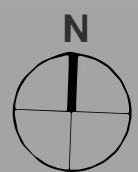
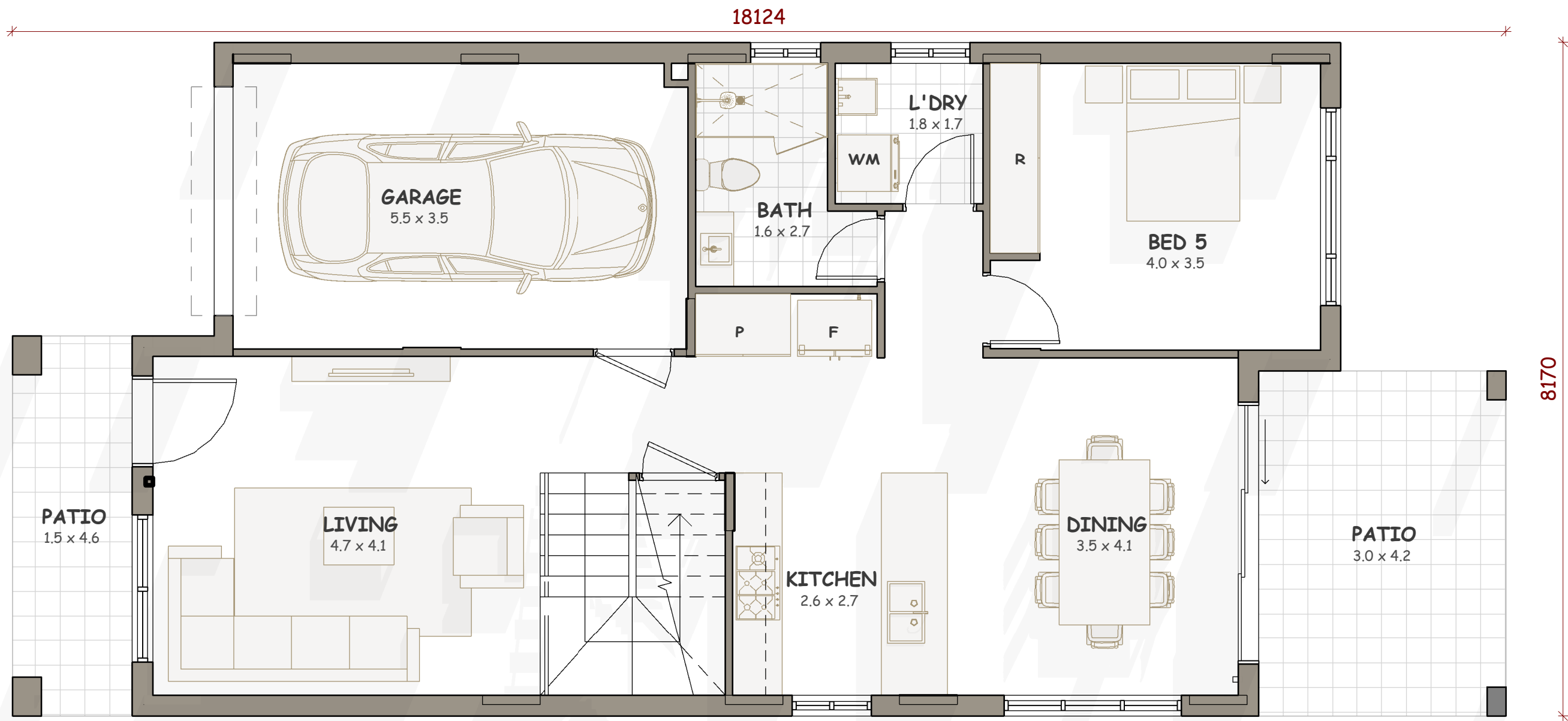


