



- NOTES:**
1. Dimensions are to be verified prior to commencement of work.
 2. Given dimensions are to have priority to scaled dimensions.
 3. All ground levels are approximate only.
 4. All plumbing and draining is to comply with standard sewerage by-laws and requirements of the local authority.
 5. All stairs are to have 190mm max risers and 240mm min goings.
 6. All works are to be constructed in accordance with the current Building Code of Australia, the current Australian Standards and all relevant current trade and technical manuals.
 7. Disclaimer: Driveway, paths, clothes lines, storm water lines, landscaping, letter box, hot water system & ground pits are diagrammatic only.
 8. All downpipes to be installed in accordance with the current Building Code of Australia 3.5.2.5. Each downpipe must not serve more than 12m of gutter length.
 9. Site excavation shall be such that 1000mm wide by 1:20 grade exists around perimeter of building as per the current Building Code of Australia 3.1.2.3 Surface Water Drainage.
 10. Owner to provide/install site drainage after hand over as required.
 11. Driveway & path by Vantage Homes. Vantage Homes to apply and seek all approvals for the driveway, pay all bonds and have a final inspection.
 12. Land to be levelled to site house. Slab to be 200mm minimum above finished ground level.
 13. Stormwater system to local council requirements.

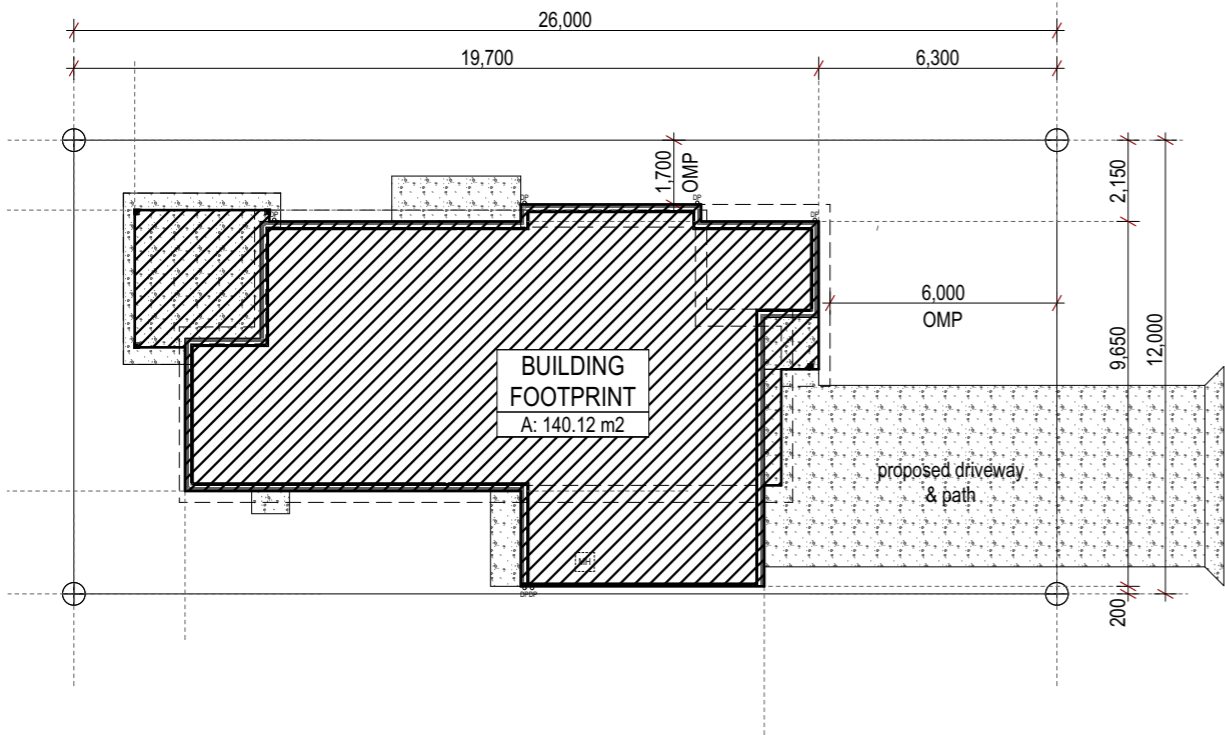
RISK ASSESSMENT:

Risk Identification:
No buildability risk has been identified with this design.
Actions:
Build to work method statements.

REAL PROPERTY DESCRIPTION

LOT NUMBER: TBA
SP: TBA
PARISH: TBA
COUNTY: TBA
LOCAL AUTHORITY: TBA

SITE AREA: XXXm²
SITE COVERAGE: XX.XX%



INTERNAL USE ONLY

DRAFTING:

ESTIMATING:

PROJECT MANAGERS:

Scale 1:200



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SMOKE ALARMS COMPLYING WITH AS 3786 TO BE
INSTALLED AND CONNECTED TO CONSUMER MAINS
POWER IN ACCORDANCE WITH B.C.A. 3.7.2

ALL WET AREAS TO BE IN ACCORDANCE WITH THE
CURRENT BUILDING CODE OF AUSTRALIA 3.8.1

REVISION	DATE	AMENDMENTS	DRAFTING TECH.
(A)	XX/XX/XX	PRELIMINARY	INI

CLIENT VANTAGE HOMES															
PROJECT PROPOSED RESIDENCE 3/17 DUPORTH AVENUE MAROOCHYDORE QLD 4558															
DRAWING TITLE: SITE PLAN															
HOUSE DESIGN: ORION 231 A (4BED)															
MASTER															
<table><tr><td>AREA CALCULATION</td><td>m²</td></tr><tr><td>ALFRESCO</td><td>15.43</td></tr><tr><td>GARAGE</td><td>36.59</td></tr><tr><td>LOWER FLOOR</td><td>88.52</td></tr><tr><td>PORCH</td><td>1.97</td></tr><tr><td>UPPER FLOOR</td><td>89.18</td></tr><tr><td></td><td>231.69 m²</td></tr></table>		AREA CALCULATION	m ²	ALFRESCO	15.43	GARAGE	36.59	LOWER FLOOR	88.52	PORCH	1.97	UPPER FLOOR	89.18		231.69 m ²
AREA CALCULATION	m ²														
ALFRESCO	15.43														
GARAGE	36.59														
LOWER FLOOR	88.52														
PORCH	1.97														
UPPER FLOOR	89.18														
	231.69 m ²														
DATE: XX/XX/XXXX	PROJECT NO: VAN-001														
DRAWN BY: INI	DRAWING NO: 1 of 8														
CHECKED BY: INI	SCALE: 1:200 @ A3														
APPROVED BY: INI	ISSUE: (A)														
PLOT DATE: 16/12/2019															

ENERGY EFFICIENCY
TO MEET MIN. 6 STAR BERS RATING

Note: garage doors installed must comply with "AS/NZS 4505 Domestic Garage Doors" and meet all performance requirements for the wind load classification in which the dwelling is built.

