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- NOTES:**
- Dimensions are to be verified prior to commencement of work.
  - Given dimensions are to have priority to scaled dimensions.
  - All ground levels are approximate only.
  - All plumbing and draining is to comply with standard sewerage by-laws and requirements of the local authority.
  - All stairs are to have 190mm max risers and 240mm min goings.
  - All works are to be constructed in accordance with the current National Construction Code Suite, Building Code of Australia, the current Australian Standards and all relevant current trade and technical manuals.
  - Disclaimer: Driveway, paths, clothes lines, storm water lines, landscaping, letter box, hot water system & ground pits are diagrammatic only.
  - All downpipes to be installed in accordance with the current Building Code of Australia 3.5.2.5. Each downpipe must not serve more than 12m of gutter length.
  - Site excavation shall be such that 1000mm wide by 1:20 grade exists around perimeter of building as per the current Building Code of Australia 3.1.2.3 Surface Water Drainage.
  - Owner to provide/install site drainage after hand over as required.
  - Driveway & path by Vantage Homes. Vantage Homes to apply and seek all approvals for the driveway, pay all bonds and have a final inspection.
  - Land to be levelled to site house. Slab to be 200mm minimum above finished ground level.
  - Stormwater system to local council requirements.
  - Final detail dimensions are to be decided on site.

**RISK ASSESSMENT:**

Risk Identification:  
No buildability risk has been identified with this design.

Actions:  
Build to work method statements.

**REAL PROPERTY DESCRIPTION**

**LOT NUMBER:**  
**SP:**  
**PARISH:**  
**COUNTY:**  
**LOCAL AUTHORITY:**

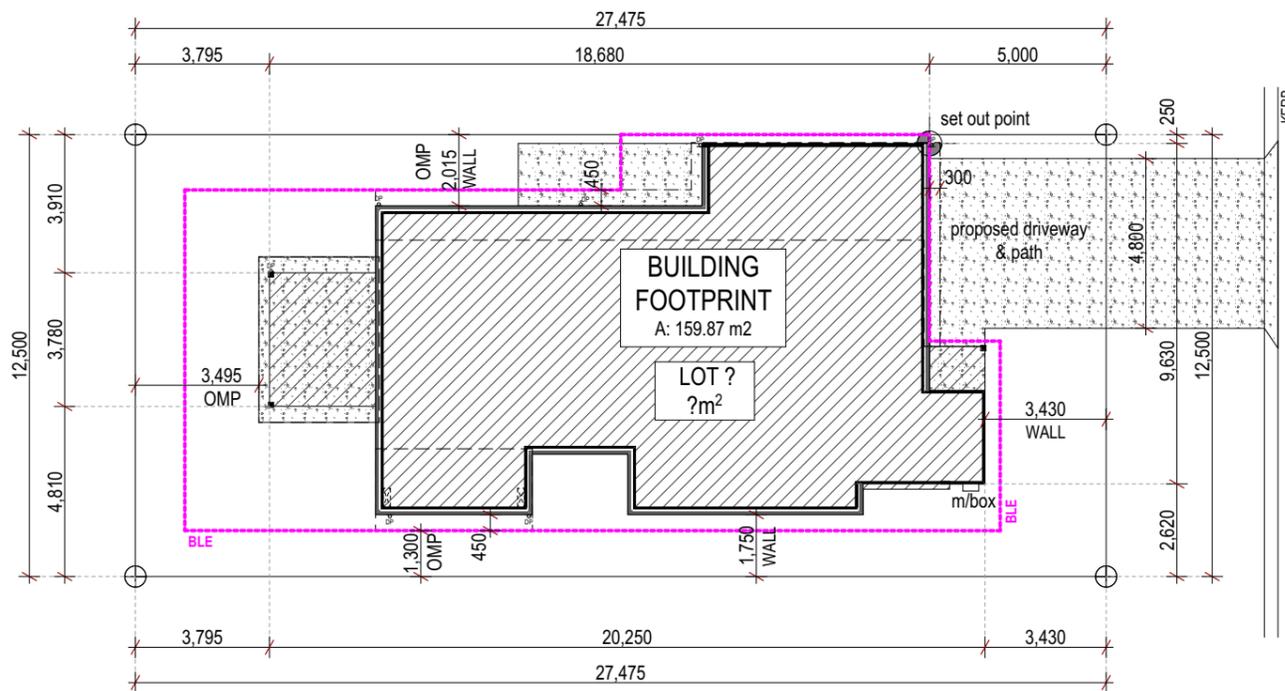
**SITE AREA: m<sup>2</sup>**  
**SITE COVERAGE: 00.00%**

**IMPORTANT NOTE:**

Levels NOT provided.  
Please refer to engineers details

**NOTE:**

Generic site plan only. Setbacks to be confirmed upon receipt of Lot Number and Covenant requirements.



Common property

Scale 1:200



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REVISION	DATE	AMENDMENTS	DRAFTING TECH.
(A)	XX/XX/XX	PRELIMINARY	INI

**CLIENT**  
**VANTAGE HOMES QLD**

**PROJECT**  
**PROPOSED RESIDENCE**  
3/17 DUPORTH AVENUE  
MAROOCHYDORE  
QLD 4558

**DRAWING TITLE:**  
**SITE PLAN**

**HOUSE DESIGN:**  
**QUALIA 262 (4BED)**

**SALES**

AREA CALCULATION	m <sup>2</sup>
ALFRESCO	15.44
GARAGE	36.44
GROUND FLOOR	110.10
PORCH	1.96
UPPER FLOOR	98.65
<b>TOTAL</b>	<b>262.59</b>

DATE: XX/XX/XXXX	PROJECT NO: <b>VAN-001</b>
DRAWN BY:	DRAWING NO: 1 of 13
CHECKED BY:	SCALE: 1:200 @ A3
APPROVED BY:	ISSUE: (A)
PLOT DATE: 15/05/2020	



