

SHEET INDEX

COVER SHEET	1
SITE PLAN	2
WATER MANAGEMENT PLAN	3
GROUND FLOOR PLAN	4
FIRST FLOOR PLAN	5
WINDOW & DOOR SCHEDULES	6
ELEVATIONS	7
ELEVATIONS	8
SECTION	9
HOUSE EXTERIOR 3D VIEWS	10
STAIRCASE 3D VIEWS	11
KITCHEN DETAILS	12
LAUNDRY DETAILS	13
POWDER ROOM DETAILS	14
BATHROOM DETAILS	15
WC DETAILS	16
ENSUITE DETAILS	17
FLOOR COVERINGS	18
SLAB PLAN	19
DRAINAGE PLAN	20

BUILDING INFORMATION

GROUND FLOOR PITCHING HEIGHT(S):	2595
FIRST FLOOR PITCHING HEIGHT(S):	2450mm
FRAMES AND TRUSSES:	STEEL
ROOF PITCH (U.N.O.):	3.0°
ELECTRICITY SUPPLY:	3-PHASE
GAS SUPPLY:	RETICULATED SUPPLY
ROOF MATERIAL:	SHEET METAL
ROOF COLOUR:	DARK
ROOF INSULATION:	R3.5 BATTS
WIND DRIVEN ROOF VENTILATORS:	2
WALL MATERIAL:	HEBEL VENEER
WALL COLOUR:	DARK
WALL INSULATION:	R2.0 BATTS
	WALL WRAP TO CLADDING
	R2.0 BATTS TO INTERNAL WALLS OF LAUNDRY
FLOOR INSULATION:	R1.0 FLOOR BATTS TO BEDS 3 & 4

SITE & ENGINEERING INFORMATION

WIND CLASSIFICATION:	N2
SITE CLASSIFICATION:	P
SLAB CLASSIFICATION:	M

SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS SPECIFICATIONS & DETAILS OVER A 200µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE HEBEL CONTROL JOINTS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018

BASIX AREAS

CONDITIONED	129.29
UNCONDITIONED	12.63

TOTAL FLOOR AREAS

ALFRESCO	10.29
BALCONY	3.50
GARAGE	35.46
LIVING (FIRST FLOOR)	86.27
LIVING (GROUND FLOOR)	83.27
PATIO	3.73
	222.52 m²

© MCDONALD JONES COMMUNITIES PTY LTD T/A COMPLETE BY MCDONALD JONES (ACN 603 418 364). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). MCDONALD JONES COMMUNITIES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF MCDONALD JONES COMMUNITIES PTY LTD.

SUSTAINABILITY COMMITMENTS

WATER COMMITMENTS

3 STAR (> 7.5 BUT <= 9 L/MIN) SHOWER HEADS
4 STAR TOILET SUITES
4 STAR KITCHEN TAPS
5 STAR BATHROOM TAPS

131.19 m² TOTAL ROOF AREA

2100 L WATER TANK(S) MINIMUM CAPACITY
86.51 m² MINIMUM ROOF AREA TO TANK(S)

RAINWATER TANK(S) TO BE CONNECTED TO:
- AT LEAST ONE OUTDOOR TAP
- ALL TOILETS
- WASHING MACHINE

NO RETICULATED RECYCLED WATER SUPPLY

0 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

HOT WATER SYSTEM
- GAS CONTINUOUS FLOW - 6 STAR

HEATING SYSTEM
- 1-PHASE REVERSE CYCLE AIR CONDITIONING
EER 3.0 - 3.5

COOLING SYSTEM
- 1-PHASE REVERSE CYCLE AIR CONDITIONING
EER 3.0 - 3.5

VENTILATION (EXHAUST FANS)
- AT LEAST ONE BATHROOM:
DUCTED TO OUTSIDE AIR, MANUAL SWITCH ON/OFF
- KITCHEN RANGEHOOD:
DUCTED TO OUTSIDE AIR, MANUAL SWITCH ON/OFF
- LAUNDRY:
DUCTED TO OUTSIDE AIR, MANUAL SWITCH ON/OFF

PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER
- 4 BEDROOMS/STUDY, DEDICATED
- 3 LIVING/DINING AREAS, DEDICATED
- KITCHEN, DEDICATED
- ALL BATHROOMS/TOILETS, DEDICATED
- LAUNDRY, DEDICATED
- ALL HALLWAYS, DEDICATED