NOTES

- shower sizes as per slab set-downs
- 1525mm bath to bathroom
- VSD - denotes vinyl sliding doors (size to suit opening)
- o/head cupboards to 2250 a.f.f.l., bulkhead to ceiling
- all openings to have 2100 head height
- 90mm dia pvc downpipes
- top shelf and hanging rail to all robes
- dishwasher provision under sink drainer
- lift off hinges to w/c and ensuite
- provide noggings for towel rails @ 1200mm and for toilet roll holders @ 800mm



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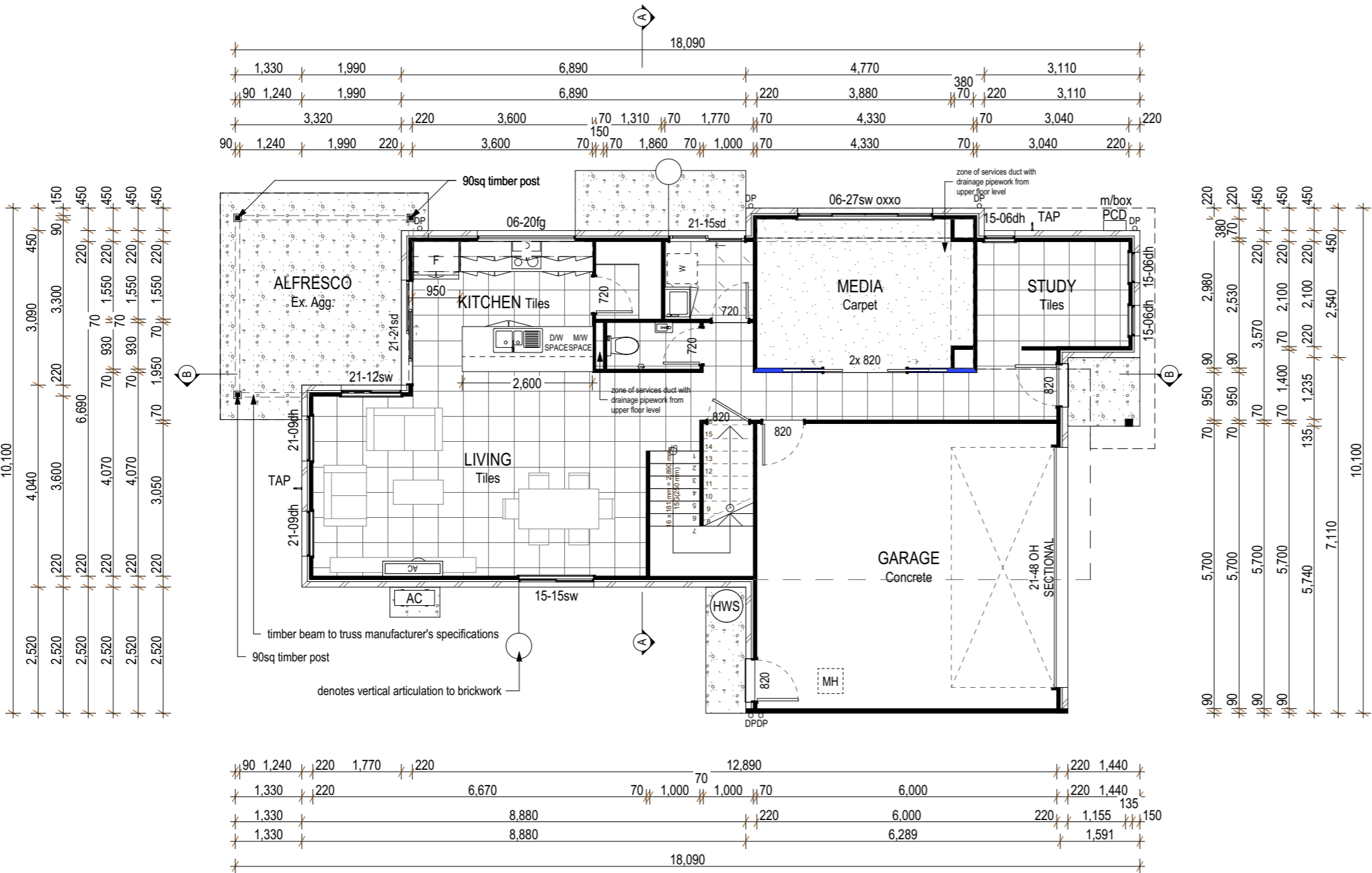
REVISION	DATE	AMENDMENTS	DRAFTING TECH.
(A)	XX/XX/XX	PRELIMINARY	INI

CLIENT VANTAGE HOMES
PROJECT PROPOSED RESIDENCE 3/17 DUPORTH AVENUE MAROOCHYDORE QLD 4558
DRAWING TITLE: GROUND FLOOR PLAN
HOUSE DESIGN: ORION 231 A (4BED)

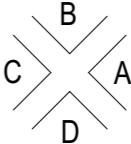
MASTER

AREA CALCULATION	m ²
ALFRESCO	15.43
GARAGE	36.59
LOWER FLOOR	88.52
PORCH	1.97
UPPER FLOOR	89.18
	231.69 m ²

DATE: XX/XX/XXXX	PROJECT NO: VAN-001
DRAWN BY: INI	DRAWING NO: 2 of 8
CHECKED BY: INI	SCALE: 1:100 @ A3
APPROVED BY: INI	ISSUE: (A)
PLOT DATE: 16/12/2019	



ELEVATIONS



ENERGY EFFICIENCY
TO MEET MIN. 6 STAR BERS RATING

Note: garage doors installed must comply with "AS/NZS 4505 Domestic Garage Doors" and meet all performance requirements for the wind load classification in which the dwelling is built.