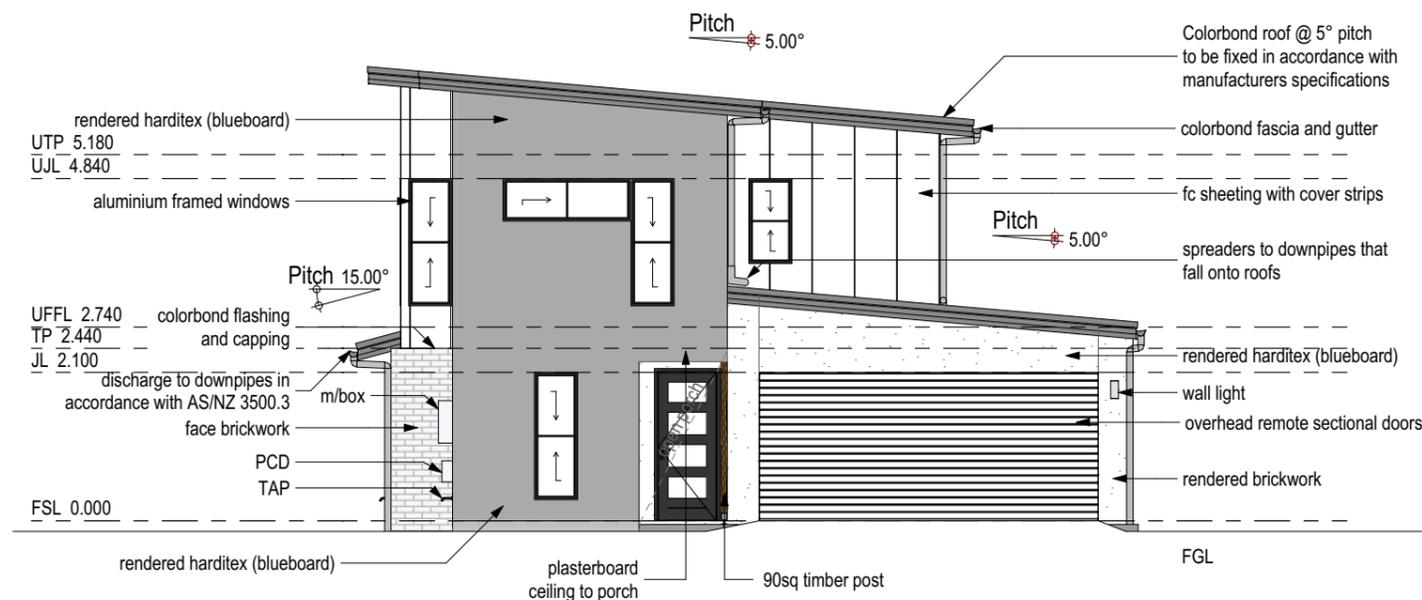


**FEATURE COLOURS NOTE:**

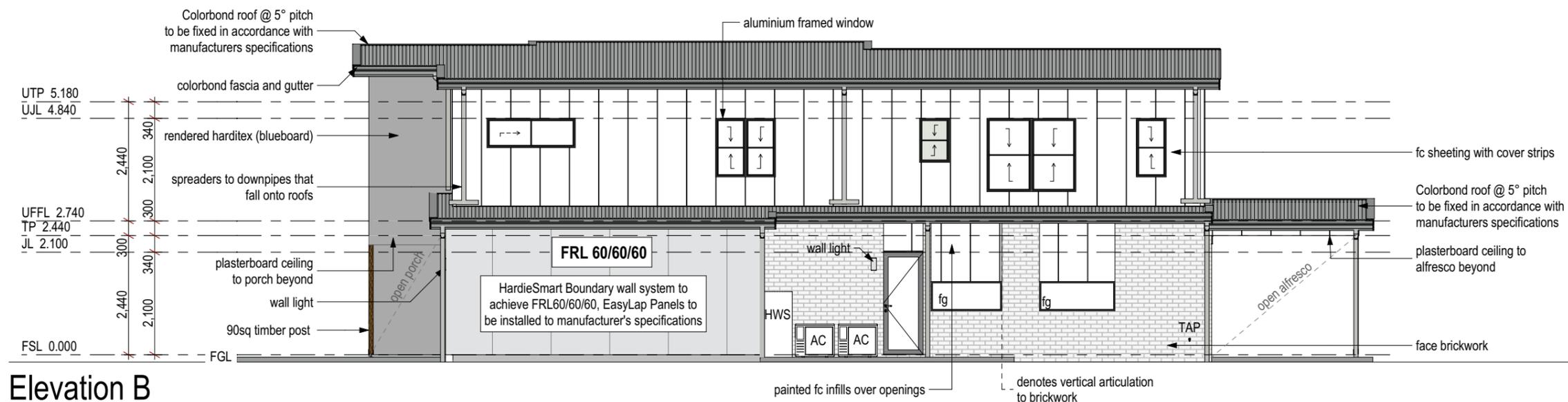
- (A) denotes main paint colour - refer spec.
- (B) denotes feature paint colour - refer spec.
- (C) denotes feature cladding - refer spec.
- (D) denotes face brickwork - refer spec.

**Roof colour -**

\*Please refer to specifications for all other colours including downpipes, front door frame and garage door jamb.



**Elevation A**



**Elevation B**

NOTE:  
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MAROOCHYDORE  
QLD 4558

DRAWING TITLE:  
**ELEVATIONS A&B**

HOUSE DESIGN:  
**QUALIA 262 (4BED)**

**SALES**

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GARAGE	36.44
GROUND FLOOR	110.10
PORCH	1.96
UPPER FLOOR	98.65
<b>TOTAL</b>	<b>262.59 m<sup>2</sup></b>

DATE: XX/XX/XXXX	PROJECT NO: <b>VAN-001</b>
DRAWN BY:	DRAWING NO: 4 of 13
CHECKED BY:	SCALE: 1:100 @ A3
APPROVED BY:	ISSUE: (A)
PLOT DATE: 15/05/2020	

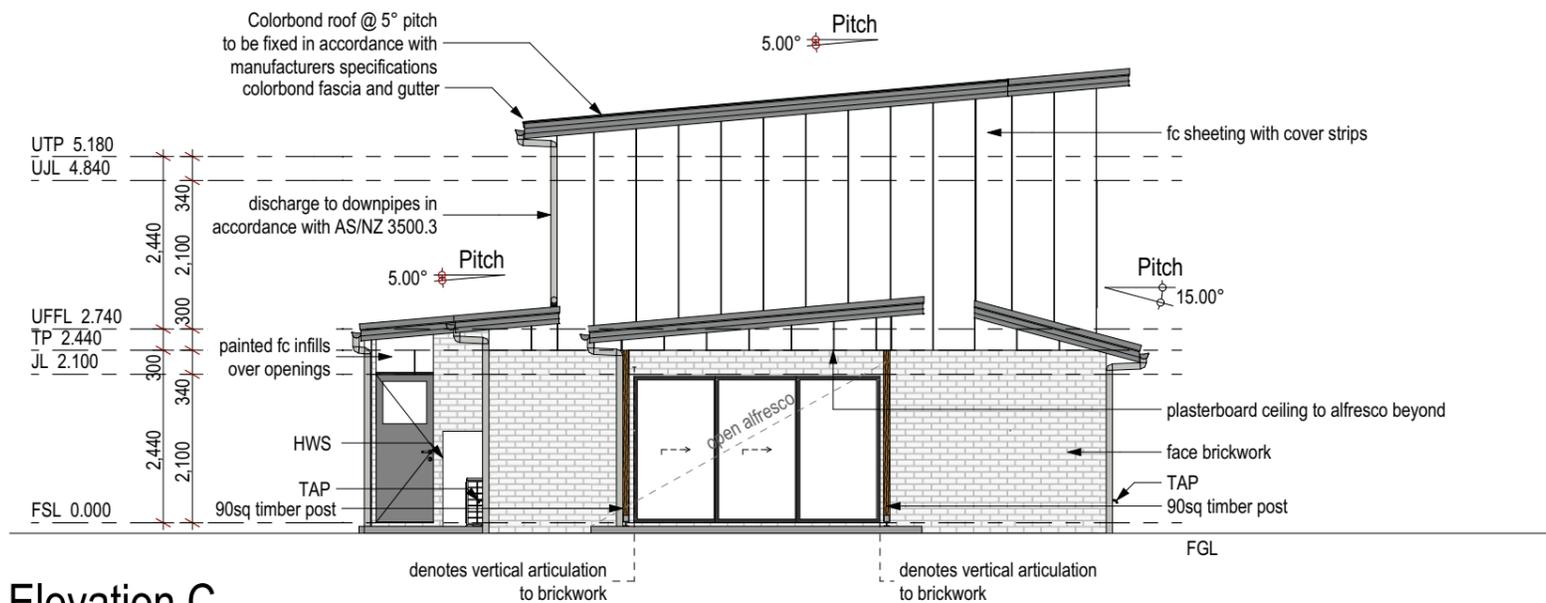


**FEATURE COLOURS NOTE:**

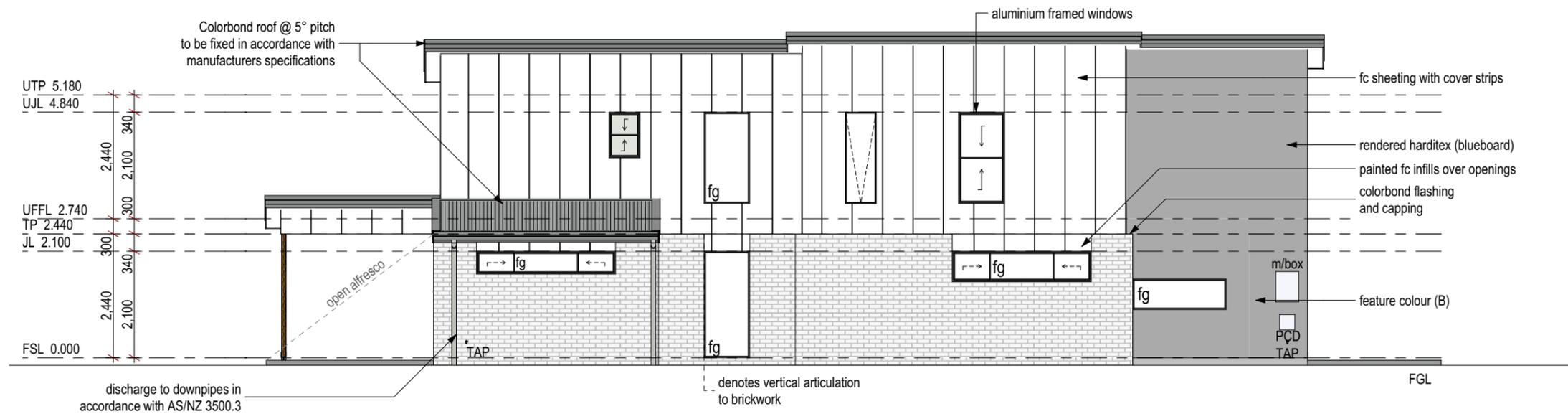
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- (D) denotes face brickwork - refer spec.

