

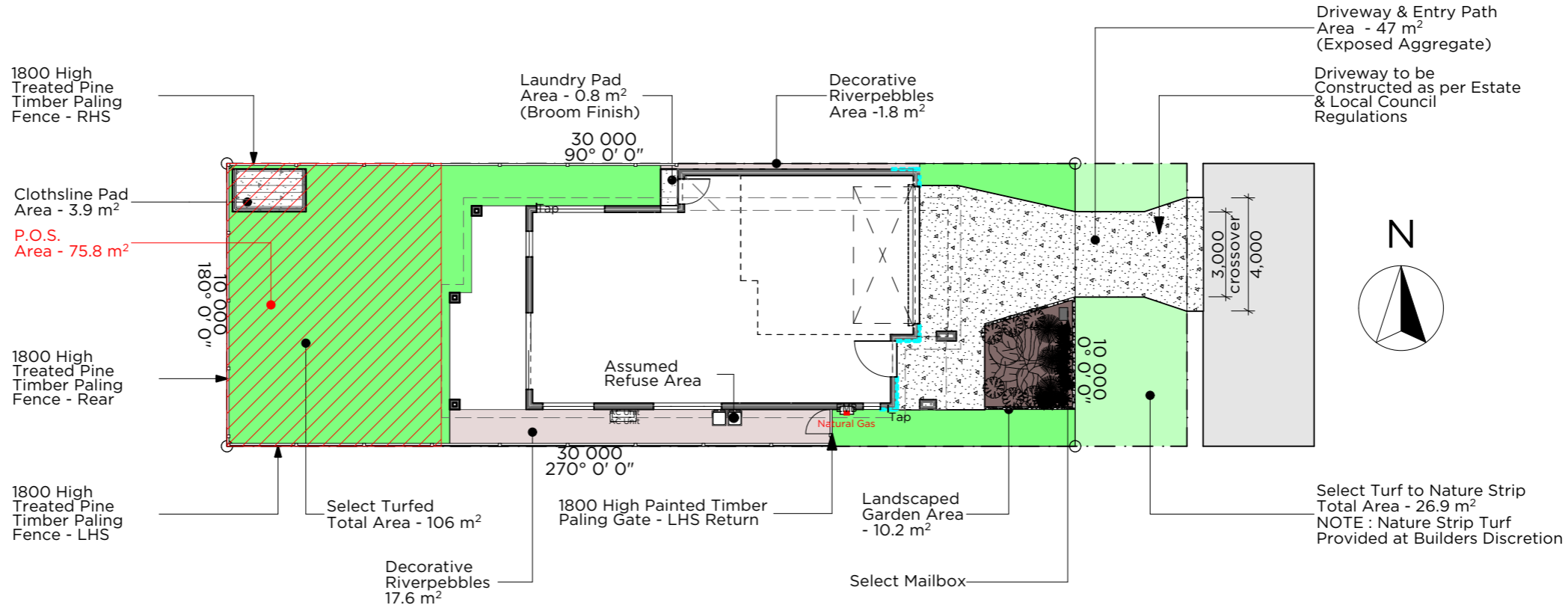
FENCING & RETAINING WALL SCHEDULE	
TYPE OF FENCE HARDSCAPE MATERIAL	Length (A)
1800 High Painted Timber Paling Fence - LHS Return	441
	441 mm
1800 High Painted Timber Paling Gate - LHS Return	859
	859 mm
1800 High Treated Pine Timber Paling Fence - LHS	21,400
	21,400 mm
1800 High Treated Pine Timber Paling Fence - Rear	10,000
	10,000 mm
1800 High Treated Pine Timber Paling Fence - RHS	15,950
	15,950 mm
	48,650 mm

LANDSCAPING SCHEDULE			
Botanical Name/Common Name	Size	Qty.	Plan
Liriope Muscari/Liriope Evergreen Giant	Cover - 140mm	8	☼
Acmena Smithii/Allyn Magic	Shrub - 200	6	☼
Gardenia Augusta/Gardenia Florida	Shrub - 200mm	3	☼
Cordyline Australis/Cordyline Red Sensation	Shrub - 300mm	3	○
Buckinghamia Celsissima/Ivory Curl Tree	Tree - 45lt	1	☼
		21	

NOTE:
Fencing by others will not be removed or reinstated and is not the responsibility of the builder or builders warranty.

NOTE:
Plant Selection at the Builders Discretion, May be Subject to Change due to Seasonal Availability