NOTES

- shower sizes as per slab set-downs
- 1525mm bath to bathroom
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- all openings to have 2100 head height
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- top shelf and hanging rail to all robes
- dishwasher provision under sink drainer
- lift off hinges to w/c and ensuite
- provide noggings for towel rails @ 1200mm and for toilet roll holders @ 800mm



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REVISION	DATE	AMENDMENTS	DRAFTING TECH.
(A)	XX/XX/XX	PRELIMINARY	INI

CLIENT

VANTAGE HOMES

PROJECT

PROPOSED RESIDENCE

3/17 DUPORTH AVENUE
MAROOCHYDORE
QLD 4558

DRAWING TITLE:

UPPER FLOOR PLAN

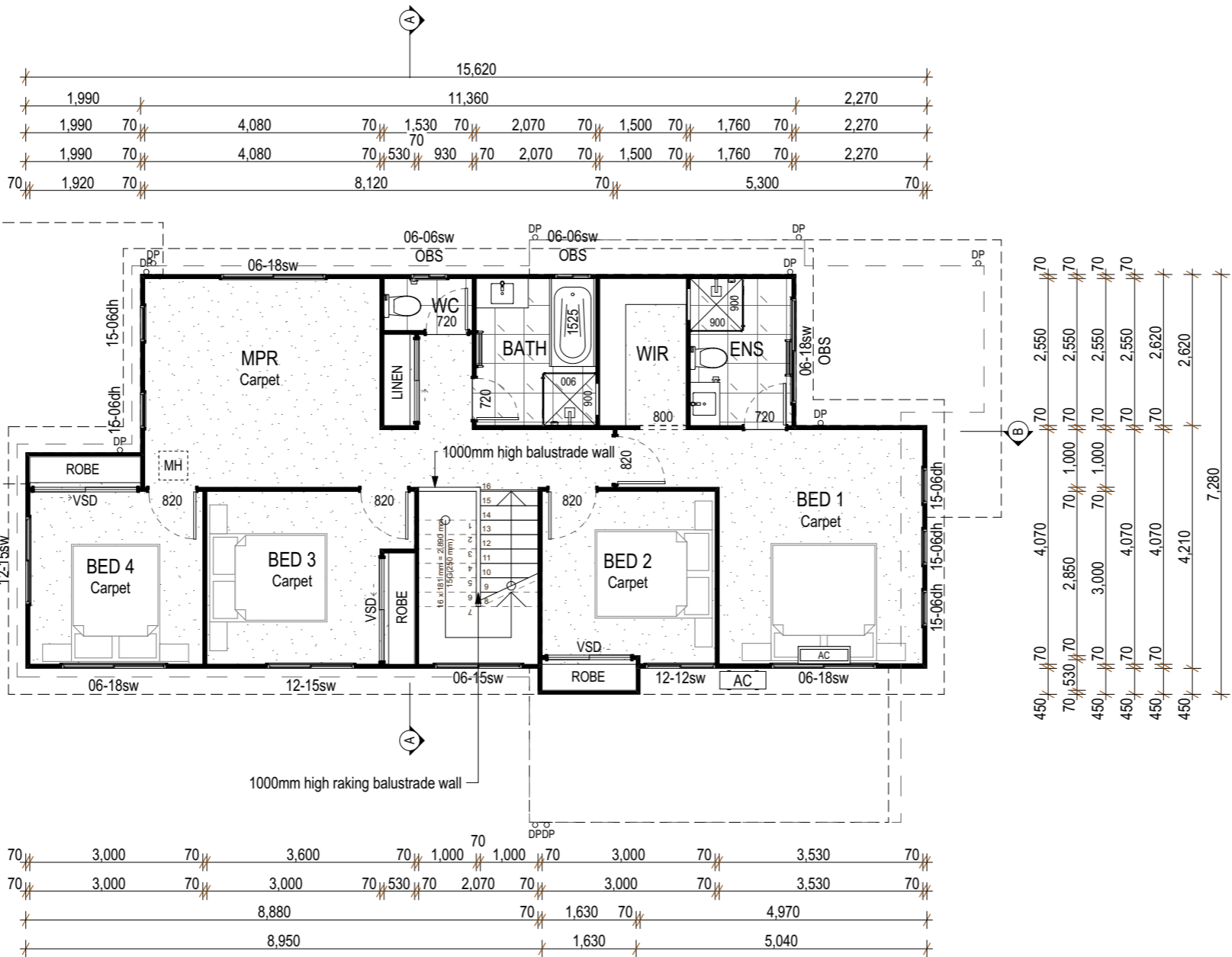
HOUSE DESIGN:

ORION 231 A (4BED)

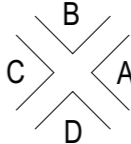
MASTER

AREA CALCULATION	m ²
ALFRESCO	15.43
GARAGE	36.59
LOWER FLOOR	88.52
PORCH	1.97
UPPER FLOOR	89.18
	231.69 m ²

DATE:	XX/XX/XXXX	PROJECT NO:	VAN-001
DRAWN BY:	INI	DRAWING NO:	3 of 8
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APPROVED BY:	INI	ISSUE:	(A)
PLOT DATE:	16/12/2019		



