTAL GUARANTEE (terms and conditions apply)

At Sands Property Group we believe you deserve a property management team who values your investment and gives you first class service. Everything we do is designed to make the whole process as smooth and affordable as possible. From strategic property pricing to finding the perfect tenant, we take care of everything.

We offer this exclusive Guarantee to our clients to protect your financial interest into your investment. We Understand the importance of having a successful investment property from the beginning. Our outstanding service and our exclusive rental guarantee show our commitment to our investors.

Our team is looking forward to managing your investment property and together creating a successful financial investment. If we can answer any further questions, please do not hesitate to contact us. We look forward to working with you in the near future.

Shaun Smith

Director | Senior Property manager

Mobile: 0455 094 257

Phone: 07 5635 4348

Email: rentals@sandspropertygroup.com.au

Head Office:

50 Cavill Avenue, Surfers Paradise

QLD 4217



Specialised Property Managers For New Investment Homes

ABN: 22617832630

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Claim your 3 Year Rental Guarantee

Our Exclusive Rental Guarantee provides you with the certainty of a secure financial investment. To secure your 3 year rental guarantee, please complete your details below and return to your Builder along with your expression of interest form.

NAME/S:

PHONE:

EMAIL:

ADDRESS:

SIGNATURE 1:

SIGNATURE 2:

PRINT NAME:

PRINT NAME:

DATE:

DATE:



Specialised Property Managers For New Investment Homes

ABN: 22617832630

DISCLAIMER- This appraisal has been prepared solely for the information of the client and not for any third party. This is a current rental market appraisal and subject to change depending on market conditions. Although every possible care has been taken in arriving at the figure we stress that it is an opinion only and should not to be taken as a sworn valuation as carried out by a licensed valuer. The figures stated can be subject to change without notice due to market conditions, seasonal variances, along with general factors such as supply and demand and should be reassessed every Twelve weeks. We must add the warning that we shall not be responsible should the appraisal or any part thereof be incorrect or incomplete in any way. Any opinion by Sands Property Group expressed in this appraisal may be personal to the author and may not necessarily reflect the opinion of the company.

LAND DETAILS			
LOT #		ESTATE:	
STREET:		SUBURB/POSTCODE:	
LAND SIZE:		REGISTRATION ETA:	
LAND PRICE:		LAND DEPOSIT:	

HOUSE DESIGN DETAILS	
HOUSE DESIGN:	FACADE:
HOUSE PRICE:	DEPOSIT:

UPGRADE DETAILS			
DESCRIPTION:	ITEM COST / RATE:	QTY:	TOTAL:

PACKAGE DETAILS / SUMMARY			
BUILD PRICE:		BUILD DEPOSIT:	
UPGRADE PRICE:		UPGRADE DEPOSIT:	
LAND PRICE:		LAND DEPOSIT:	
PACKAGE PRICE:		PACKAGE DEPOSIT	

PURCHASER DETAILS	
OWNER OCCUPIER?	
PURCHASER 1:	
ADDRESS:	
CONTACT NUMBER:	
EMAIL ADDRESS:	
PURCHASER 2:	
ADDRESS:	
CONTACT NUMBER:	
EMAIL ADDRESS:	

CLIENT SOLICITOR / CONVEYANCER DETAILS	
SOLICITOR / COMPANY:	CONTACT NUMBER:
CONTACT NAME:	CONTACT NAME 2:
POSTAL ADDRESS:	
EMAIL(S):	

AGENT DETAILS	
SELLING AGENT:	
POINT OF CONTACT:	CONTACT NUMBER:
POINT OF CONTACT 2:	CONTACT NUMBER 2:
EMAIL(S):	