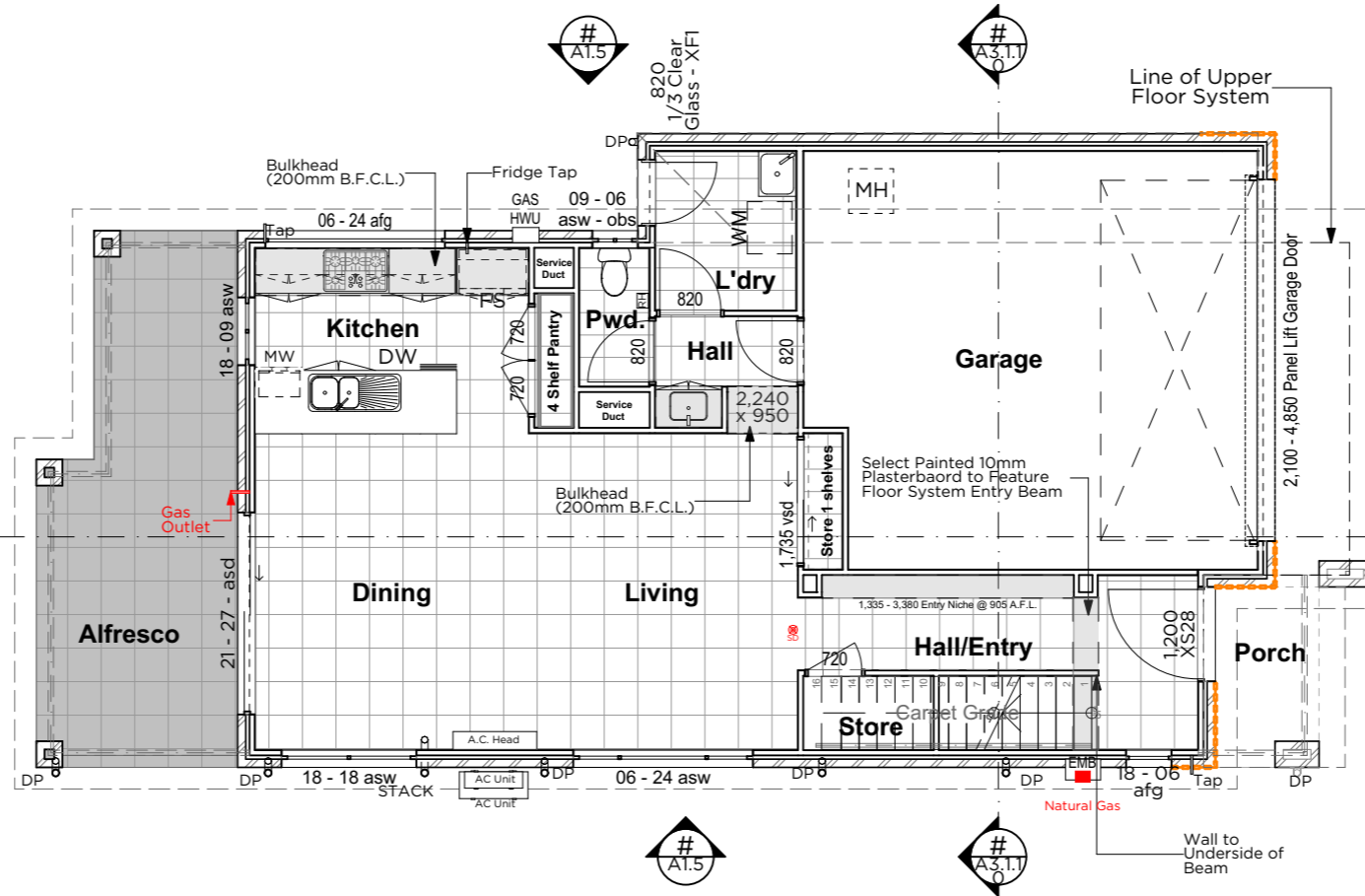
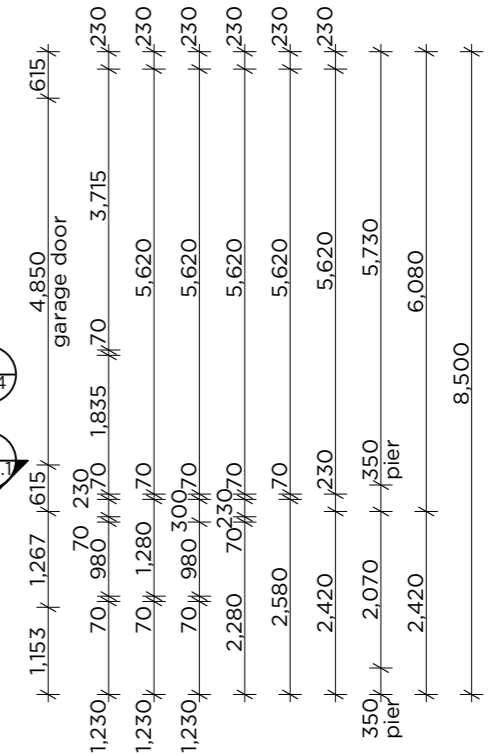
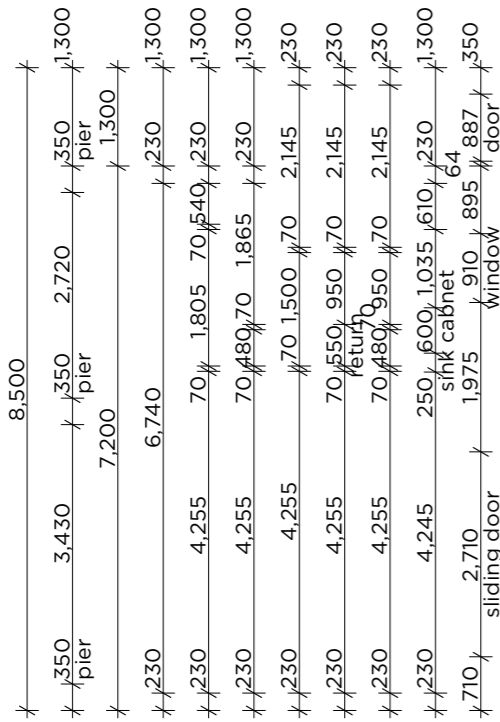
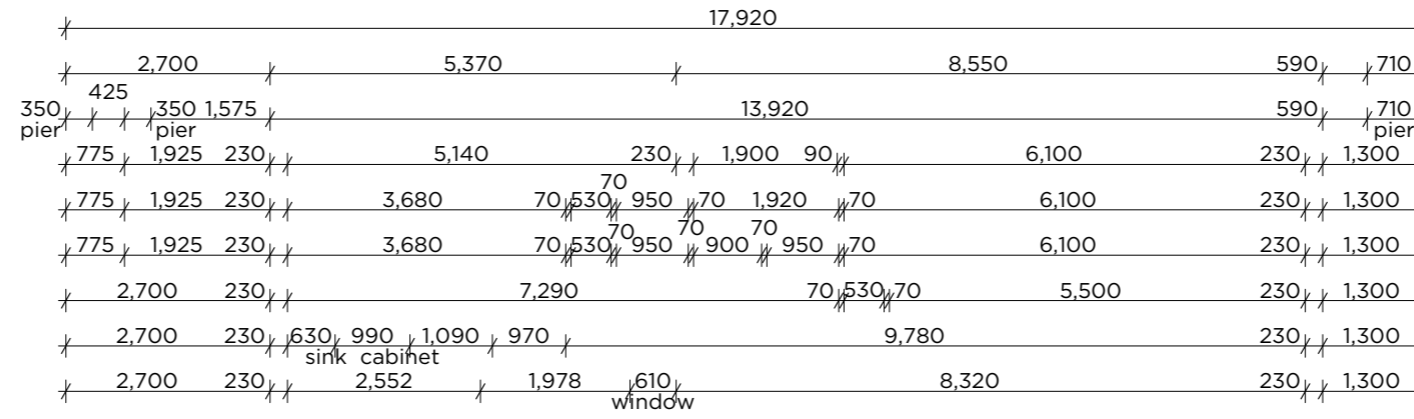
NOTE:
All External Slabs to Finish 75mm Below DPC (Damp Proof Course)