ELEVATIONS



Scale 1:100

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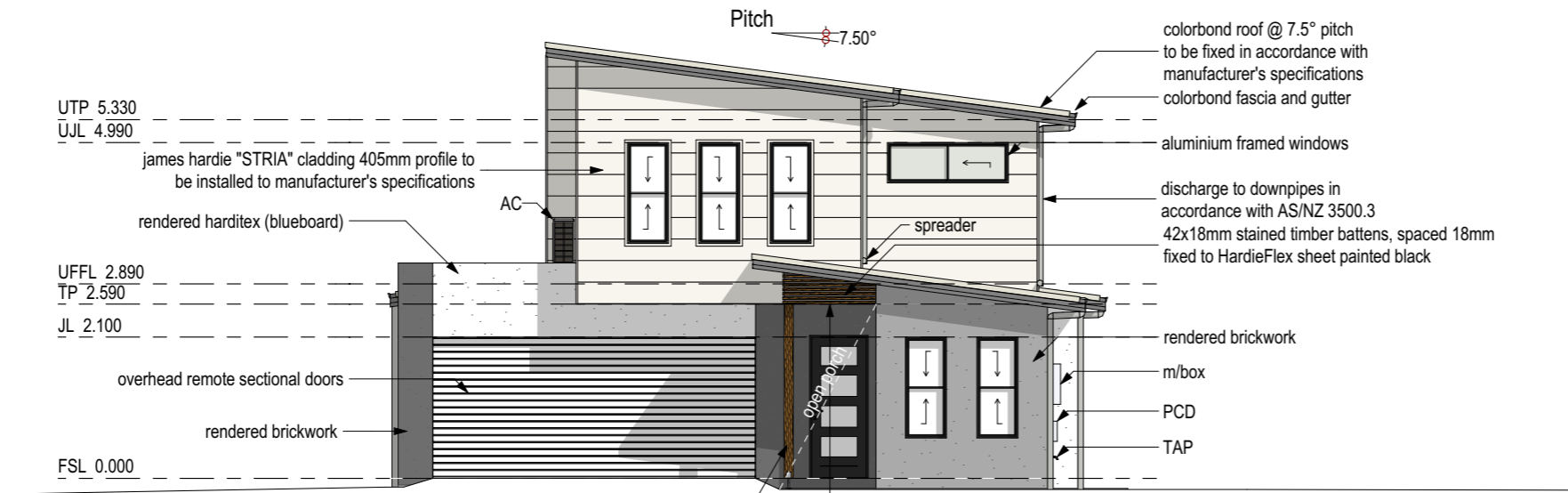
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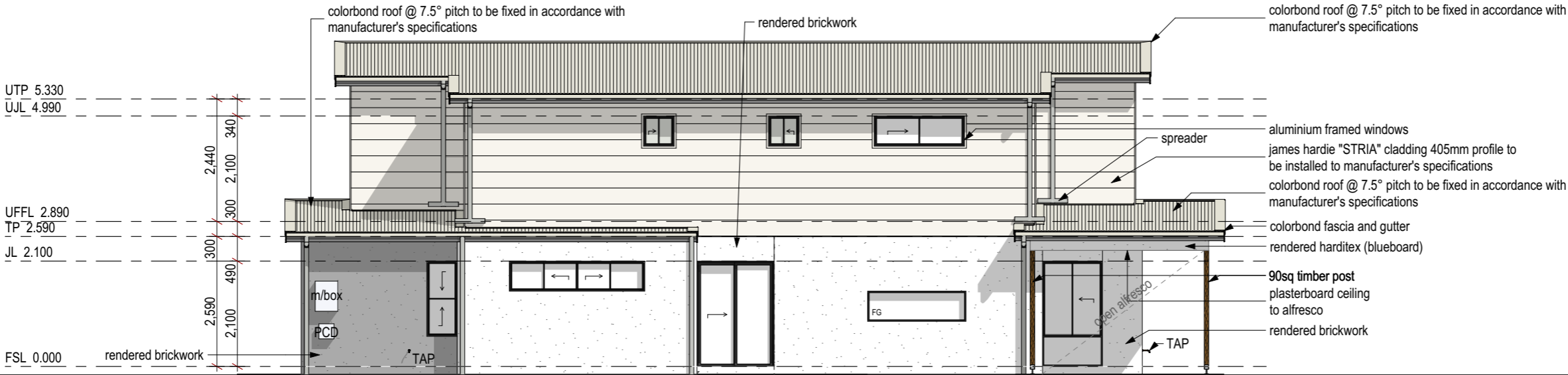
CLIENT VANTAGE HOMES
PROJECT PROPOSED RESIDENCE 3/17 DUPORTH AVENUE MAROOCHYDORE QLD 4558
DRAWING TITLE: ELEVATIONS
HOUSE DESIGN: ORION 231 A (4BED)

MASTER	
AREA CALCULATION	m ²
ALFRESCO	15.43
GARAGE	36.59
LOWER FLOOR	88.52
PORCH	1.97
UPPER FLOOR	89.18
	231.69 m ²

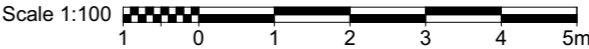
DATE: XX/XX/XXXX	PROJECT NO: VAN-001
DRAWN BY: INI	DRAWING NO: 4 of 8
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APPROVED BY: INI	ISSUE: (A)
PLOT DATE: 16/12/2019	