**Roof colour -**

\*Please refer to specifications for all other colours including downpipes, front door frame and garage door jamb.



**Elevation C**



**Elevation D**

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PROJECT  
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MAROOCHYDORE  
QLD 4558

DRAWING TITLE:  
**ELEVATIONS C&D**

HOUSE DESIGN:  
**QUALIA 262 (4BED)**

**SALES**

AREA CALCULATION	m <sup>2</sup>
ALFRESCO	15.44
GARAGE	36.44
GROUND FLOOR	110.10
PORCH	1.96
UPPER FLOOR	98.65
<b>TOTAL</b>	<b>262.59 m<sup>2</sup></b>

DATE: XX/XX/XXXX	PROJECT NO: <b>VAN-001</b>
DRAWN BY:	DRAWING NO: 5 of 13
CHECKED BY:	SCALE: 1:100 @ A3
APPROVED BY:	ISSUE: (A)
PLOT DATE: 15/05/2020	



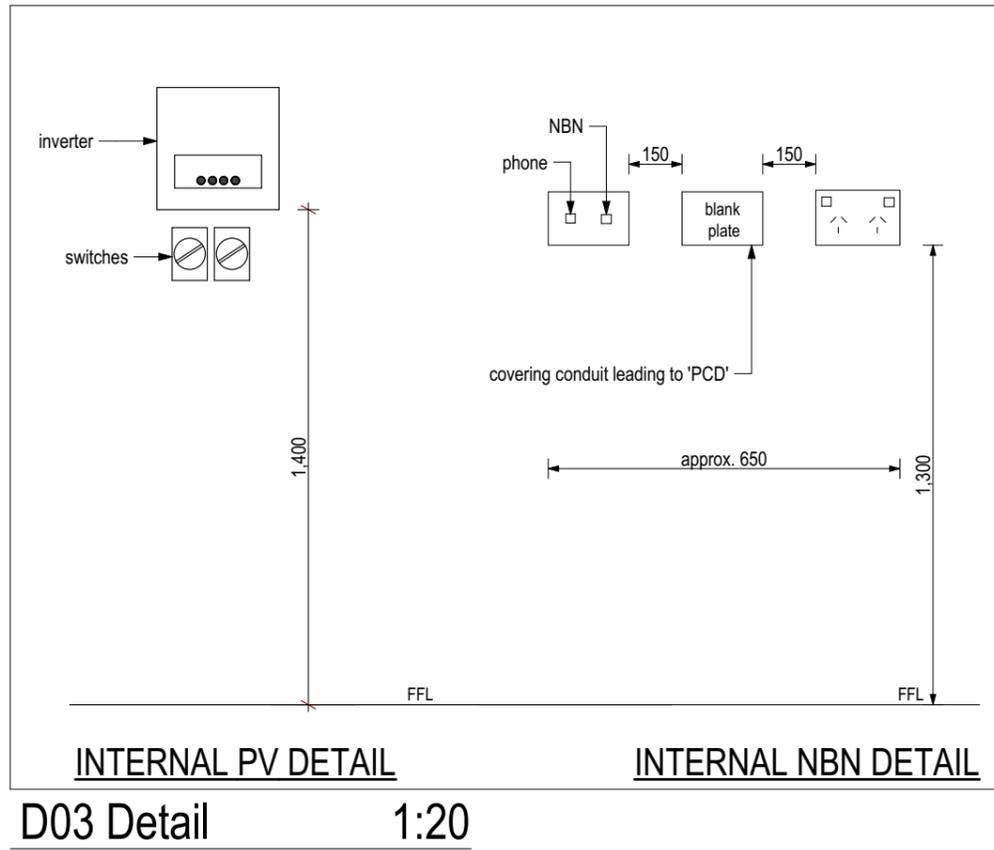
**IMPORTANT NOTE:**

Positioning of electrical fixtures subject to structural & service elements.  
Final location to be determined on-site.

All Electrical work carried out to comply with AS3000 - 2007

NOTE: All smoke alarms to be photo electric, inter-connected and hard wired.

**3.0kW Photovoltaic Power System**  
with 10 x 270W panels & single phase inverter  
- to be installed in accordance with manufacturer's instructions  
- location of panels and inverter to be determined by installer



Electrical Legend		
2D Symbol	Quantity	Library Part Name
AC	2	A. AIR CONDITIONING CONDENSOR
AC	2	A. AIR CONDITIONING UNIT INT
F	8	F. CEILING FAN
F	4	F. EXHAUST FAN
L	1	L. 1x36W BLADE BATTEN LED LIGHT
L	1	L. CLIENT SUPPLIED LIGHT
L	45	L. DOWNLIGHT RECESSED
L	1	L. RECESSED STAIR WALL LIGHT
L	1	L. WALL LIGHT DOWN, EXT GRADE
L	1	L. WALL LIGHT UP-DOWN, EXT GRADE
L	1	L. WALL LIGHT, BATTEN HOLDER
O	26	O. GPO DOUBLE
O	1	O. GPO DOUBLE WEATHER PROOF
O	1	O. GPO DOUBLE with USB Port
O	6	O. GPO SINGLE
O	2	O. NATIONAL BROAD BAND POINT
O	3	O. TELEPHONE POINT
O	4	O. TV POINT
S	11	S. LIGHT SWITCH
S	12	S. LIGHT SWITCH - 2 WAY
S	10	S. PV PANEL
S	1	S. SOLAR INVERTER
U	1	U. HOT WATER SYSTEM
U	7	U. SMOKE DETECTOR

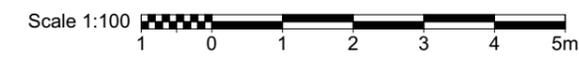
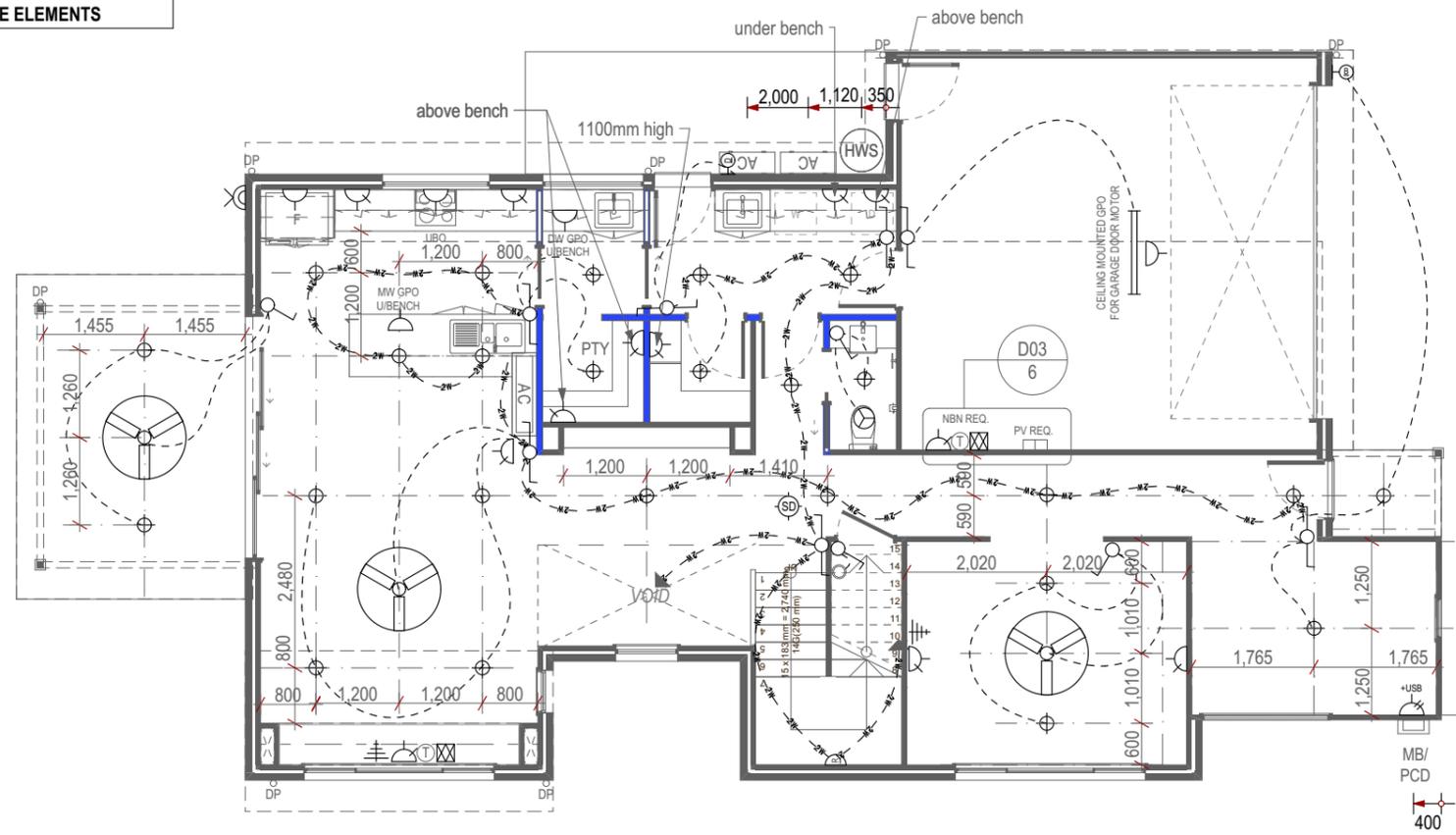