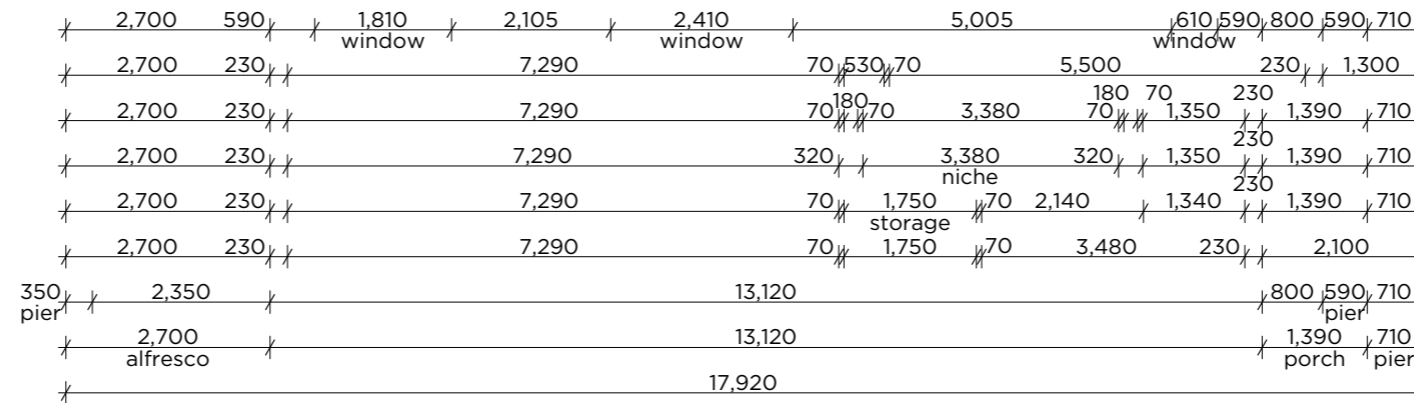
Plan
Landscaping Plan
SCALE: 1:200

I/ WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT	ARIZONA - 245 - Drake (Cantilever) - project number: Standard Plan	Dimensions shall not be obtained by scaling. All dimensions are in millimeters unless noted otherwise. Setout dimensions shall be verified on site prior to any work being carried out. Any problems shall be directed to the builder for clarification & correction	REV.	DETAILS	INT	DATE	client	drawing name: Landscaping Plan	N	wind class:	flood level:	scale:
							project Lot TBA			TBA	TBA	1:200@A3
INITIAL							local authority TBA	project status: Contract Plans		soil class:	BAL:	revision:
INITIAL								cov: Small Lot Code	drawn: TDA	TBA	TBA	date: 10:17 AM
								check: JDA				05/03/2021

NOTES:
 1. All building works to be completed in accordance with the N.C.C. 2016
 2. Beams and supports to engineers' detail, and/or frame and truss manufacturers' specification as required
 3. The tie down details to be as per the table on the bracing plan. Roof trusses to be as per the engineered design provided by the truss manufacturer, and fixed in accordance with their details.
 4. Roof members, trusses, floor joists and pre-fab frames designed and installed to manufacturers specifications.
 5. 450mm eave unless notified otherwise.



Plan
 Floor Plan - Lower
 SCALE: 1:100



NOTES:
 6. Glazing to comply with AS1288 and AS2047.
 7. Smoke alarms to comply with AS3786.
 8. Concrete construction as per Engineers Design, and to comply with AS2870 -2011 and AS3600.
 9. Brickwork to comply with AS2870 and AS3700, Articulation joints to be installed as per the engineers drawings. R3 brick ties to be used and R4 brick ties must be used where the residence is within 1km of the ocean.
 10. 10mm plaster direct fix to walls and ceilings. 6mm villaboard fixed to wet area walls.
 11. Structural Steel as per engineers design.
 12. Tiling to comply with AS3958.
 13. Roofing to be installed in accordance with AS2049-2050, and AS1562.1
 14. Waterproofing to comply with AS3740 and AS4654.
 15. Termite Management System to be installed in accordance with AS3600.1-2000.

TOTAL AREAS		
1	Living Lower	73.28
2	Living Upper	102.65
3	Garage	36.12
4	Alfresco	17.06
5	Porch	4.42
6	Stair Void	10.35
		243.88 m