Elevation A



Elevation B



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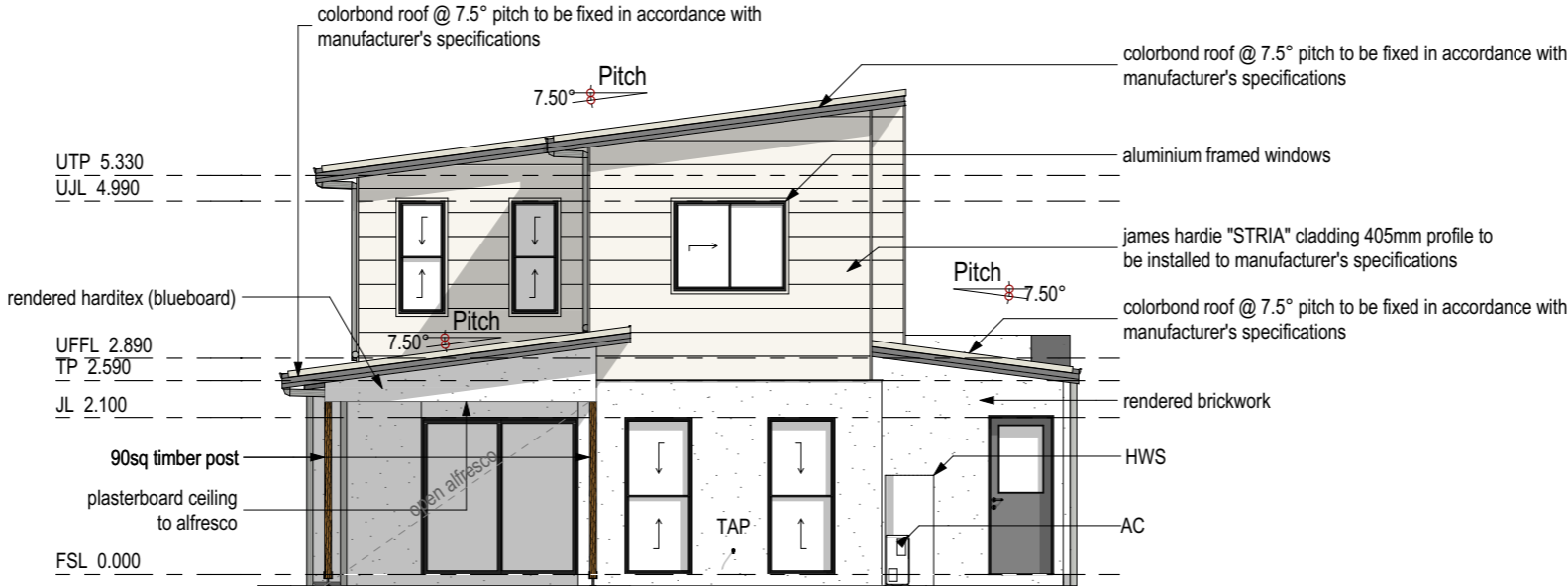
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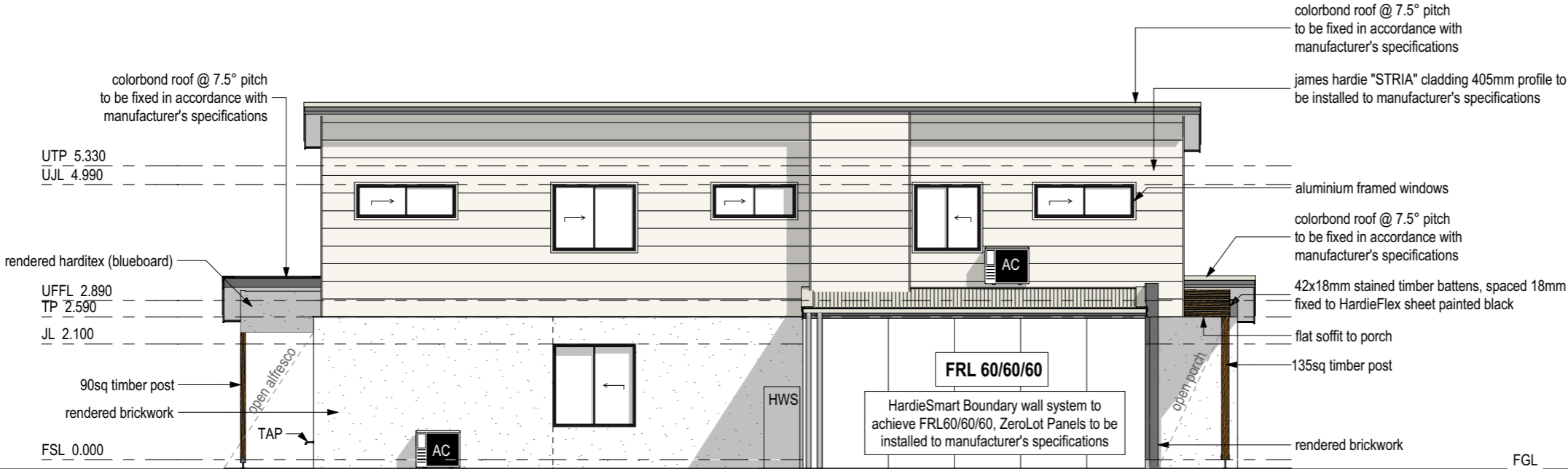
CLIENT VANTAGE HOMES
PROJECT PROPOSED RESIDENCE 3/17 DUPORTH AVENUE MAROOCHYDORE QLD 4558
DRAWING TITLE: ELEVATIONS 2
HOUSE DESIGN: ORION 231 A (4BED)

MASTER		
AREA CALCULATION	m ²	
ALFRESCO	15.43	
GARAGE	36.59	
LOWER FLOOR	88.52	
PORCH	1.97	
UPPER FLOOR	89.18	
	231.69 m ²	

DATE:	XX/XX/XXXX	PROJECT NO:	VAN-001
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PLOT DATE:	16/12/2019		



Elevation C



Elevation D



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CLIENT
VANTAGE HOMES

PROJECT
PROPOSED RESIDENCE
3/17 DUPORTH AVENUE
MAROOCHYDORE
QLD 4558

DRAWING TITLE:
ELECTRICAL PLAN

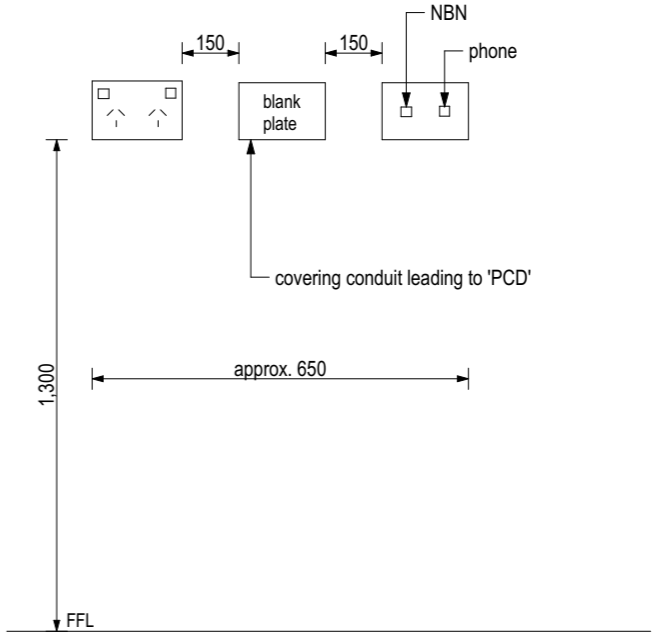
HOUSE DESIGN:
ORION 231 A (4BED)

MASTER

AREA CALCULATION	m ²
ALFRESCO	15.43
GARAGE	36.59
LOWER FLOOR	88.52
PORCH	1.97
UPPER FLOOR	89.18
	231.69 m ²

DATE:	XX/XX/XXXX	PROJECT NO:	VAN-001
DRAWN BY:	INI	DRAWING NO:	6 of 8
CHECKED BY:	INI	SCALE:	1:100 @ A3
APPROVED BY:	INI	ISSUE:	(A)
PLOT DATE:	16/12/2019		