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REVISION	DATE	AMENDMENTS	DRAFTING TECH.
(A)	XX/XX/XX	PRELIMINARY	INI

**FINAL LOCATION OF ELECTRICAL  
FIXTURES TO BE DETERMINED ON  
SITE SUBJECT TO STRUCTURAL AND  
SERVICE ELEMENTS**



CLIENT  
**VANTAGE HOMES QLD**

PROJECT  
**PROPOSED RESIDENCE**  
3/17 DUPORTH AVENUE  
MAROOCHYDORE  
QLD 4558

DRAWING TITLE:  
**ELECTRICAL PLAN GROUND**

HOUSE DESIGN:  
**QUALIA 262 (4BED)**

SALES	
AREA CALCULATION	m <sup>2</sup>
ALFRESCO	15.44
GARAGE	36.44
GROUND FLOOR	110.10
PORCH	1.96
UPPER FLOOR	98.65
	262.59 m <sup>2</sup>

DATE:	XX/XX/XXXX	PROJECT NO:	<b>VAN-001</b>
DRAWN BY:		DRAWING NO:	6 of 13
CHECKED BY:		SCALE:	1:100 @ A3
APPROVED BY:		ISSUE:	(A)
PLOT DATE:	15/05/2020		

**IMPORTANT NOTE:**

Positioning of electrical fixtures subject to structural & service elements.  
Final location to be determined on-site.

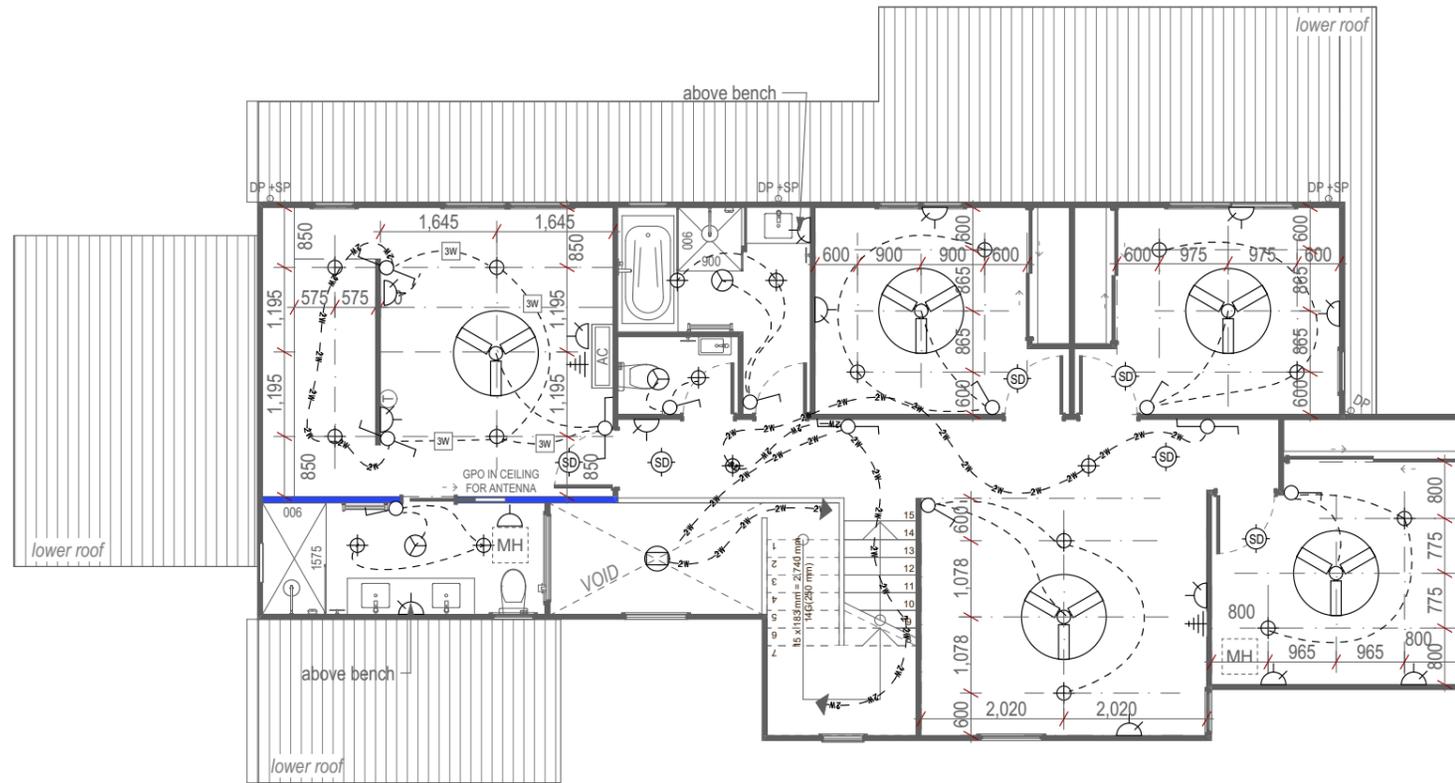
All Electrical work carried out to comply with AS3000 - 2007

NOTE: All smoke alarms to be photo electric, inter-connected and hard wired.

**3.0kW Photovoltaic Power System**

with 10 x 270W panels & single phase inverter  
- to be installed in accordance with manufacturer's instructions  
- location of panels and inverter to be determined by installer

**FINAL LOCATION OF ELECTRICAL FIXTURES TO BE DETERMINED ON SITE SUBJECT TO STRUCTURAL AND SERVICE ELEMENTS**



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REVISION	DATE	AMENDMENTS	DRAFTING TECH.
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CLIENT  
**VANTAGE HOMES QLD**