I/ WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT INITIAL _____ INITIAL _____	ARIZONA - 245 - Drake (Cantilever) - project number: Standard Plan
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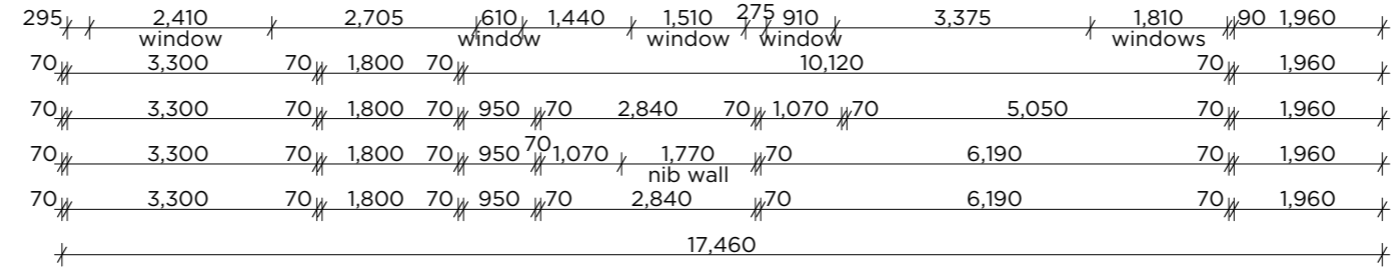
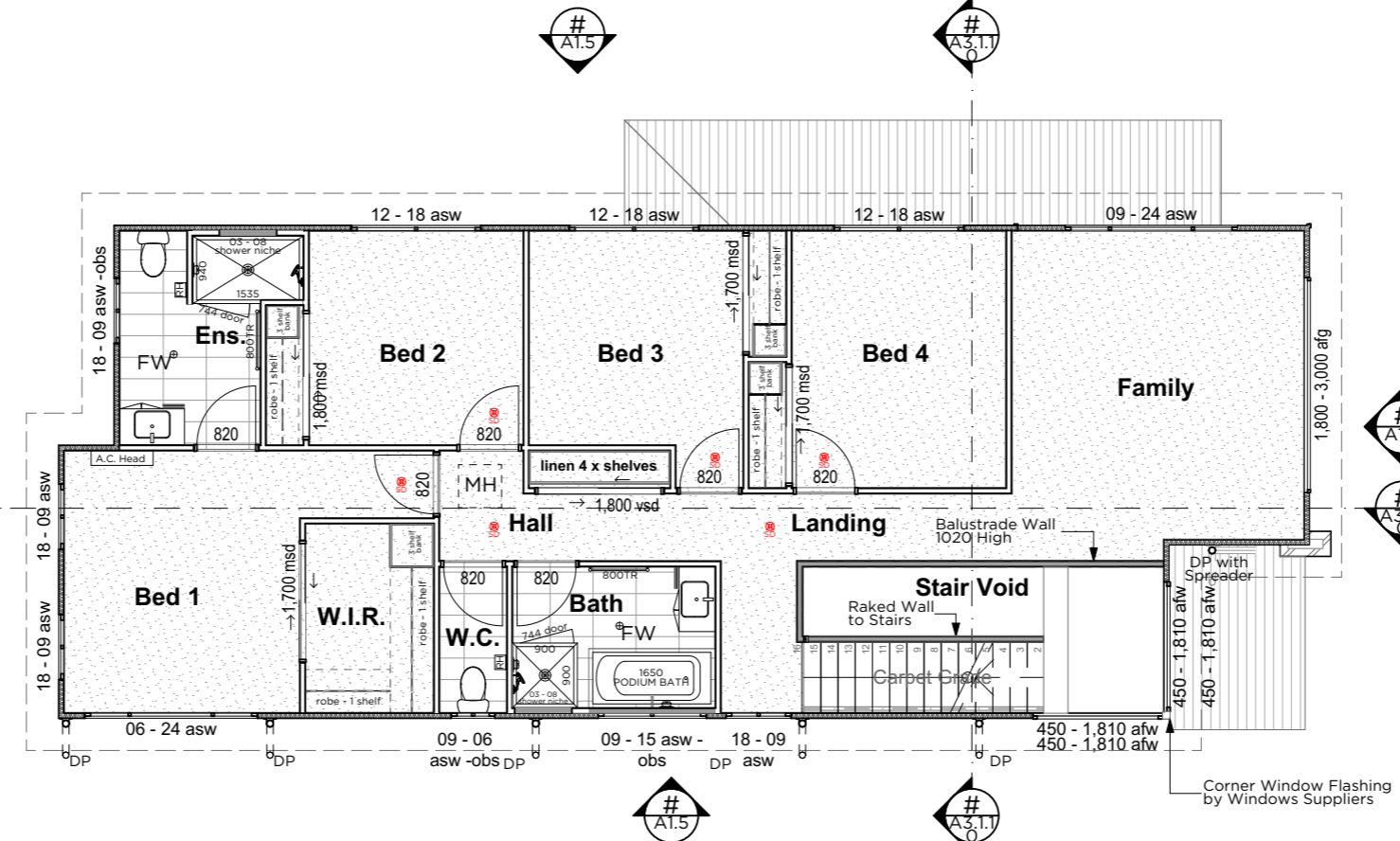
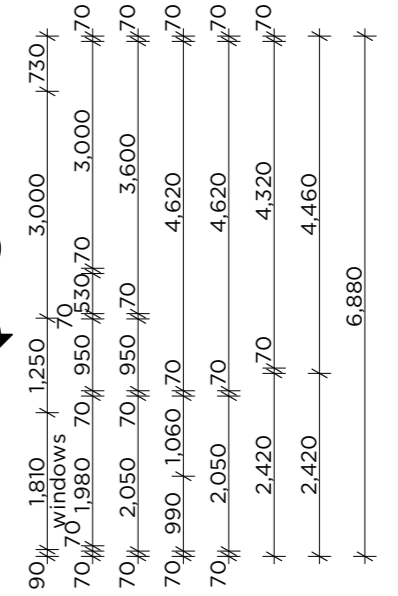
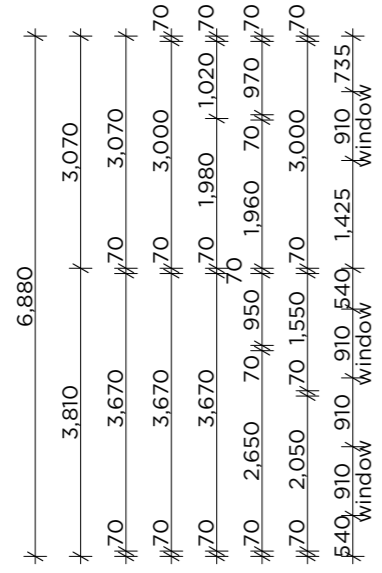
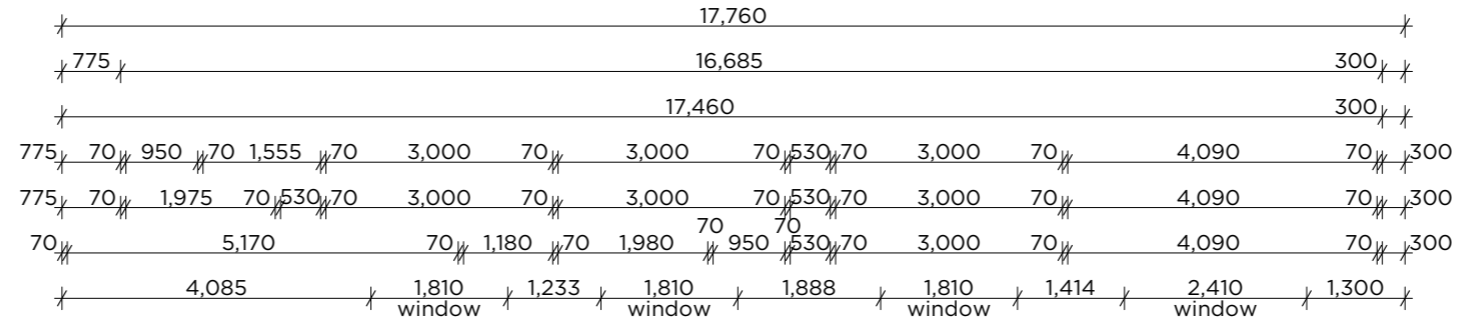
Dimensions shall not be obtained by scaling. All dimensions are in millimeters unless noted otherwise. Setout dimensions shall be verified on site prior to any work being carried out. Any problems shall be directed to the builder for clarification & correction	REV.	DETAILS	INT	DATE
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client	l
project	Lot TBA
local authority	TBA

drawing name:	Floor Plan - Lower
project status:	Contract Plans
cov:	Small Lot Code
drawn:	TDA
check:	JDA

wind class:	TBA	flood level:	TBA	scale:	1:100@A3
soil class:	TBA	BAL:	TBA	revision:	
real property description:	TBA	date:	10:17 AM		05/03/2021

NOTES:
 1. All building works to be completed in accordance with the N.C.C. 2016
 2. Beams and supports to engineers' detail, and/or frame and truss manufacturers' specification as required.
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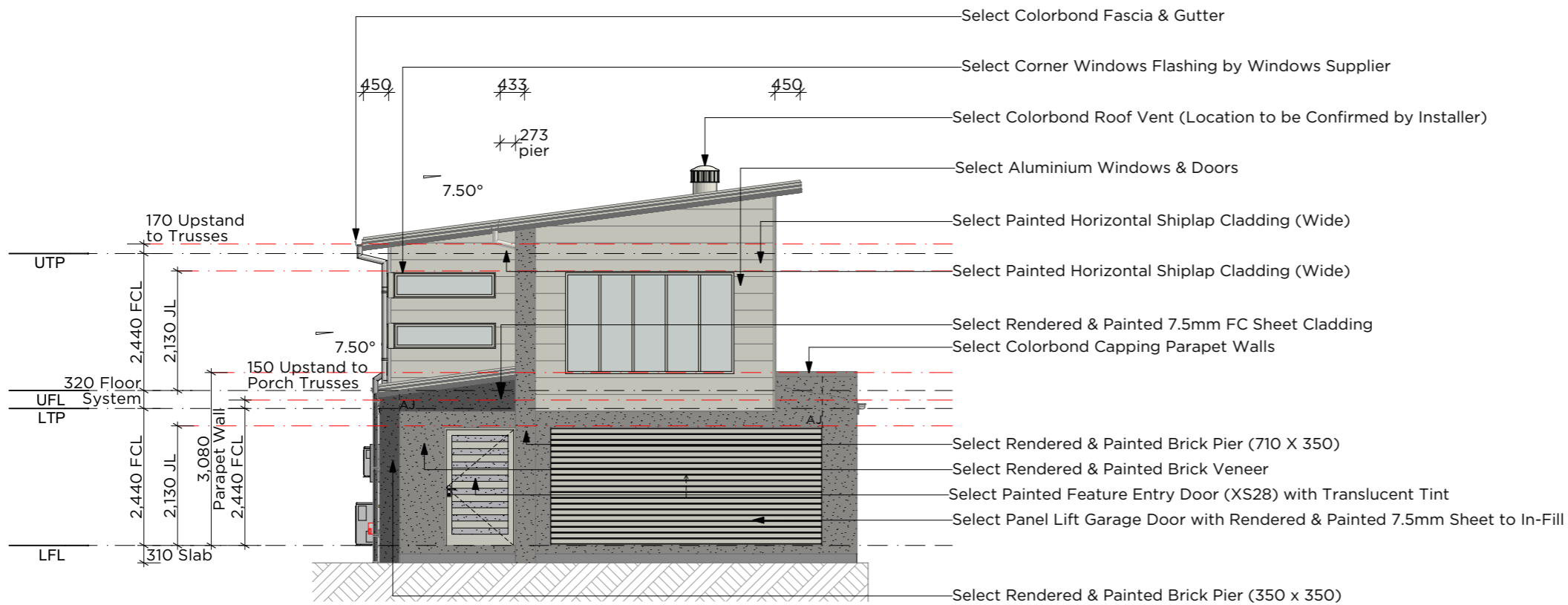