Electrical Legend		
2D Symbol	Quantity	Library Part Name
	2	A. AIR CONDITIONING CONDENSOR
	4	A. AIR CONDITIONING UNIT
	2	AIR CONDITIONING UNIT
	10	F. CEILING FAN
	3	F. EXHAUST FAN
	1	L. 1x36W BLADE BATTEN LED LIGHT
	49	L. DOWNLIGHT RECESSED
	2	L. RECESSED STAIR WALL LIGHT
	2	L. WALL LIGHT DOWN, EXT GRADE
	1	L. WALL LIGHT UP-DOWN, EXT GRADE
	1	L. WALL LIGHT, BATTEN HOLDER
	25	O. GPO DOUBLE
	1	O. GPO DOUBLE WEATHER PROOF
	1	O. GPO DOUBLE with USB Port
	6	O. GPO SINGLE
	2	O. NATIONAL BROAD BAND POINT
	3	O. TELEPHONE POINT
	4	O. TV POINT
	18	S. LIGHT SWITCH
	3	S. LIGHT SWITCH - 2 WAY
	1	U. HOT WATER SYSTEM
	7	U. SMOKE DETECTOR

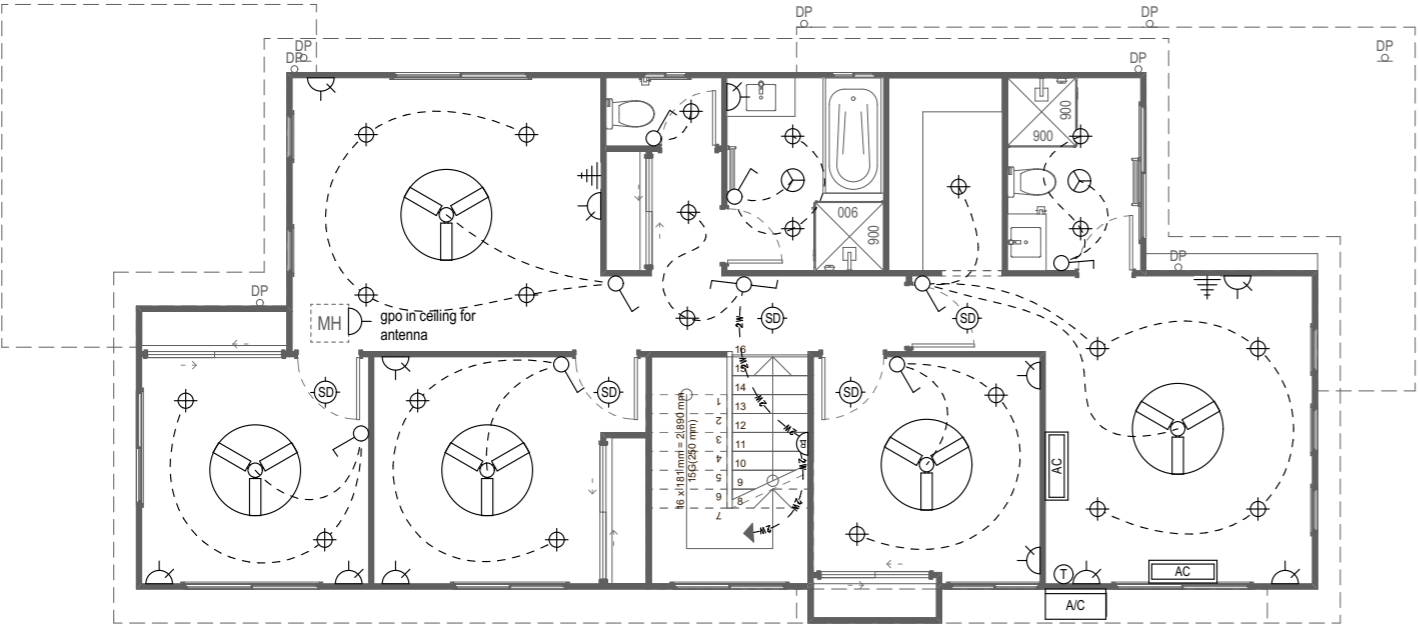
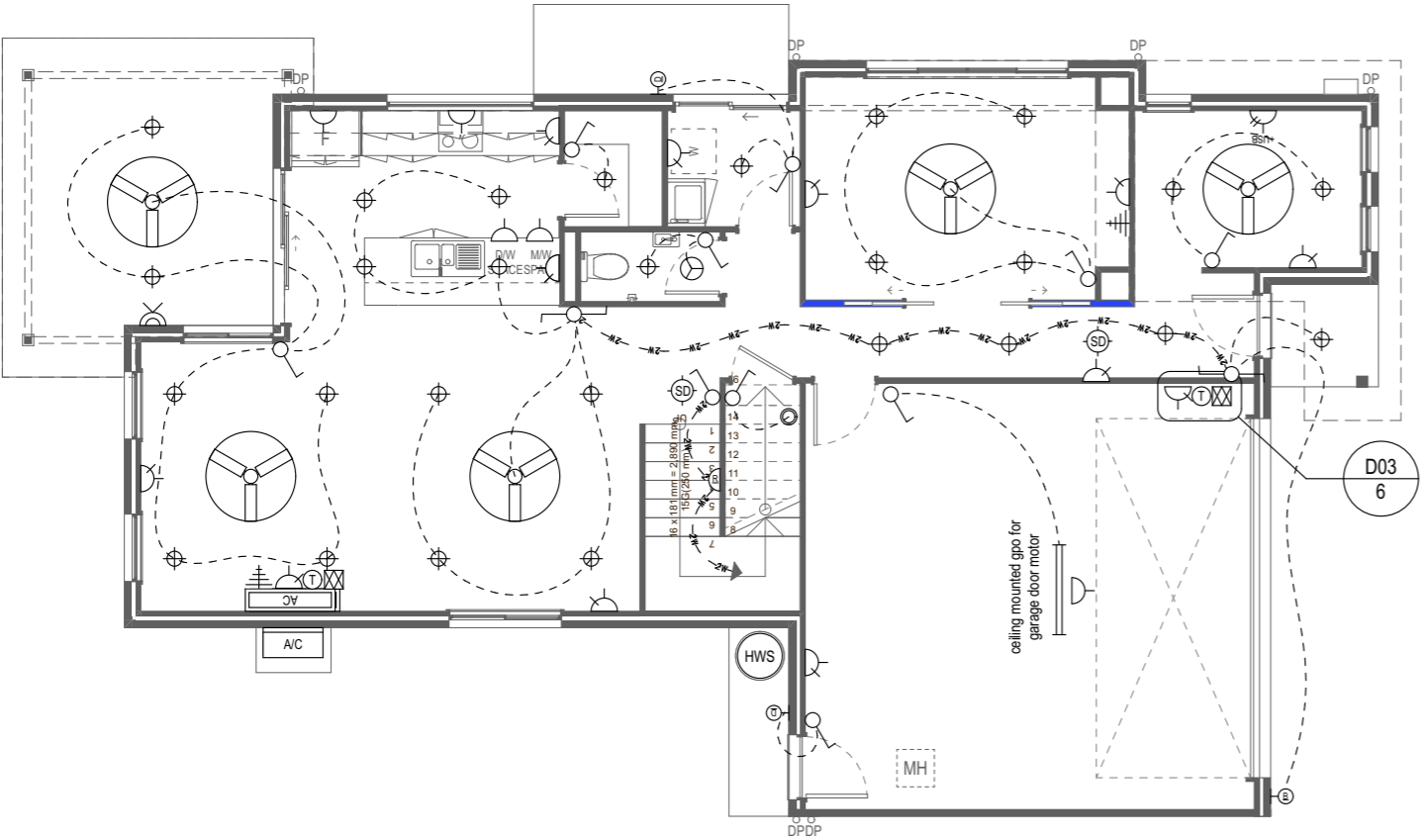