PROJECT  
**PROPOSED RESIDENCE**  
3/17 DUPORTH AVENUE  
MAROOCHYDORE  
QLD 4558

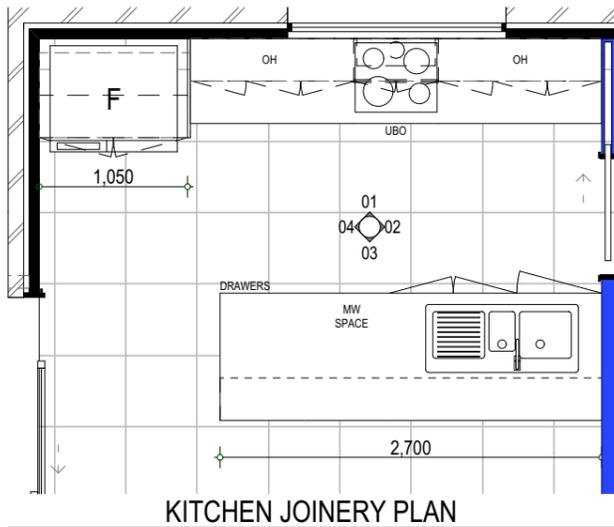
DRAWING TITLE:  
**ELECTRICAL PLAN UPPER**

HOUSE DESIGN:  
**QUALIA 262 (4BED)**

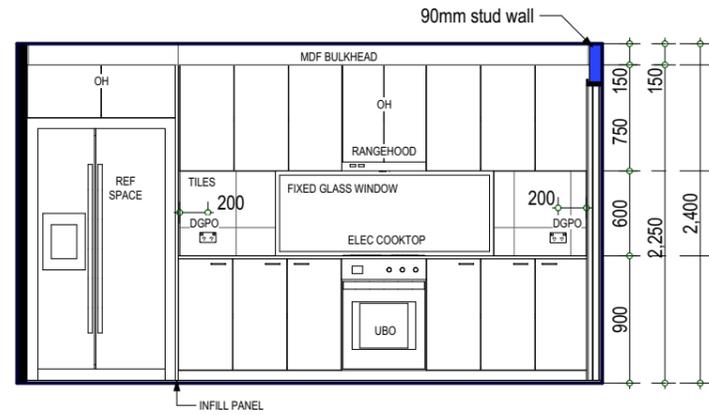
SALES	
AREA CALCULATION	m <sup>2</sup>
ALFRESCO	15.44
GARAGE	36.44
GROUND FLOOR	110.10
PORCH	1.96
UPPER FLOOR	98.65
	262.59 m <sup>2</sup>

DATE:	XX/XX/XXXX	PROJECT NO:	<b>VAN-001</b>
DRAWN BY:		DRAWING NO:	7 of 13
CHECKED BY:		SCALE:	
APPROVED BY:		ISSUE:	(A)
PLOT DATE:	15/05/2020		

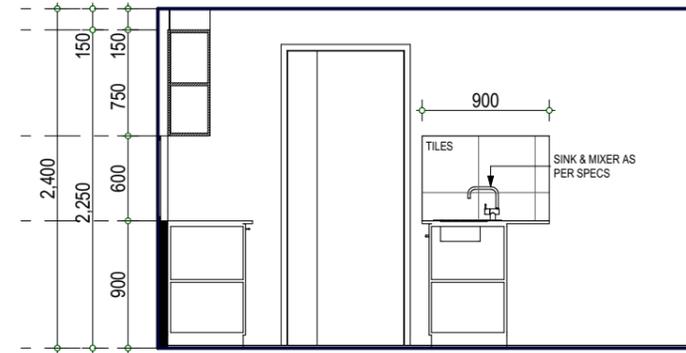




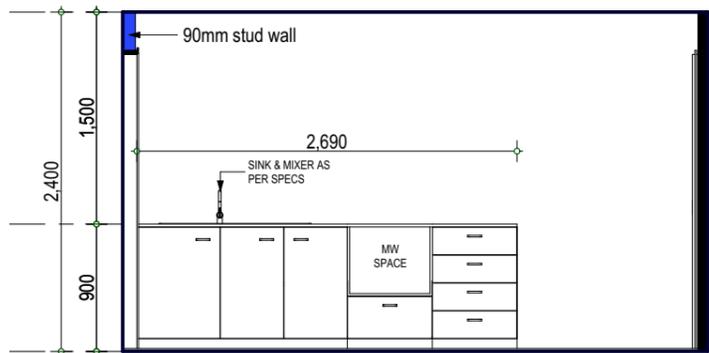
KITCHEN JOINERY PLAN



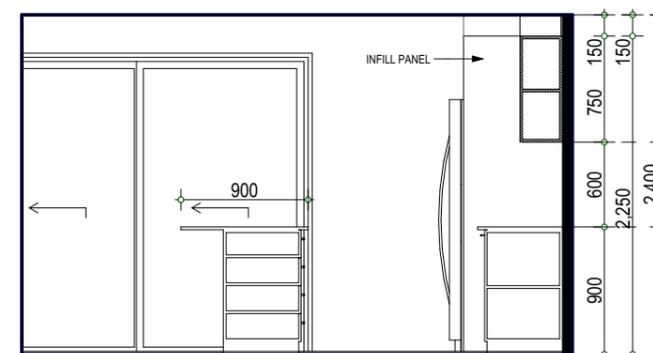
01 KITCHEN



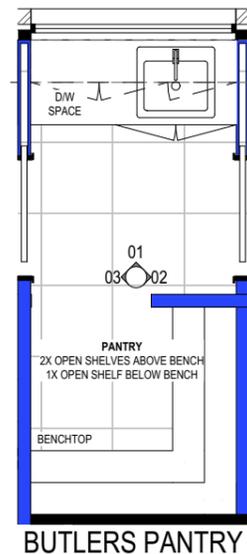
02 KITCHEN



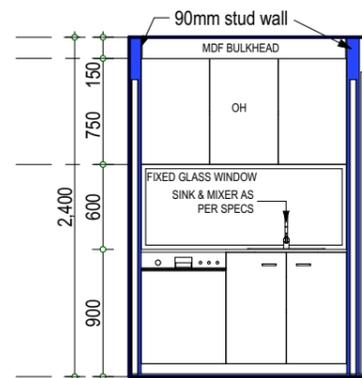
03 KITCHEN



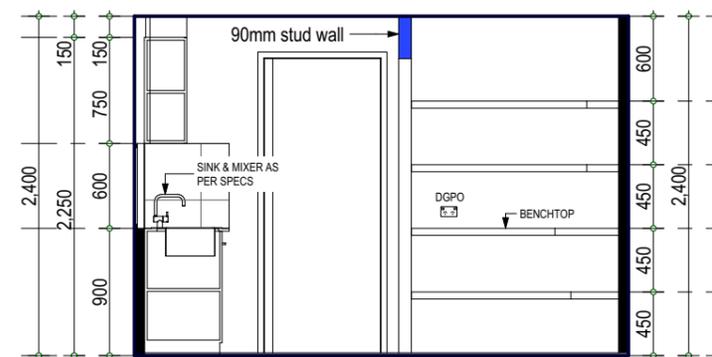
04 KITCHEN



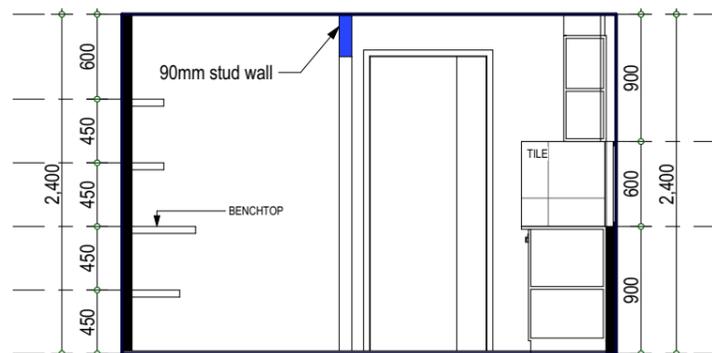
BUTLERS PANTRY



01 BUTLERS PANTRY



02 BUTLERS PANTRY



03 BUTLERS PANTRY

**LEGEND:**

- C.O.W. clear open width
- C.O.S. check on site
- EQ equal
- OH overhead
- PTY pantry
- UBO under bench oven
- L.B.W load bearing wall
- PDR powder room
- WIP walk-in pantry
- WIL walk-in linen
- BRM broom cupboard

FINAL DETAIL DIMENSIONS ARE TO BE DECIDED ON SITE



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REVISION	DATE	AMENDMENTS	DRAFTING TECH.
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CLIENT  
**VANTAGE HOMES QLD**