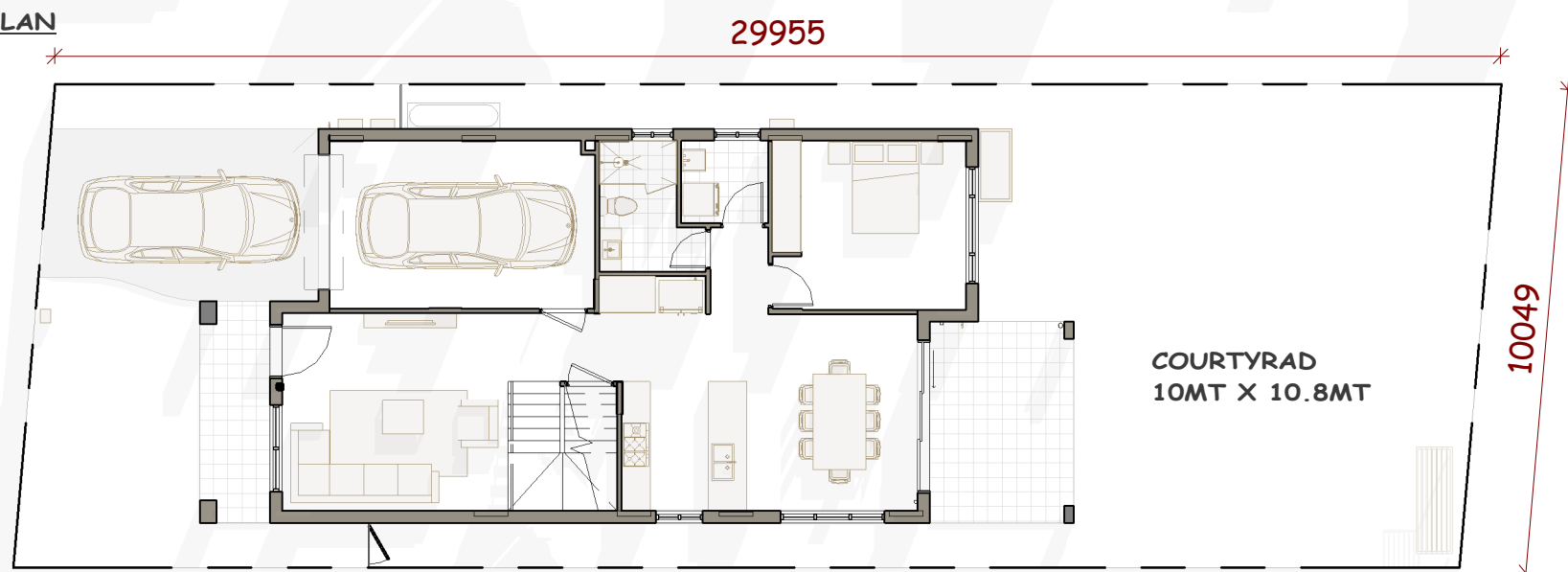
SITE PLAN




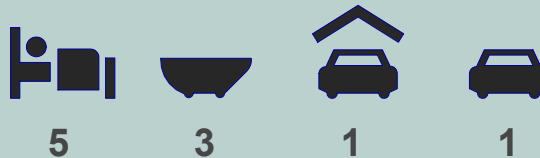
74-78 HAMBLEDON ROAD  
THE PONDS

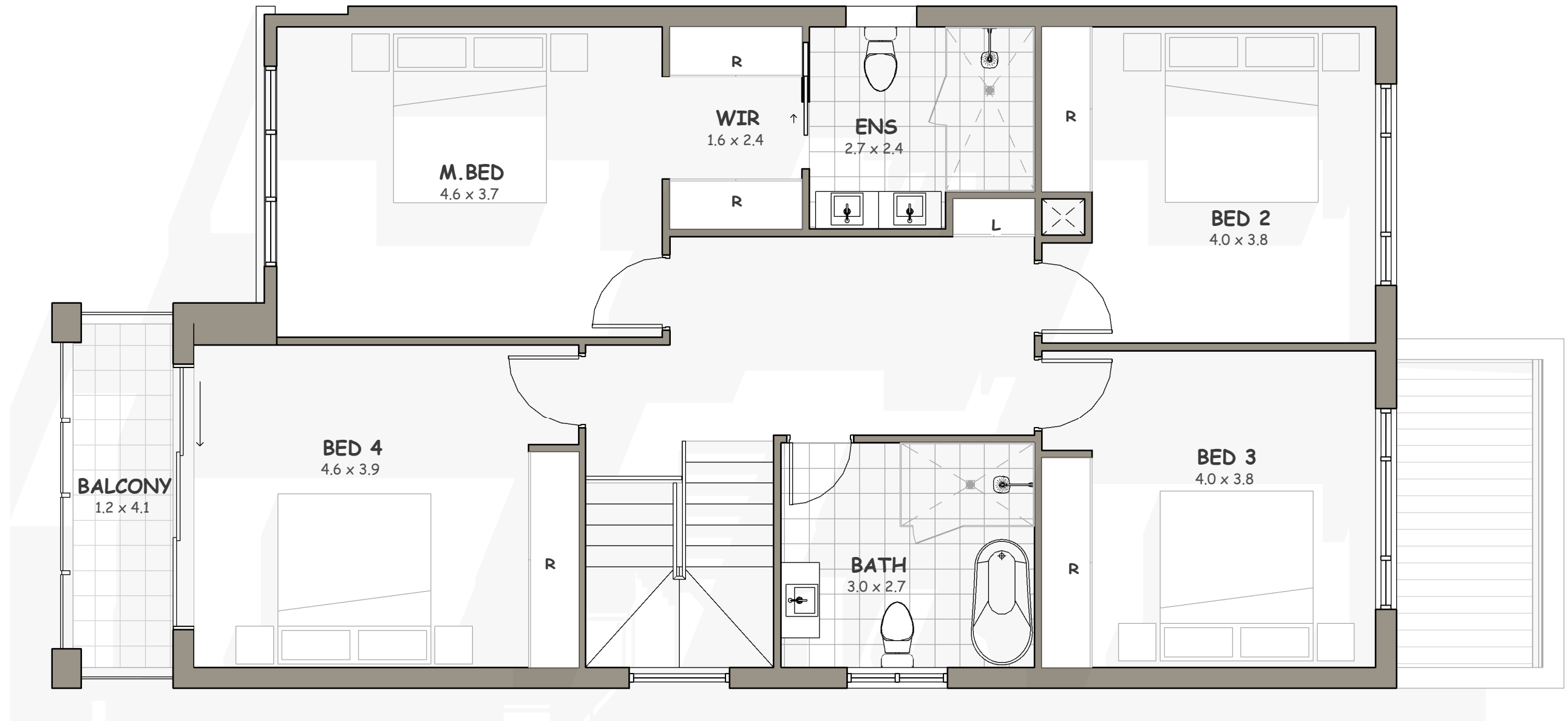


GROUND FLOOR PLAN



LOT PLAN

 <div><div>www.bathla.com.au</div><div>Area quoted to be used as guide only. This plan is for illustration purposes only. All information contained is gathered from sources deemed to be reliable. We have no doubt it is accurate however we cannot guarantee it. Areas are subject to final survey. Layout may change due to final council approval. The marketing plan and strata plan area will vary because of the different methods of calculation adopted. The marketing plan area is based on the floor areas while the strata plan area is based on Strata Schemes (Freehold Development) Act 1973. Note: Store(S), Robe(R), Linen(L), Bath fixtures, Laundry fixtures &amp; Kitchen joinery fixtures, form part of sales package. TV and other items such as credenza, sofa, study desk, TV units &amp; beds are not included as part of sale. Windows and doors sizes are indicative and subject to change based on legislative approval.