NATURAL LIGHTING TO
- 1 BATHROOMS/TOILETS

ALTERNATIVE ENERGY
- N/A

OTHER
- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY BUILDER
- WELL VENTILATED FRIDGE SPACE

BASIX CERTIFICATE:

- 1110323S.02 (08 SEPTEMBER 2020)

BAL-LOW BUSHFIRE REQUIREMENTS
NO SPECIAL CONSTRUCTION REQUIREMENTS

SITE LOCATION



REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

REFER TO WATER MANAGEMENT PLAN FOR ALL ROOF COLLECTION, SURFACE DRAINAGE CONNECTIONS AND DISCHARGE SYSTEMS.

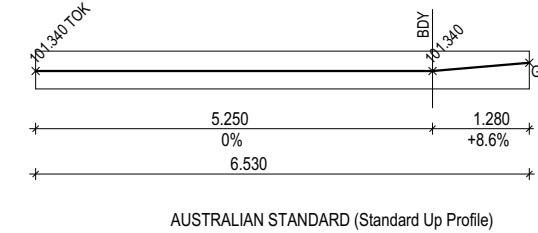
STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY BUILDER

CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'CDP' ON PLAN. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

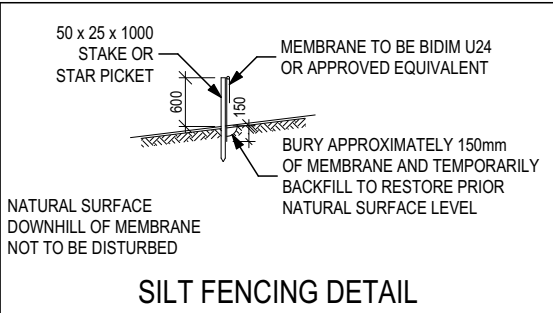
WIND CLASSIFICATION	N2
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO
SURVEY AREA	NEW
LATITUDE	30° 58' 38" S
LONGITUDE	150° 49' 14" E

APPROX. IMPORT/EXPORT FILL	
CUT VOLUME	33.33m³
FILL VOLUME	12.50m³
DIFFERENCE	20.83m³

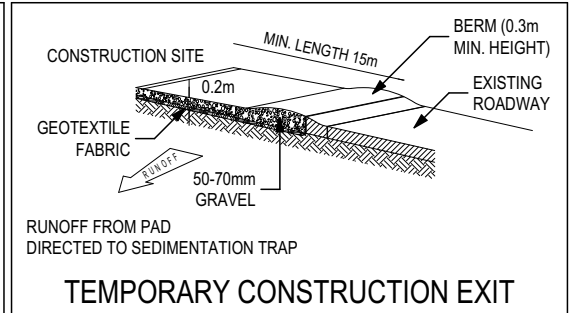
TONNAGE: 20.83m³ x 2.25 = 46.87t
47 TONNES OF EXPORT FILL