PROJECT  
**PROPOSED RESIDENCE**  
3/17 DUPORTH AVENUE  
MAROOCHYDORE  
QLD 4558

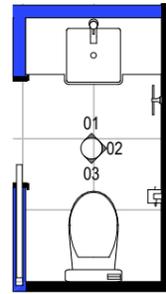
DRAWING TITLE:  
**JOINERY - KITCHEN & BUTL. PTY**

HOUSE DESIGN:  
**QUALIA 262 (4BED)**

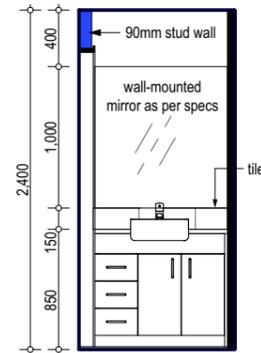
**SALES**

AREA CALCULATION	m <sup>2</sup>
ALFRESCO	15.44
GARAGE	36.44
GROUND FLOOR	110.10
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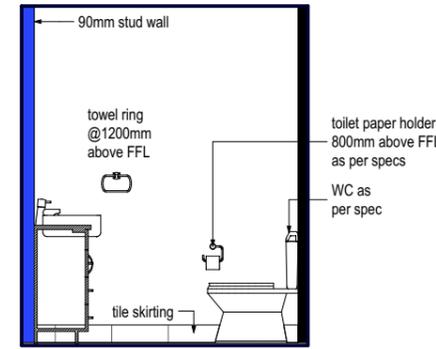
DATE: XX/XX/XXXX	PROJECT NO: <b>VAN-001</b>
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CHECKED BY:	SCALE: 1:50 @ A3
APPROVED BY:	ISSUE: (A)
PLOT DATE: 15/05/2020	



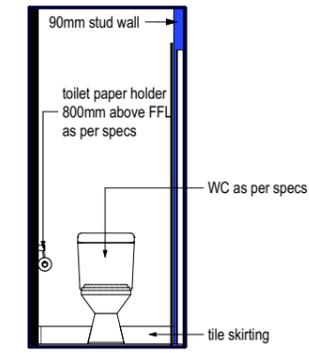
GF POWDER ROOM



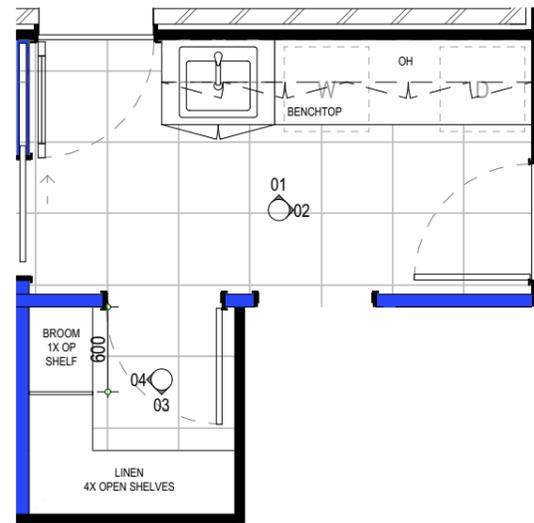
01 GF POWDER ROOM



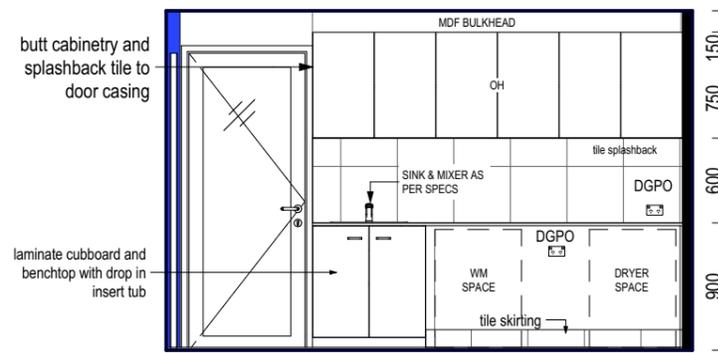
02 GF POWDER ROOM



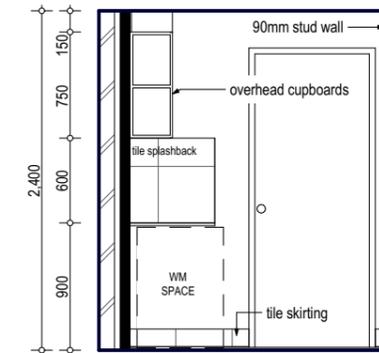
03 GF POWDER ROOM



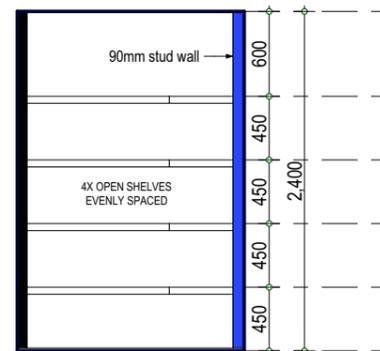
LAUNDRY & LINEN



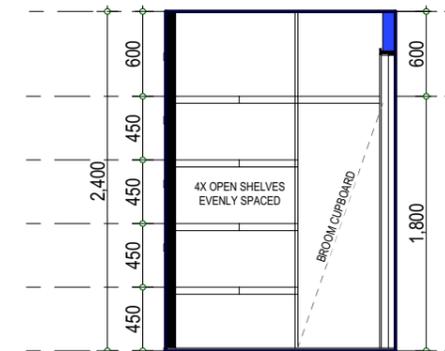
01 LAUNDRY



02 LAUNDRY



03 WALK IN LINEN



04 WALK IN LINEN

**LEGEND:**

- C.O.W. clear open width
- C.O.S. check on site
- EQ equal
- OH overhead
- PTY pantry
- UBO under bench oven
- L.B.W load bearing wall
- PDR powder room
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**PROPOSED RESIDENCE**  
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MAROOCHYDORE  
QLD 4558

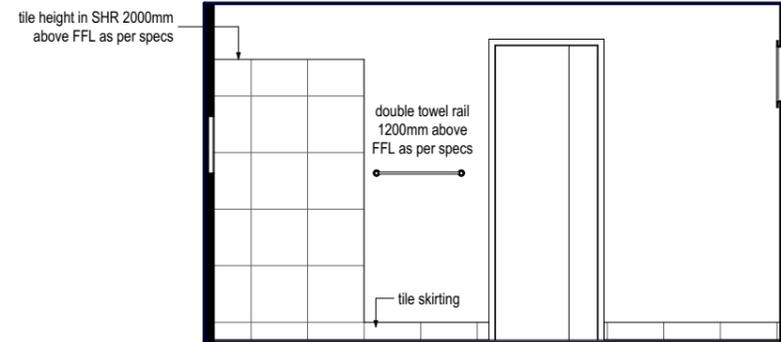
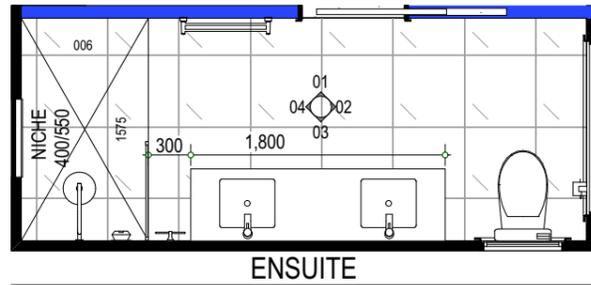
DRAWING TITLE:  
**JOINERY - PWD, L'DRY & LINEN**

HOUSE DESIGN:  
**QUALIA 262 (4BED)**

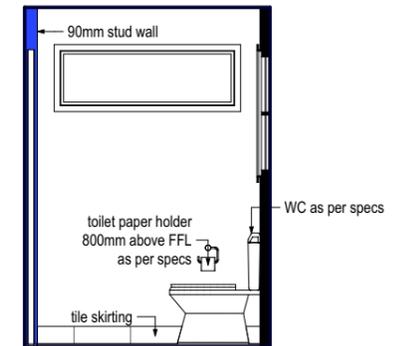
**SALES**

AREA CALCULATION	m <sup>2</sup>
ALFRESCO	15.44
GARAGE	36.44
GROUND FLOOR	110.10
PORCH	1.96
UPPER FLOOR	98.65
<b>TOTAL</b>	<b>262.59</b>

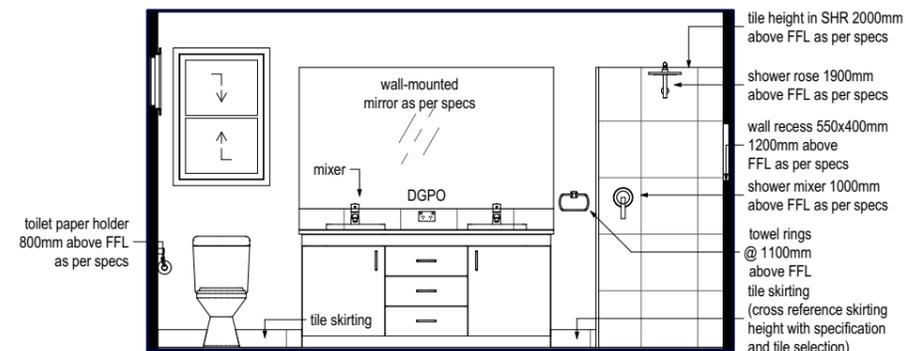
DATE:	XX/XX/XXXX	PROJECT NO:	<b>VAN-001</b>
DRAWN BY:		DRAWING NO:	9 of 13
CHECKED BY:		SCALE:	1:50 @ A3
APPROVED BY:		ISSUE:	(A)
PLOT DATE:	15/05/2020		