INTERNAL NBN REQUIREMENTS DETAIL

D03 Detail 1:20

All Electrical work carried out to comply with AS3000 - 2007

NOTE: All smoke alarms to be inter-connected





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CLIENT
VANTAGE HOMES

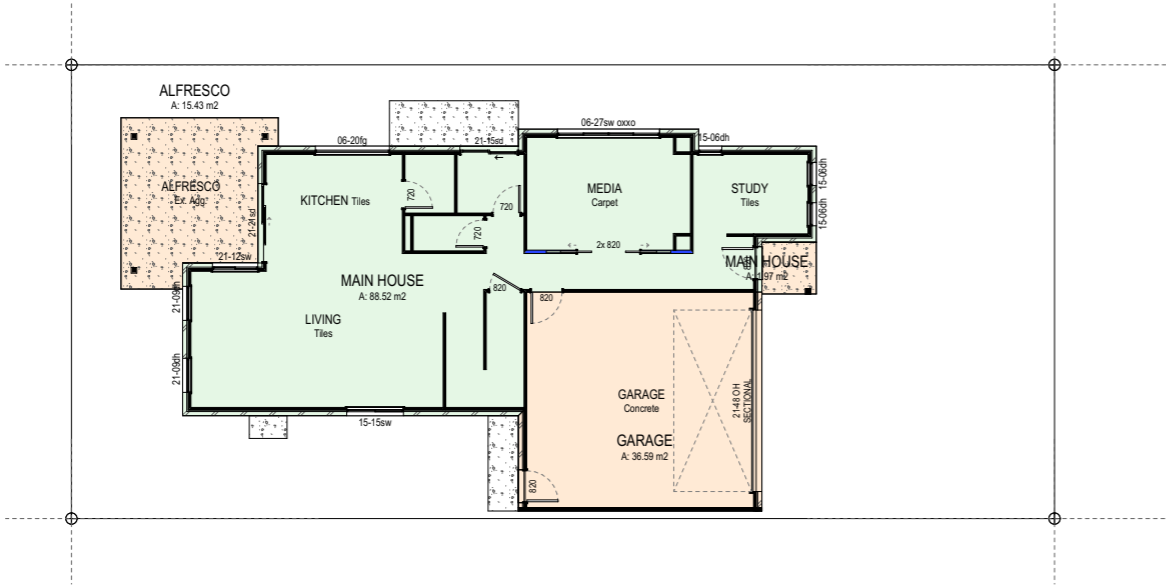
PROJECT
PROPOSED RESIDENCE
3/17 DUPORTH AVENUE
MAROOCHYDORE
QLD 4558

DRAWING TITLE:
GFA
HOUSE DESIGN:
ORION 231 A (4BED)

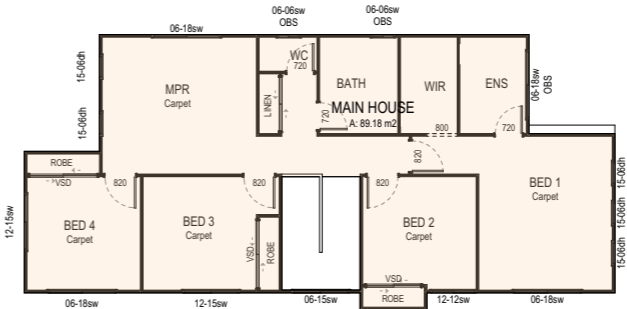
MASTER

AREA CALCULATION	m ²
ALFRESCO	15.43
GARAGE	36.59
LOWER FLOOR	88.52
PORCH	1.97
UPPER FLOOR	89.18
	231.69 m ²

DATE:	XX/XX/XXXX	PROJECT NO:	VAN-001
DRAWN BY:	INI	DRAWING NO:	7 of 8
CHECKED BY:	INI	SCALE:	
APPROVED BY:	INI	ISSUE:	(A)
PLOT DATE:	16/12/2019		