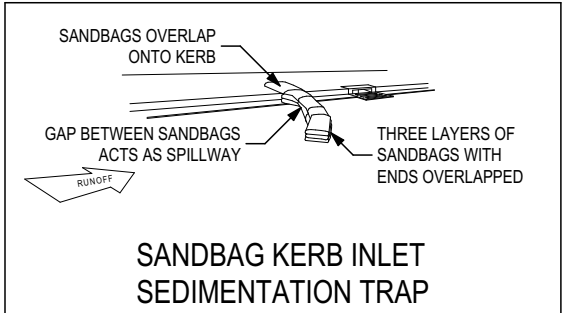
DRIVEWAY DETAILS
Scale: 1:100



SILT FENCING DETAIL



TEMPORARY CONSTRUCTION EXIT



SANDBAG KERB INLET
SEDIMENTATION TRAP

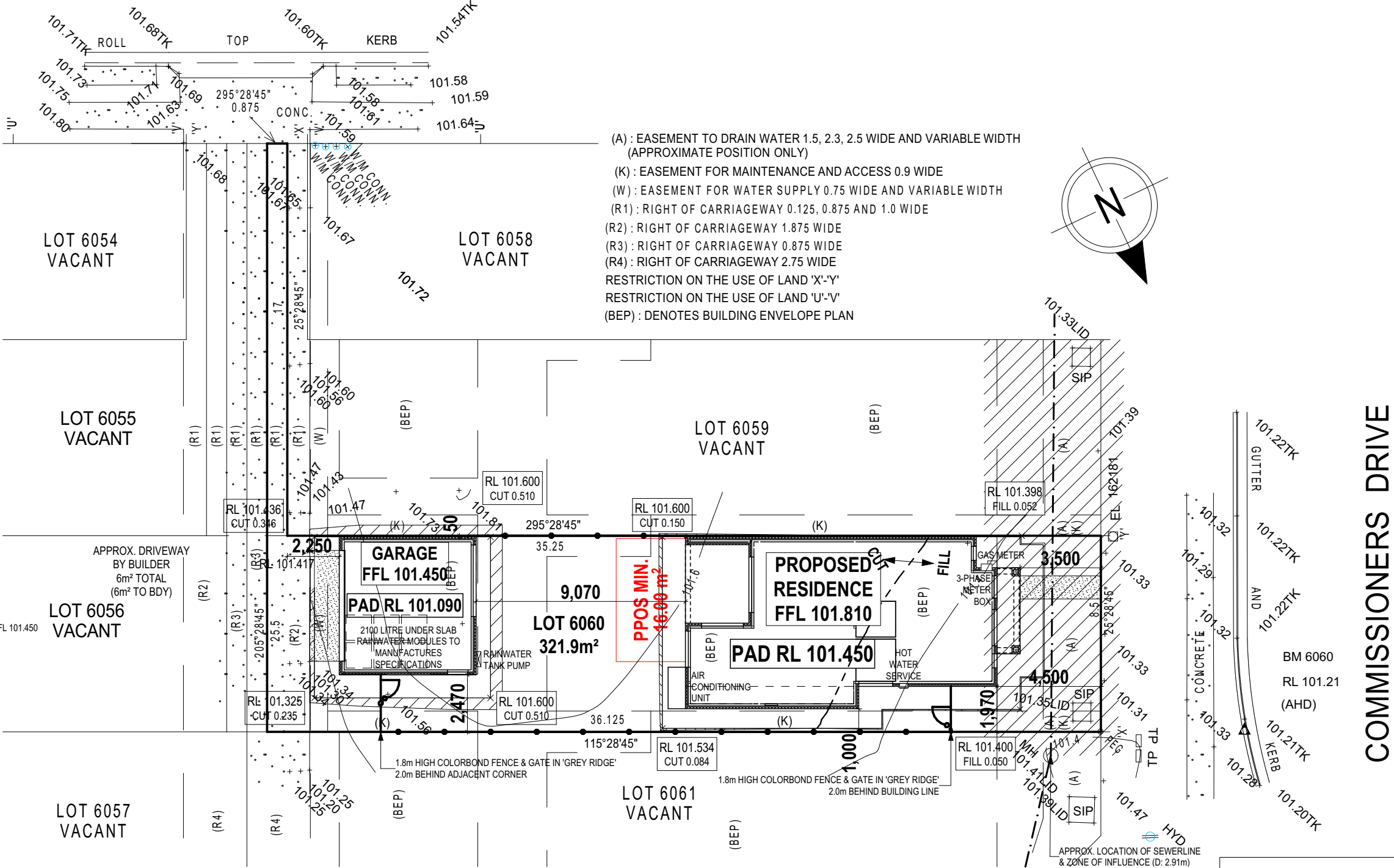
© MCDONALD JONES COMMUNITIES PTY LTD T/A COMPLETE BY MCDONALD JONES (ACN 603 418 364). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). MCDONALD JONES COMMUNITIES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF MCDONALD JONES COMMUNITIES PTY LTD.

CALOTIS CRESCENT

+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS.
SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

AGGRESSIVE SOIL REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

BAL-LOW BUSHFIRE REQUIREMENTS
NO SPECIAL CONSTRUCTION REQUIREMENTS



REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPIPE DIRECTED TO TANK
SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL EXTERIOR STEPS AND LANDINGS BY OWNER UNLESS NOTED OTHERWISE