</div></div>	LOT 56 79 BEAUCHAMP DRIVE THE PONDS	<div><div></div><div>5311</div><div>DOUBLE STOREY SINGLE GARAGE</div></div>	TOTAL LAND AREA - 300 m <sup>2</sup> ( 10 MT X 25 MT )		
			Ground Floor ( Incl. Garage,Porch and Patio )	131 m <sup>2</sup>	14.1 Squares
			First Floor (Incl. Balcony)	123 m <sup>2</sup>	13.2 Squares
			Open space (Incl. Back & Front Courtyard)	169 m <sup>2</sup>	
			TOTAL AREAS:- (GROUND FLOOR + FIRST FLOOR AREA) (SQUARES AND m <sup>2</sup> )	254 m <sup>2</sup>	27.3 Squares



**FIRST FLOOR PLAN**  
**LOT 56**





**DISCLAIMER:-** Facade Images are for illustrative purposes only. All other features demonstrated in photographs and renderings are optional upgrades to the standard façade and are outside the Bathla group's standard inclusion. External finishes may have colour variations. Internal fixtures, furniture, or any decorative elements shown on the image are not included. Illustrative image shown is not to scale and may differ from the Original plan. Retaining walls as per site levels can be added while construction.

**CONCEPTUAL ELEVATION**

**LOT 56  
79 BEAUCHAMP DRIVE  
THE PONDS.  
NSW**