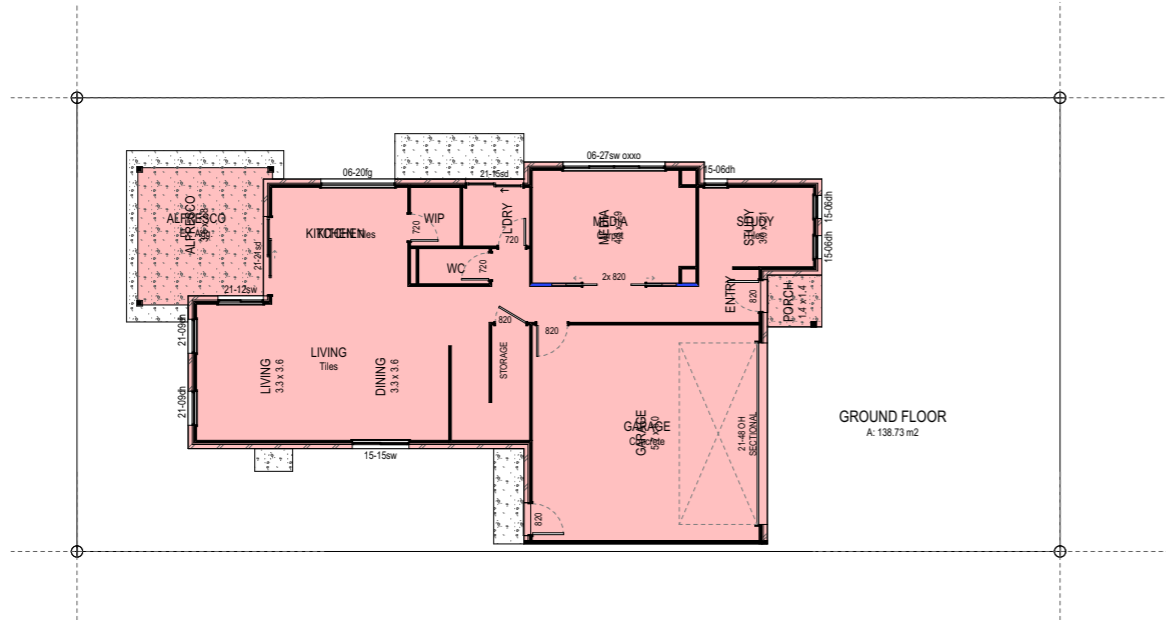
GROUND



UPPER

FLOOR AREA

UPPER FLOOR	95.38
GROUND FLOOR	138.73
	234.11 m ²



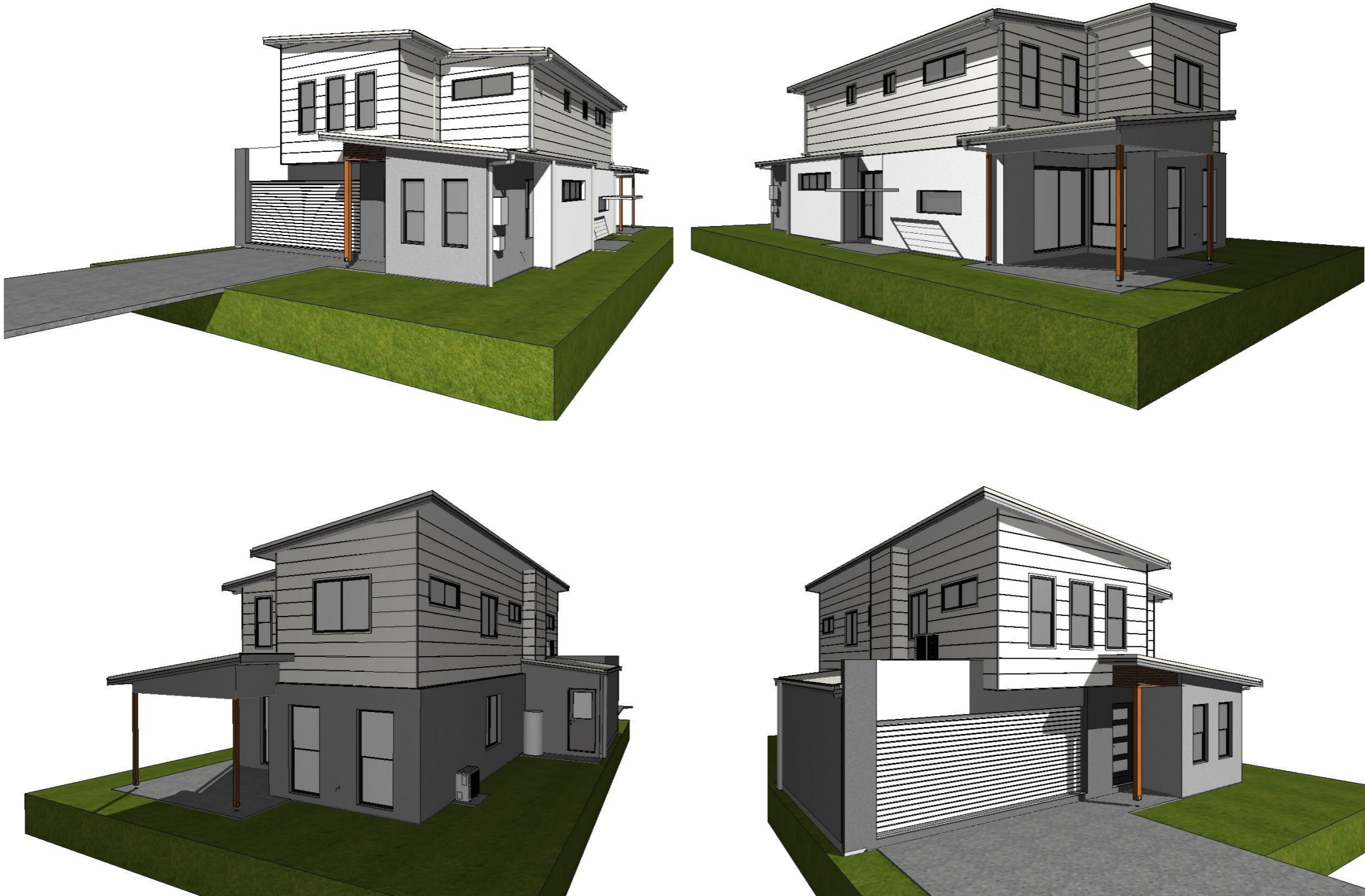
GF SUM



UF SUM



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REVISION	DATE	AMENDMENTS	DRAFTING TECH.
(A)	XX/XX/XX	PRELIMINARY	INI

CLIENT
VANTAGE HOMES

PROJECT
PROPOSED RESIDENCE
3/17 DUPORTH AVENUE
MAROOCHYDORE
QLD 4558

DRAWING TITLE:
PERSPECTIVES

HOUSE DESIGN:
ORION 231 A (4BED)

MASTER

AREA CALCULATION	m ²
ALFRESCO	15.43
GARAGE	36.59
LOWER FLOOR	88.52
PORCH	1.97
UPPER FLOOR	89.18
	231.69 m ²

DATE:	XX/XX/XXXX	PROJECT NO:	VAN-001
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APPROVED BY:	INI	ISSUE:	(A)
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