NOTES:
 6. Glazing to comply with AS1288 and AS2047.
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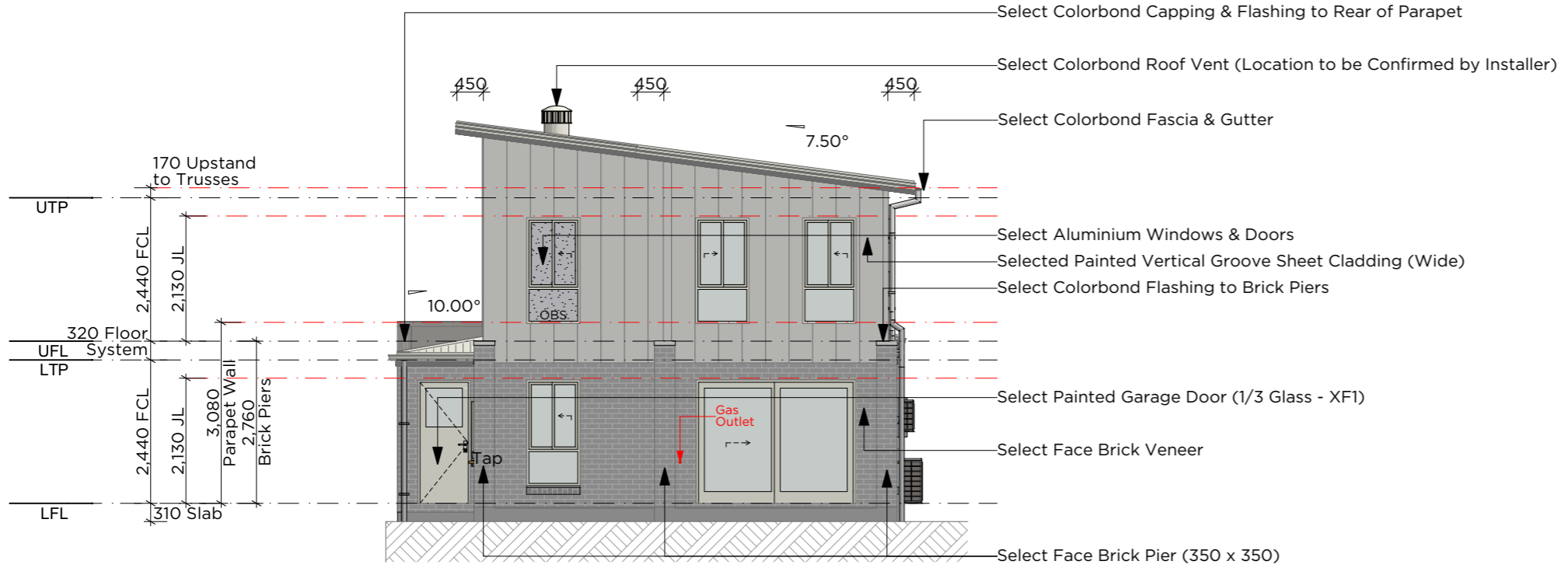
Plan
Floor Plan - Upper
SCALE: 1:100

TOTAL AREAS		
1	Living Lower	73.28
2	Living Upper	102.65
3	Garage	36.12
4	Alfresco	17.06
5	Porch	4.42
6	Stair Void	10.35
		243.88 m

I/WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT INITIAL _____ INITIAL _____	ARIZONA - 245 - Drake (Cantilever) - project number: Standard Plan	Dimensions shall not be obtained by scaling. All dimensions are in millimeters unless noted otherwise. Setout dimensions shall be verified on site prior to any work being carried out. Any problems shall be directed to the builder for clarification & correction	REV.	DETAILS	INT	DATE	client: I project: Lot TBA local authority: TBA	drawing name: Floor Plan - Upper project status: Contract Plans cov: Small Lot Code drawn: TDA check: JDA	wind class: TBA flood level: TBA soil class: TBA BAL: TBA real property description: TBA	scale: 1:100@A3 revision: date: 10:17 AM 05/03/2021
								N 		