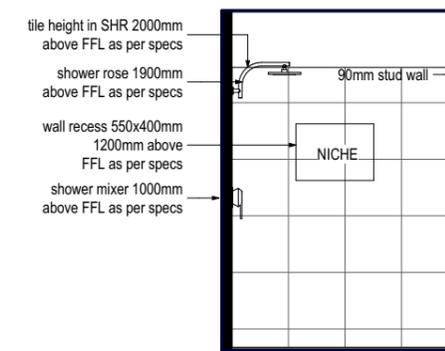
**01 ENSUITE**



**02 ENSUITE**



**03 ENSUITE**



**04 ENSUITE**

NOTE:  
ALL DOORS, ELECTRICAL APPLIANCE & PLUMBING SYMBOLS ARE DIAGRAMMATIC ONLY. REFER TO BUILDERS SPECIFICATIONS FOR DETAILS OF ALL FIXTURES. REFER FLOOR PLAN FOR DOWN PIPES LOCATIONS. CARPENTER TO ENSURE TIE DOWN & SUPPORT STUDS TO GIRDER LOCATIONS AS REQUIRED BY TRUSS MANUFACTURER.  
SMOKE ALARMS COMPLYING WITH AS 3786 TO BE INSTALLED AND CONNECTED TO CONSUMER MAINS POWER IN ACCORDANCE WITH B.C.A. 3.7.2  
ALL WET AREAS TO BE IN ACCORDANCE WITH THE CURRENT BUILDING CODE OF AUSTRALIA 3.8.1

REVISION	DATE	AMENDMENTS	DRAFTING TECH.
(A)	XX/XX/XX	PRELIMINARY	INI

CLIENT  
**VANTAGE HOMES QLD**

PROJECT  
**PROPOSED RESIDENCE**  
3/17 DUPORTH AVENUE  
MAROOCHYDORE  
QLD 4558

DRAWING TITLE:  
**JOINERY - ENSUITE**

HOUSE DESIGN:  
**QUALIA 262 (4BED)**

**SALES**

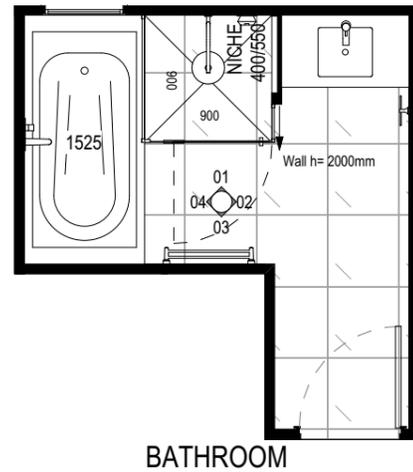
AREA CALCULATION	m <sup>2</sup>
ALFRESCO	15.44
GARAGE	36.44
GROUND FLOOR	110.10
PORCH	1.96
UPPER FLOOR	98.65
<b>TOTAL</b>	<b>262.59 m<sup>2</sup></b>

DATE:	XX/XX/XXXX	PROJECT NO:	<b>VAN-001</b>
DRAWN BY:		DRAWING NO:	10 of 13
CHECKED BY:		SCALE:	
APPROVED BY:		ISSUE:	(A)
PLOT DATE:	15/05/2020		

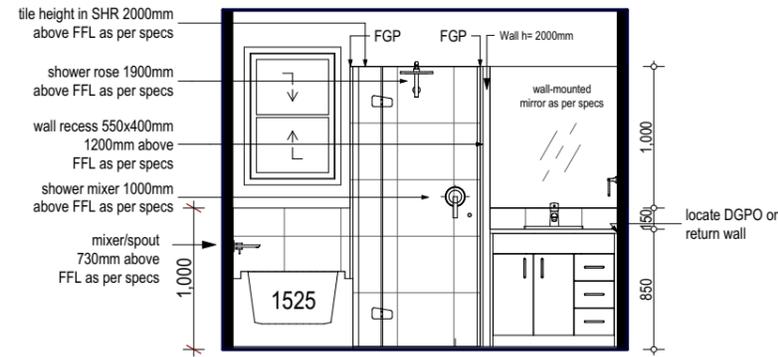
**LEGEND:**

- C.O.W. clear open width
- C.O.S. check on site
- EQ equal
- OH overhead
- PTY pantry
- UBO under bench oven
- L.B.W load bearing wall
- PDR powder room
- WIP walk-in pantry
- WIL walk-in linen
- BRM broom cupboard

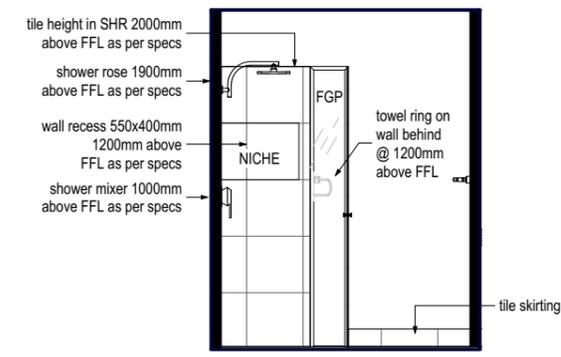
FINAL DETAIL DIMENSIONS ARE TO BE DECIDED ON SITE



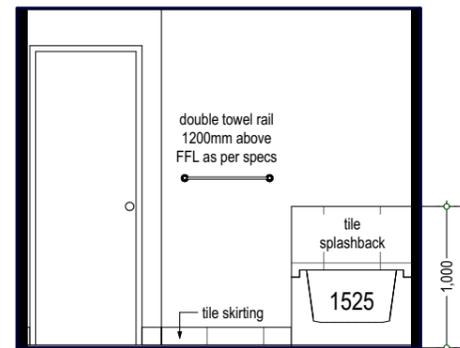
BATHROOM



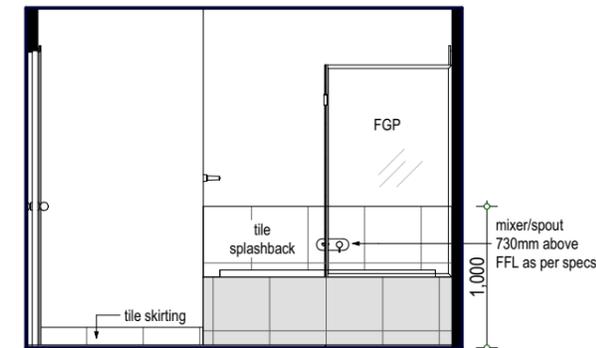
01 BATHROOM



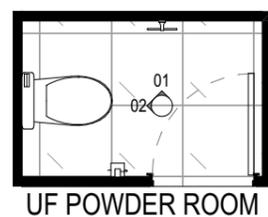
02 BATHROOM



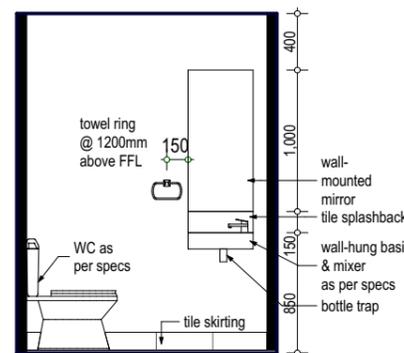
03 BATHROOM



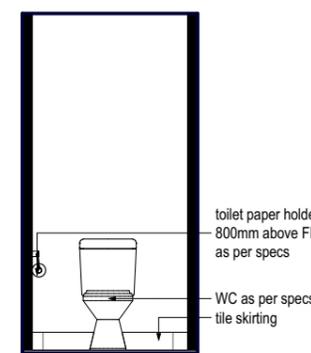
04 BATHROOM



UF POWDER ROOM



01 UF POWDER ROOM



02 UF POWDER ROOM

**LEGEND:**

- C.O.W. clear open width
- C.O.S. check on site
- EQ equal
- OH overhead
- PTY pantry
- UBO under bench oven
- L.B.W load bearing wall
- PDR powder room
- WIP walk-in pantry
- WIL walk-in linen
- BRM broom cupboard