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

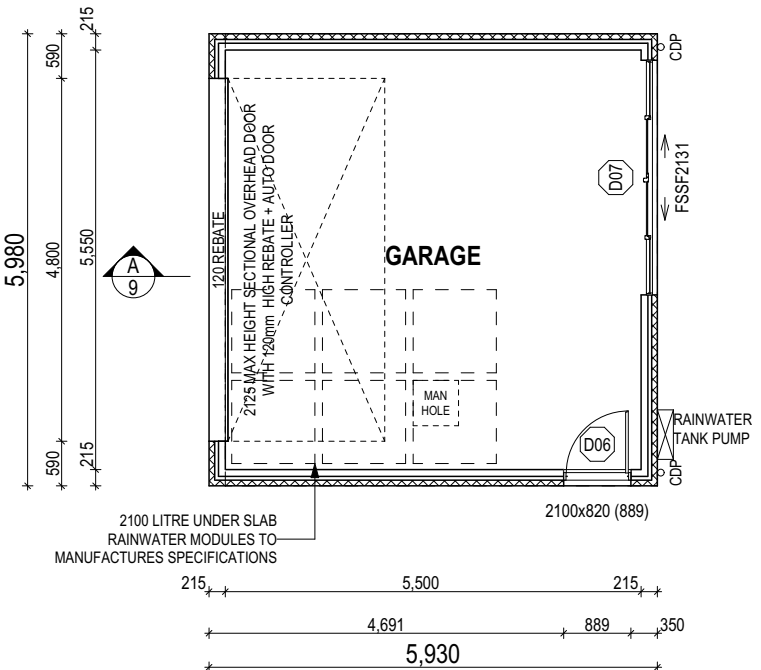
REFER TO WINDOW & DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS

ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC REQUIREMENTS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



5,930
215 5,500 215



FLOOR PLAN LEGEND

- HS / WS HOB SPOUT / WALL SPOUT
FACE BRICK / COMMON BRICK
HEBEL
SOUND INSULATION
AJ BRICK ARTICULATION JOINT
3D DENOTES DRAWER SIDE
EXHAUST FAN
L.B.W LOAD BEARING WALL
THIS DOOR OPENS FIRST
SMOKE ALARM
LIFT OFF HINGE
+ WATER POINT
WP FRIDGE WATER POINT
GAS GAS BAYONET