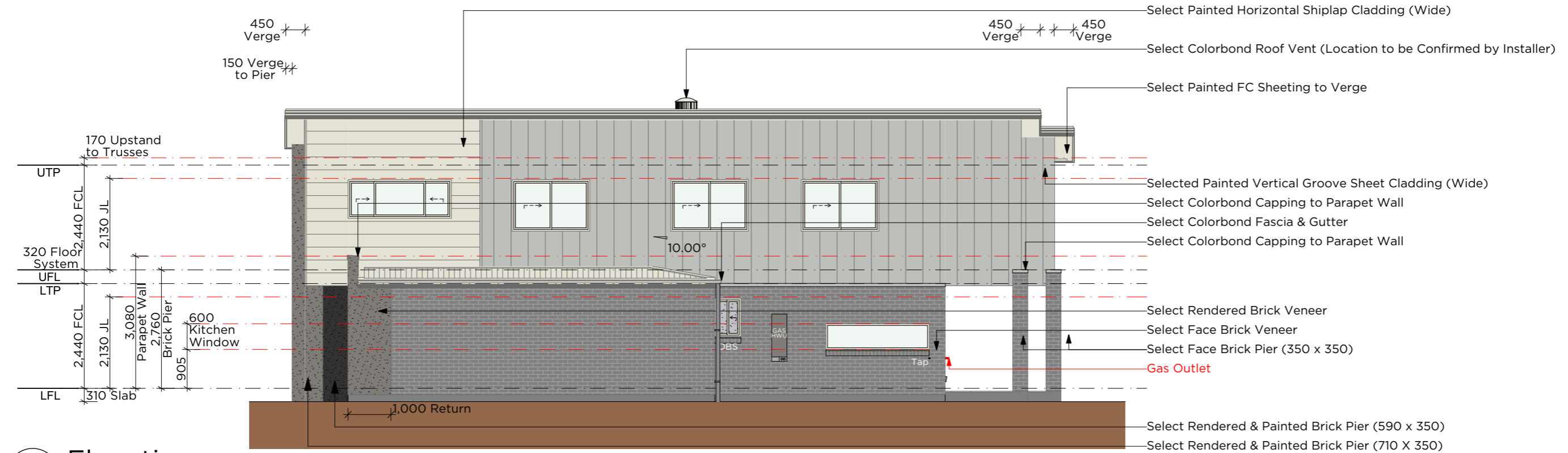
Elevation Front
SCALE: 1:100



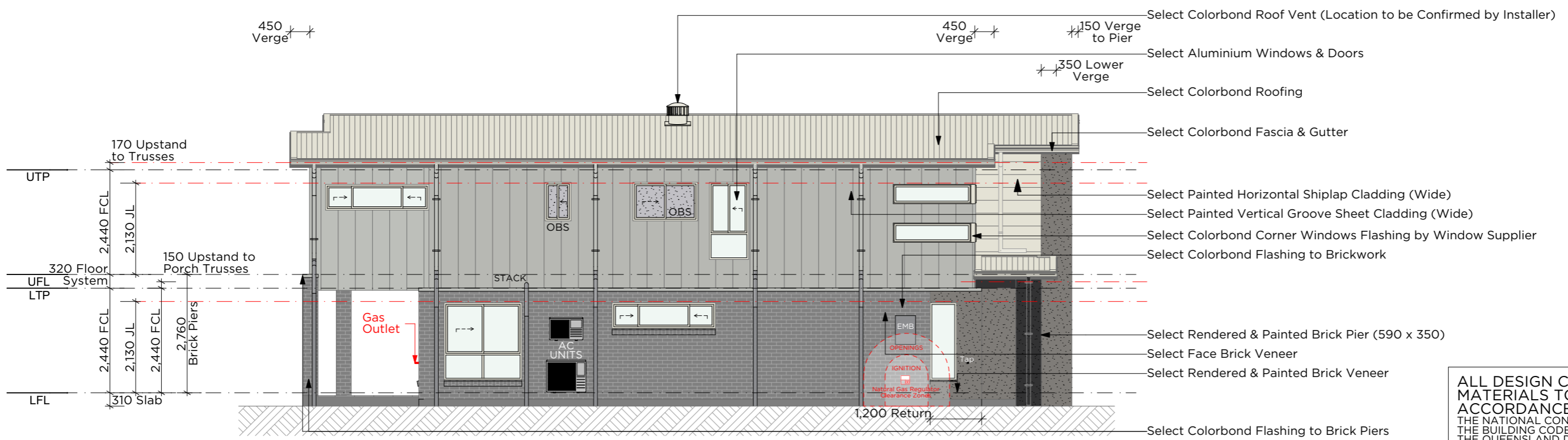
Elevation Rear
SCALE: 1:100

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE WITH:
 THE NATIONAL CONSTRUCTION CODE (NCC);
 THE BUILDING CODE OF AUSTRALIA (BCA);
 THE QUEENSLAND DEVELOPMENT CODE (QDC);
 BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS & POLICIES
 CURRENT ISSUES OF AUSTRALIAN STANDARDS
 CURRENT MANUFACTURERS SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED

I/ WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT INITIAL _____ INITIAL _____	ARIZONA - 245 - Drake (Cantilever) - project number: Standard Plan	Dimensions shall not be obtained by scaling. All dimensions are in millimeters unless noted otherwise. Setout dimensions shall be verified on site prior to any work being carried out. Any problems shall be directed to the builder for clarification & correction	REV. DETAILS INT DATE	client	drawing name: Elevations 1 of 2	wind class: TBA	flood level: TBA	scale: 1:100@A3
				project Lot TBA	project status: Contract Plans	soil class: TBA	BAL: TBA	revision:
				local authority TBA	cov: Small Lot Code	drawn: TDA	check: JDA	real property description: TBA
								date: 10:17 AM 05/03/2021



Elevation
Garage Side
SCALE: 1:100



Elevation
Entry Side
SCALE: 1:100

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				project Lot TBA	Elevations 2 of 2		TBA	TBA	1:100@A3
				local authority TBA	project status:		soil class:	BAL:	revision:
					Contract Plans		TBA	TBA	
					cov: Small Lot Code	drawn: TDA	real property description:	date:	
					check: JDA		TBA	05/03/2021	

ELECTRICAL SCHEDULE

2-WAY	2 Way Switch	2
	3 in 1 Light Combo (Heat, Fan, Light) - Externally Ducted	2
	Bunker Light - Wall Mount	1
	Ceiling Fan	7
DATA	DATA Outlet	1
	Electrical Meter Box	1
EXT-2	External GPO Double - 1000H - Alfresco	1
EXT	External GPO Single - 1000H - Hot Water System	1
2-AB	GPO Double - 1050H	4
2-W	GPO Double - 1800H	1
	GPO Double - 300H	10
2-USB	GPO Double with USB - 300H	2
2-AB USB	GPO Double with USB- 1050H	1
REF.	GPO Single - 1800H	1
W-RH	GPO Single - 1800H - Rangehood	1
	GPO Single - Ceiling Mounted - Panel Lift Door	1
DW	GPO Single - Under Bench - Dishwasher	1
MW	GPO Single - Under Bench - Microwave Oven	1
UBO	GPO Single - Under Bench - Under Bench Oven	1
	LED Downlight	30
	LED Osyster Light - Surface Mount	1
NBN-W	NBN Service Connection - 1800H	1
PH	Phone Point	1
PH AB	Phone Point - 1050H	1
	Smoke Alarm	7
TV	TV Outlet	3
		84

ELECTRICAL APPLIANCE LEGEND

	Fridge Space Only - Owner to Supply	1
	Haier 2.5kW Indoor A.C. Unit	1
	Haier 2.5kW Outdoor A.C. Unit	1
	Haier 7.0kW Indoor A.C. Unit	1
	Haier 7.0kW Outdoor A.C. Unit	1
	IAG 600mm Dishwasher - GDS14	1
	IAG 900mm Gas Cooktop - ICD9SG6	1
	IAG 900mm Oven - IOM9SE4	1
	IAG 900mm Slideout Rangehood - RS9S - Externally Ducted	1
	RINNIA Infinity 20 Litre Continuous Gas Hot Water System	1
	Washing Machine Space Only - Owner to Supply	1
		11

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE WITH:
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ELECTRICAL NOTES:

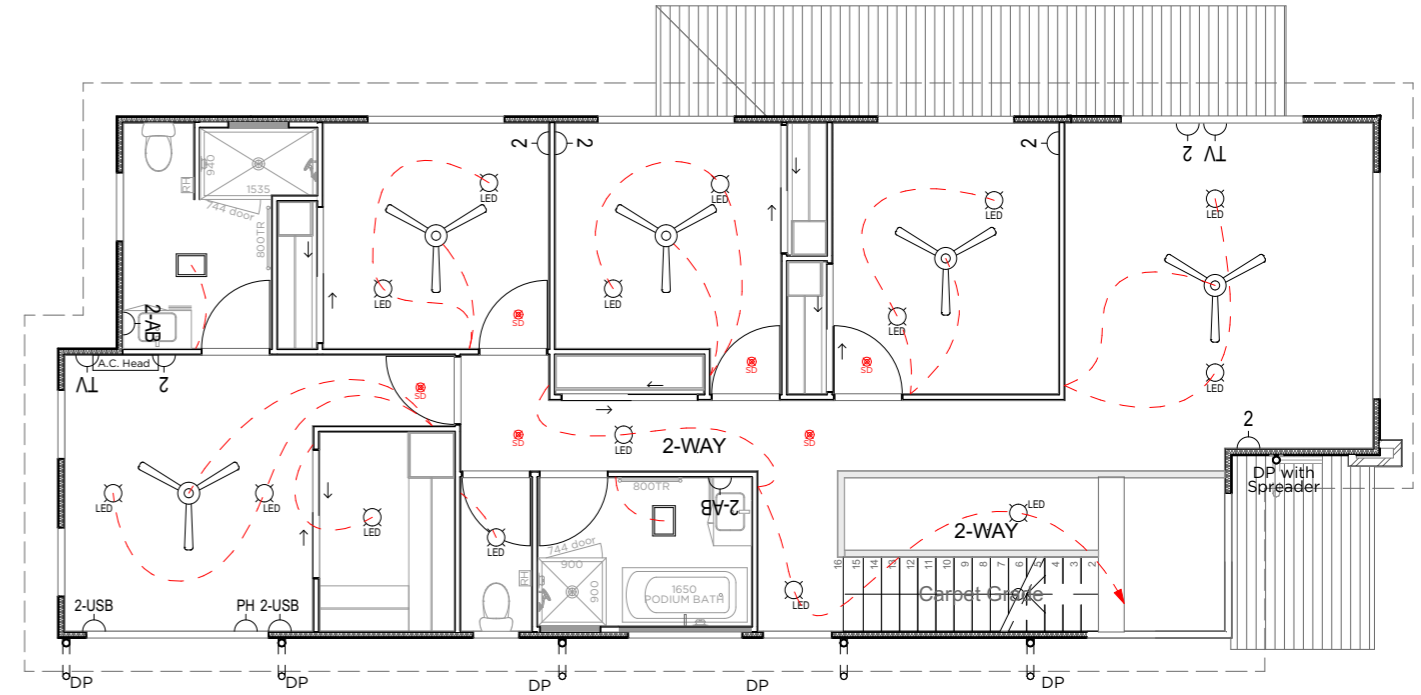
- All Electrical work carried out to comply with AS3000 - 2007
- All external power points to be weather-proof
- All Electrical points T.B.C on site by client and electrician
- PROVIDE 80% min. ENERGY EFFICIENT LIGHTING as per QDC guidelines.

NOTE:
SMOKE ALARMS TO COMPLY WITH THE BUILDING REGULATIONS 06 PART 3A, FIRE & EMERGENCY SERVICES BILL 2016 & NCC

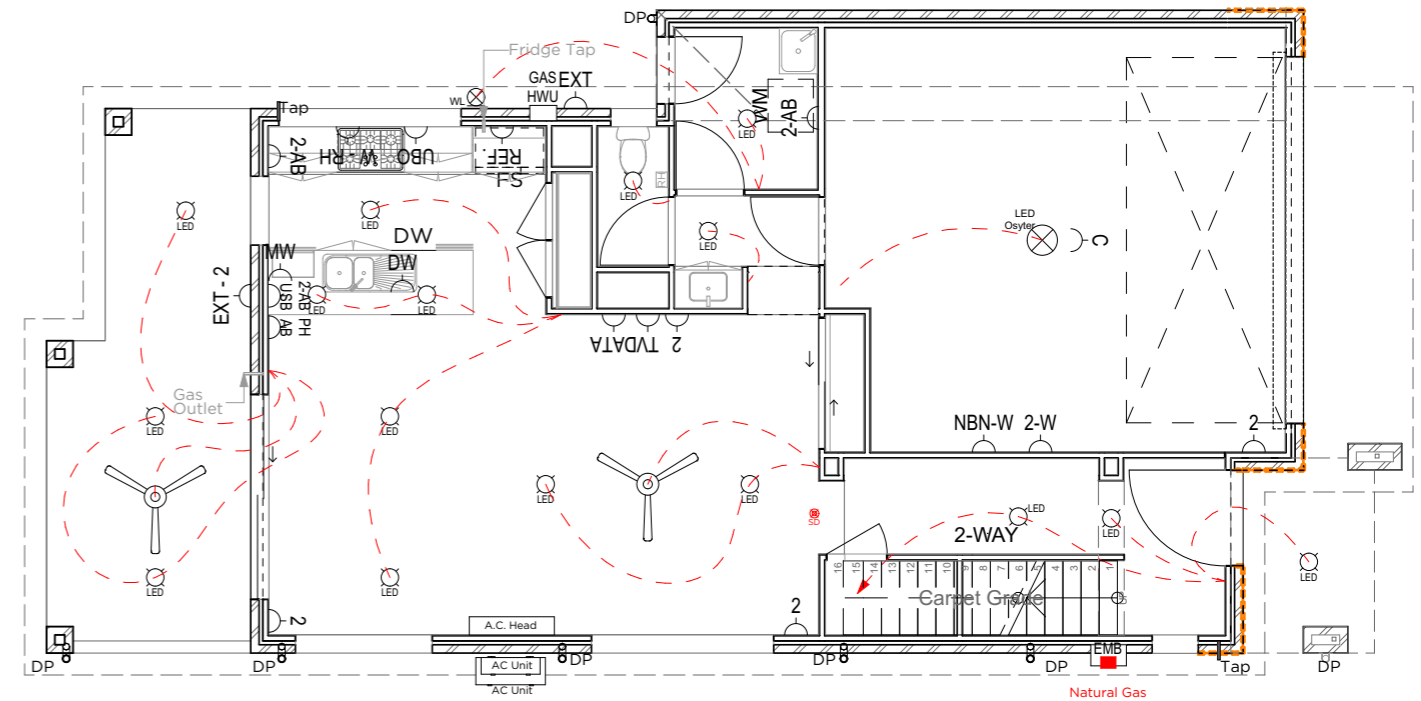


NOTE:
EXHAUST FANS TO BE EXTERNALLY DUCTED AS PER N.C.C. REGULATIONS

NOTE:
Section 3.12.3.3
An external door, internal door or between a class 1 & unconditioned class 10 shall have seal installed to the bottom of the door; and form or rubber edges to the other sides or edges