FINAL DETAIL DIMENSIONS ARE TO BE DECIDED ON SITE

NOTE:  
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SMOKE ALARMS COMPLYING WITH AS 3786 TO BE INSTALLED AND CONNECTED TO CONSUMER MAINS POWER IN ACCORDANCE WITH B.C.A. 3.7.2  
ALL WET AREAS TO BE IN ACCORDANCE WITH THE CURRENT BUILDING CODE OF AUSTRALIA 3.8.1

REVISION	DATE	AMENDMENTS	DRAFTING TECH.
(A)	XX/XX/XX	PRELIMINARY	INI

CLIENT  
**VANTAGE HOMES QLD**

PROJECT  
**PROPOSED RESIDENCE**  
3/17 DUPORTH AVENUE  
MAROOCHYDORE  
QLD 4558

DRAWING TITLE:  
**JOINERY - BATH & UF PWD**

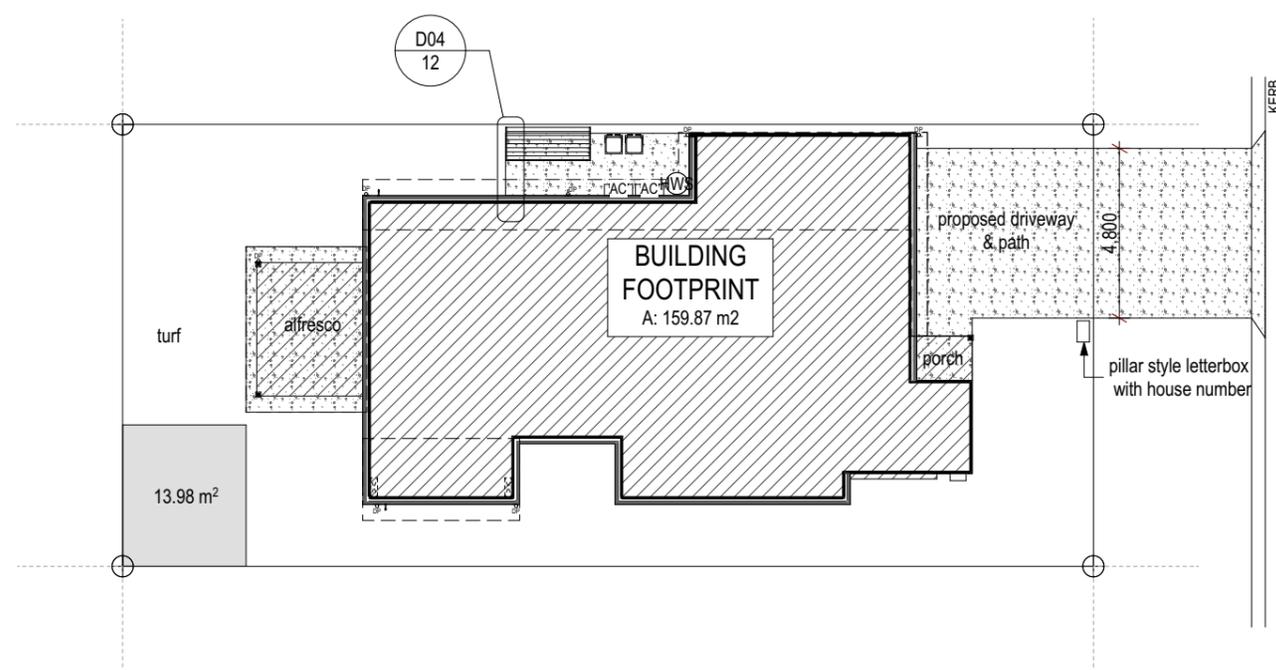
HOUSE DESIGN:  
**QUALIA 262 (4BED)**

SALES	
AREA CALCULATION	m <sup>2</sup>
ALFRESCO	15.44
GARAGE	36.44
GROUND FLOOR	110.10
PORCH	1.96
UPPER FLOOR	98.65
	262.59 m <sup>2</sup>

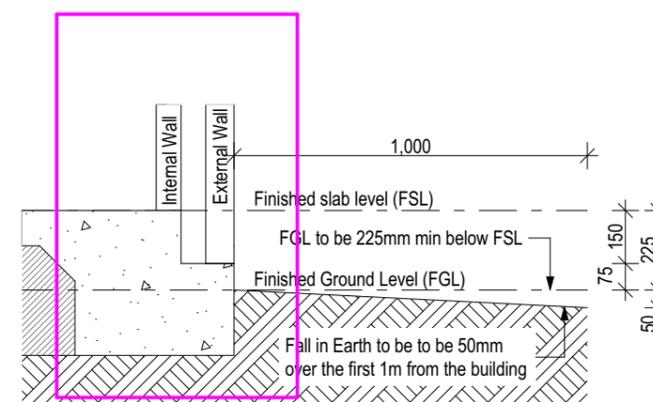
DATE:	XX/XX/XXXX	PROJECT NO:	<b>VAN-001</b>
DRAWN BY:		DRAWING NO:	11 of 13
CHECKED BY:		SCALE:	
APPROVED BY:		ISSUE:	(A)
PLOT DATE:	15/05/2020		



**LETTERBOX**



Common property



**SURFACE WATER DRAINAGE DETAIL**

D04 Detail 1:20

Scale 1:200

REVISION	DATE	AMENDMENTS	DRAFTING TECH.
(A)	XX/XX/XX	PRELIMINARY	INI

CLIENT  
**VANTAGE HOMES QLD**

PROJECT  
**PROPOSED RESIDENCE**  
3/17 DUPORTH AVENUE  
MAROOCHYDORE  
QLD 4558

DRAWING TITLE:  
**LANDSCAPE PLAN**

HOUSE DESIGN:  
**QUALIA 262 (4BED)**

**SALES**

AREA CALCULATION	m <sup>2</sup>
ALFRESCO	15.44
GARAGE	36.44
GROUND FLOOR	110.10
PORCH	1.96
UPPER FLOOR	98.65
<b>TOTAL</b>	<b>262.59 m<sup>2</sup></b>

DATE: XX/XX/XXXX	PROJECT NO: <b>VAN-001</b>
DRAWN BY:	DRAWING NO: 12 of 13
CHECKED BY:	SCALE: 1:200 @ A3
APPROVED BY:	ISSUE: (A)
PLOT DATE: 15/05/2020	

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FIXTURES. REFER FLOOR PLAN FOR DOWN PIPES  
LOCATIONS. CARPENTER TO ENSURE TIE DOWN &  
SUPPORT STUDS TO GIRDER LOCATIONS AS  
REQUIRED BY TRUSS MANUFACTURER.  
SMOKE ALARMS COMPLYING WITH AS 3786 TO BE  
INSTALLED AND CONNECTED TO CONSUMER MAINS  
POWER IN ACCORDANCE WITH B.C.A. 3.7.2  
ALL WET AREAS TO BE IN ACCORDANCE WITH THE  
CURRENT BUILDING CODE OF AUSTRALIA 3.8.1

REVISION	DATE	AMENDMENTS	DRAFTING TECH.
(A)	XX/XX/XX	PRELIMINARY	INI

CLIENT  
**VANTAGE HOMES QLD**

PROJECT  
**PROPOSED RESIDENCE**  
3/17 DUPORTH AVENUE  
MAROOCHYDORE  
QLD 4558

DRAWING TITLE:  
**PERSPECTIVES**

HOUSE DESIGN:  
**QUALIA 262 (4BED)**

SALES	
AREA CALCULATION	m <sup>2</sup>
ALFRESCO	15.44
GARAGE	36.44
GROUND FLOOR	110.10
PORCH	1.96
UPPER FLOOR	98.65
	262.59 m <sup>2</sup>

DATE:	XX/XX/XXXX	PROJECT NO:	<b>VAN-001</b>
DRAWN BY:		DRAWING NO:	13 of 13
CHECKED BY:		SCALE:	
APPROVED BY:		ISSUE:	(A)
PLOT DATE:	15/05/2020		