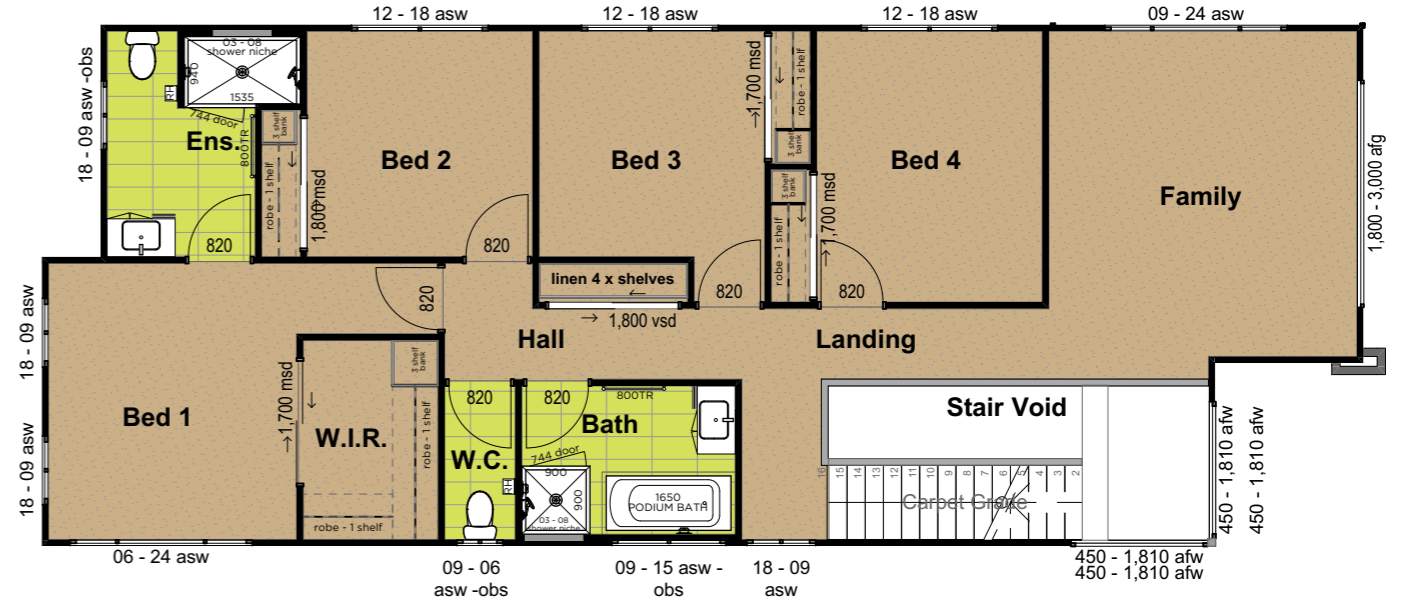
Plan Electrical - Upper
 SCALE: 1:100



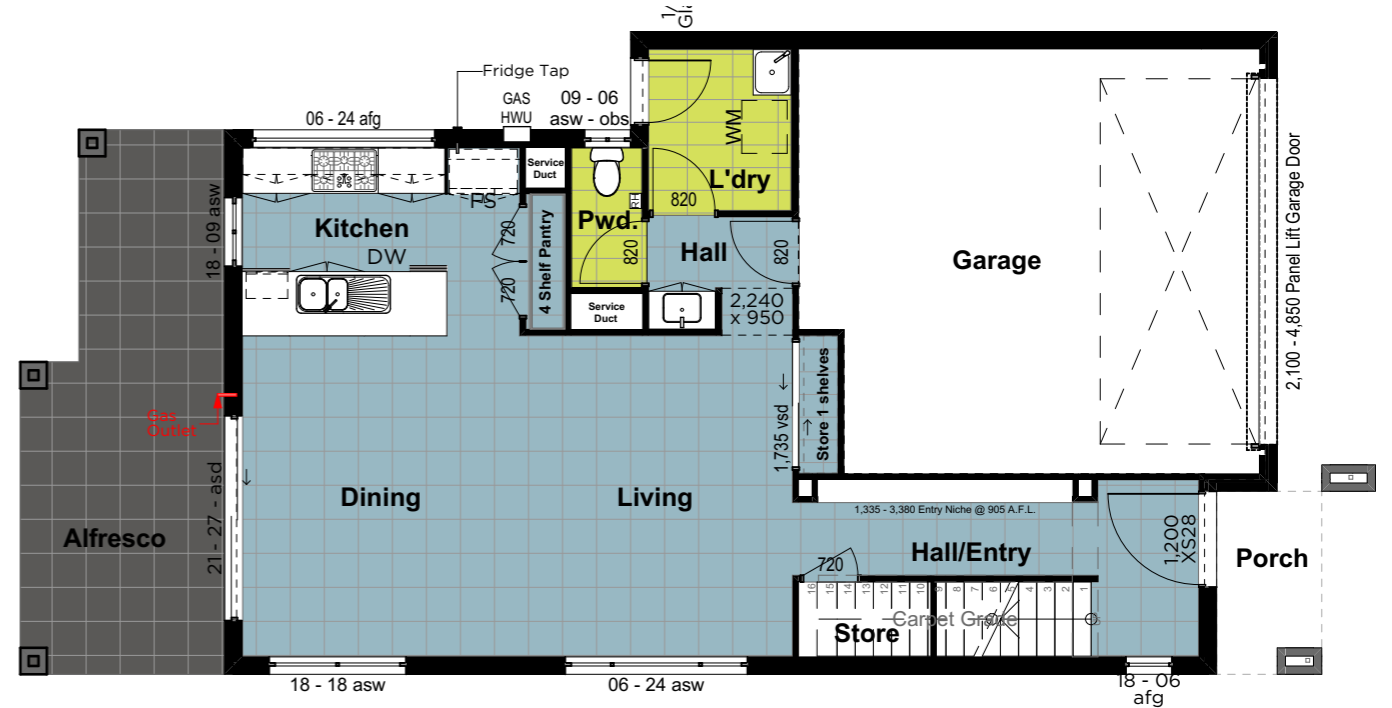
Plan Electrical - Lower
 SCALE: 1:100

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INITIAL	INITIAL			local authority TBA	project status: Contract Plans	soil class: TBA	BAL: TBA	revision:						
								cov: Small Lot Code	drawn: TDA	check: JDA	real property description: TBA			date: 10:18 AM 05/03/2021

FINISH FLOOR MATERIAL SCHEDULE		
FLOOR TYPE	ROOM	AREA
Carpet	Bed 1	13.71
Carpet	Bed 1 - W.I.R.	4.67
Carpet	Bed 2	8.88
Carpet	Bed 2 - robe	0.98
Carpet	Bed 3	9.44
Carpet	Bed 3 - robe	0.89
Carpet	Bed 4	10.67
Carpet	Bed 4 - robe	0.88
Carpet	Linen	1.00
Carpet	Living - Upper	27.55
		78.67 m
External Tile	Alfresco	16.74
		16.74 m
Main Floor Tile	Laundry	4.00
Main Floor Tile	Living - Lower	48.18
Main Floor Tile	Store	0.93
		53.11 m
Wet Area Floor Tile	Bathroom	4.44
Wet Area Floor Tile	Ensuite	6.20
Wet Area Floor Tile	Powder	1.72
Wet Area Floor Tile	W.C.	1.90
		14.26 m
		162.78 m



Plan
Floor Covering - Upper
SCALE: 1:100



Plan
Floor Covering - Lower
SCALE: 1:100

NOTE:
Fixtures, Fittings and Tile Layout remains at the builders discretion and may differ from the plans provided due to site conditions.

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INITIAL	---									project Lot TBA	contract status: Contract Plans	soil class: TBA	BAL: TBA	revision:
INITIAL	---									local authority TBA	cov: Small Lot Code	drawn: TDA	check: JDA	real property description: TBA
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