AGGRESSIVE SOIL REQUIREMENTS

SEE SHEET 1 (COVER SHEET) FOR DETAILS

HEBEL ARTICULATION JOINT LOCATION TO MANUFACTURERS SPECIFICATIONS

BAL-LOW BUSH FIRE REQUIREMENTS

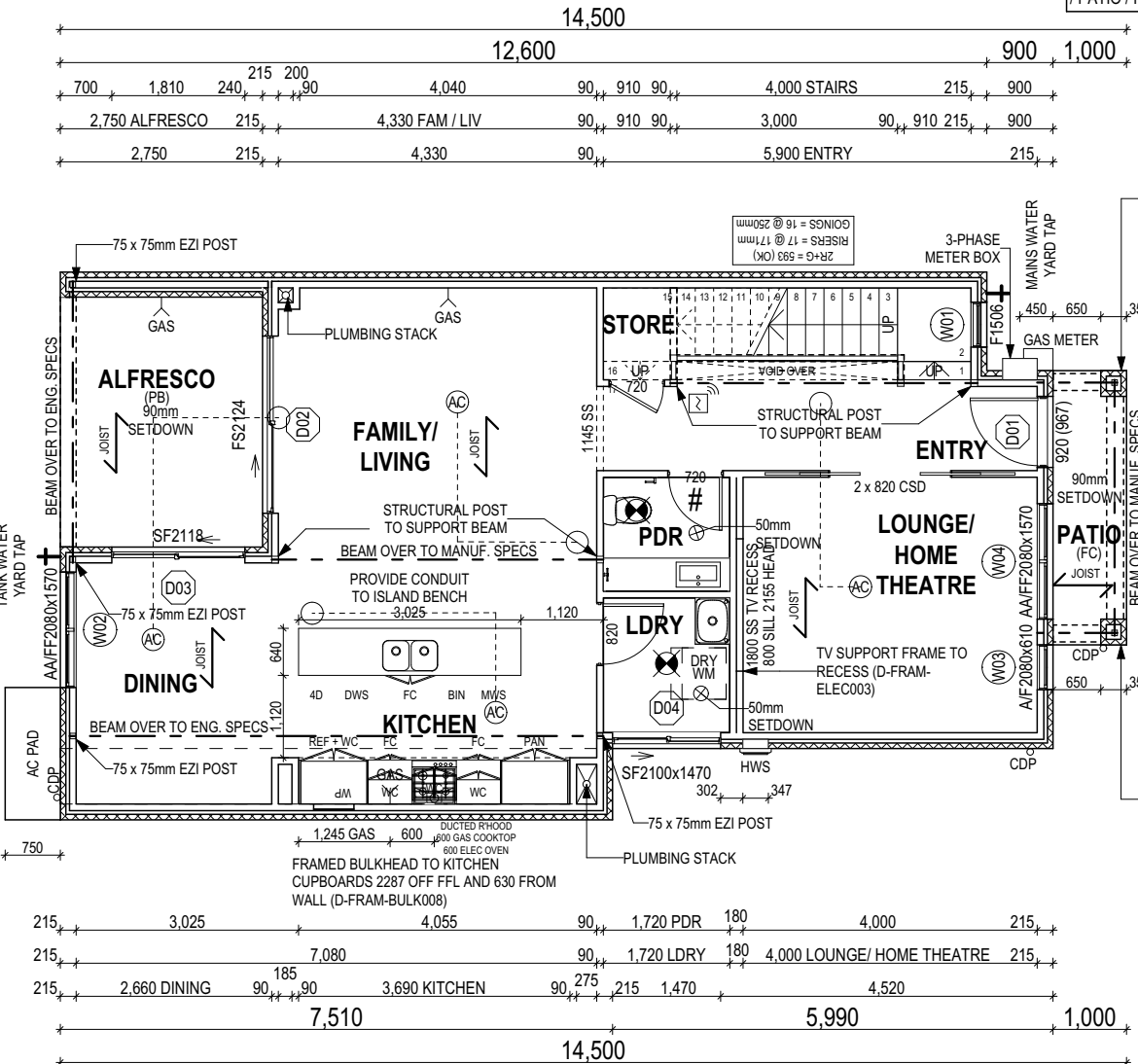
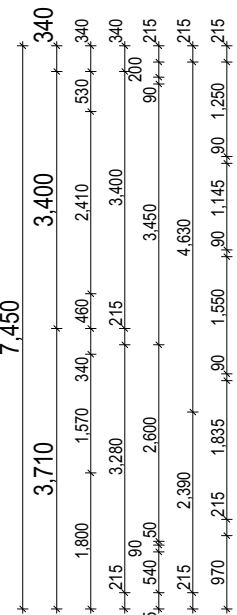
NO SPECIAL CONSTRUCTION REQUIREMENTS	Area (m ²)
ALFRESCO	10.29
BALCONY	3.50
GARAGE	35.46
LIVING (FIRST FLOOR)	86.27
LIVING (GROUND FLOOR)	83.27
PATIO	3.73
	222.52 m ²

PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH THE NCC.

ALL ALFRESCO SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB (DOES NOT APPLY TO VERANDAH / PATIO / PORCH SLABS).



CONSTRUCTION PLANS

DATE: 14/12/2020

DRAFTER: ZOV ESTIMATOR: TUL

DRAFTING OFFICE: SYDNEY

ALL DIMENSIONS ARE FRAME DIMENSIONS

© MCDONALD JONES COMMUNITIES PTY LTD T/A COMPLETE BY MCDONALD JONES (ACN 603 418 364). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). MCDONALD JONES COMMUNITIES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF MCDONALD JONES COMMUNITIES PTY LTD.



	DRAWING	DRAWN
5	ENGINEERS DETAILS	ZOV 2020.09.25
6	HOUSE & FACADE NAMES	ZOV 2020.09.29
7	SHADOWS ADJUSTED TO COUNCILS REQ.	ZOV 2020.10.22
8	AMENDED AS TO RFI	ZOV 2020.11.14
9	CONSTRUCTION PLAN	ZOV 2020.12.14

CLIENT: COMPLETE BY MCDONALD JONES			LOT No.: 6060	
ADDRESS: 7 COMMISSIONERS DRIVE			DP No.: 1238895	
SUBURB: DENHAM COURT	POSTCODE: 2565	COUNCIL: CAMPBELLTOWN	SECTION No.: N/A	

HOUSE DESIGN: LANGDALE THREE	HOUSE CODE:
FACADE DESIGN: ANDERSON	FACADE CODE:
SHEET TITLE: GROUND FLOOR PLAN	SCALES: 1:100
	SHEET No.: 4 / 20

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

951502

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPIPE DIRECTED TO TANK
SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL EXTERIOR STEPS AND LANDINGS BY OWNER UNLESS NOTED OTHERWISE

ALL FIRST FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW & DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS

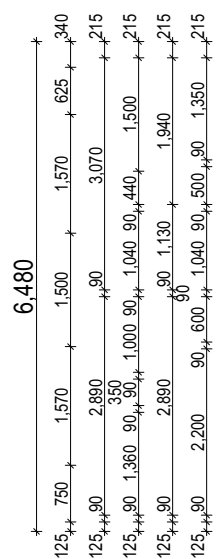
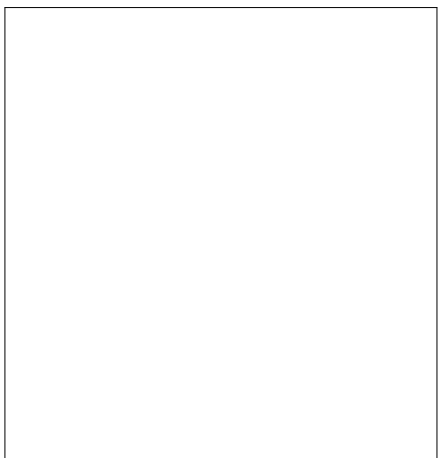
ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC REQUIREMENTS

FIRST FLOOR WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY THE NCC

PROVIDE FLOOR WASTE AND OVERFLOW SPITTERS TO UPPER FLOOR TANKED BALCONIES WHERE APPLICABLE AS PER:

- G-FACA-BALC02 (PFC/BRICKWORK)
- G-FRAM-BALC001 (LIGHTWEIGHT CLADDING)

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



HEBEL ARTICULATION JOINT LOCATION TO MANUFACTURERS SPECIFICATIONS

BAL-LOW BUSHFIRE REQUIREMENTS NO SPECIAL CONSTRUCTION REQUIREMENTS

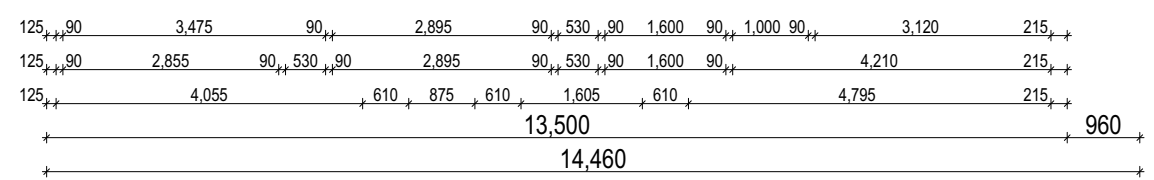
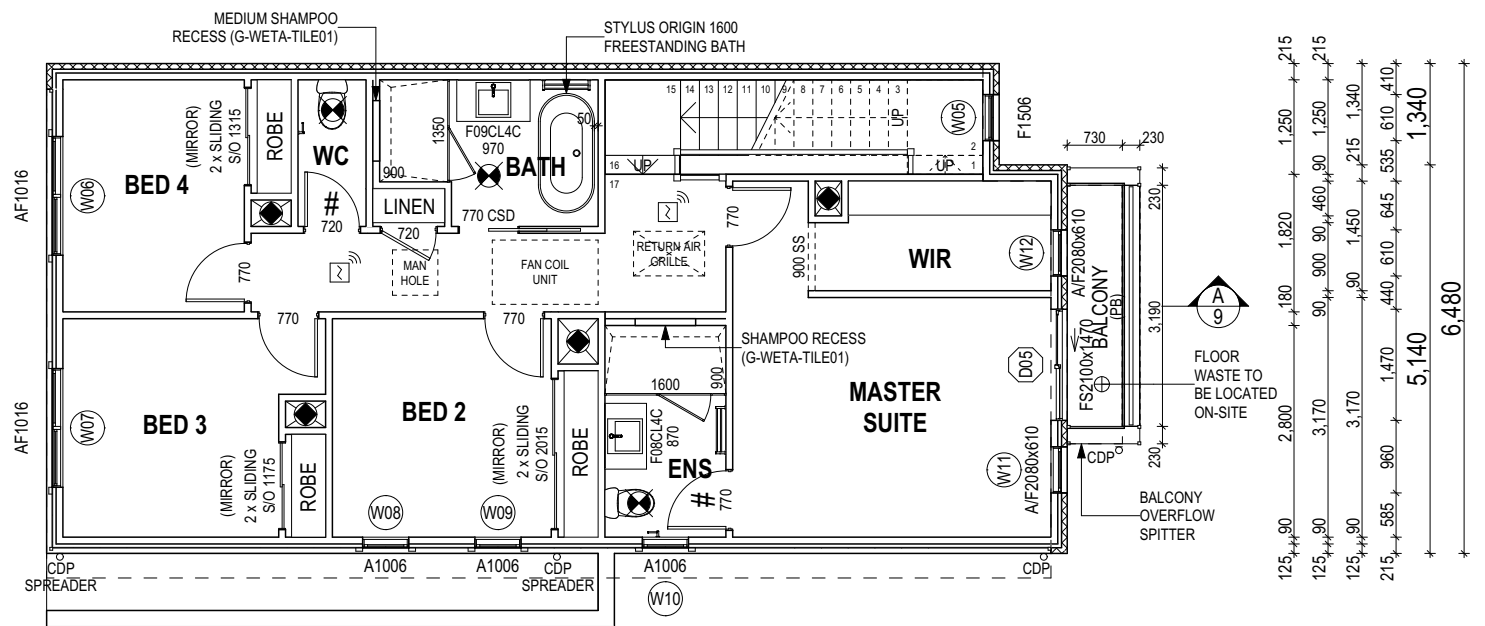
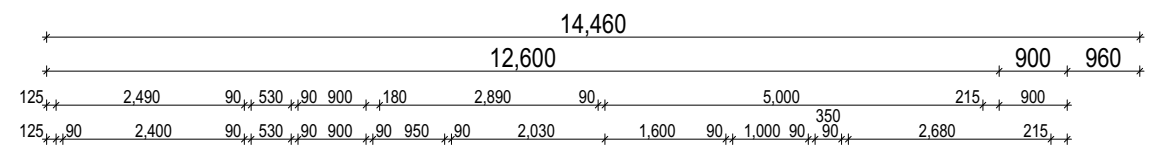
Total Floor Areas	
Area Name	Area (m²)
ALFRESCO	10.29
BALCONY	3.50
GARAGE	35.46
LIVING (FIRST FLOOR)	86.27
LIVING (GROUND FLOOR)	83.27
PATIO	3.73
	222.52 m²

PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH THE NCC.

ALL ALFRESCO SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB (DOES NOT APPLY TO VERANDAH / PATIO / PORCH SLABS).



FLOOR PLAN LEGEND

- HS / WS HOB SPOUT / WALL SPOUT
- [Brick pattern] FACE BRICK / COMMON BRICK
- [Hatched pattern] SOUND INSULATION
- AJ BRICK ARTICULATION JOINT
- 3D DENOTES DRAWER SIDE
- [Fan symbol] EXHAUST FAN
- L.B.W LOAD BEARING WALL
- [Circle with cross] THIS DOOR OPENS FIRST
- [Square with cross] SMOKE ALARM
- # LIFT OFF HINGE
- + WATER POINT
- WP FRIDGE WATER POINT
- GAS GAS BAYONET

ALL DIMENSIONS ARE FRAME DIMENSIONS

© MCDONALD JONES COMMUNITIES PTY LTD T/A COMPLETE BY MCDONALD JONES (ACN 603 418 364). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). MCDONALD JONES COMMUNITIES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF MCDONALD JONES COMMUNITIES PTY LTD.

CONSTRUCTION PLANS

DATE:
14/12/2020

DRAFTER: ZOV ESTIMATOR: TUL

DRAFTING OFFICE:
SYDNEY



	DRAWING	DRAWN
5	ENGINEERS DETAILS	ZOV 2020.09.25
6	HOUSE & FACADE NAMES	ZOV 2020.09.29
7	SHADOWS ADJUSTED TO COUNCILS REQ.	ZOV 2020.10.22
8	AMENDED AS TO RFI	ZOV 2020.11.14
9	CONSTRUCTION PLAN	ZOV 2020.12.14

CLIENT: COMPLETE BY MCDONALD JONES			LOT No.: 6060	
ADDRESS: 7 COMMISSIONERS DRIVE			DP No.: 1238895	
SUBURB: DENHAM COURT	POSTCODE: 2565	COUNCIL: CAMPBELLTOWN	SECTION No.: N/A	

HOUSE DESIGN: LANGDALE THREE		HOUSE CODE:	
FACADE DESIGN: ANDERSON		FACADE CODE:	
SHEET TITLE: FIRST FLOOR PLAN	SCALES: 1:100	SHEET No.: 5 / 20	

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

951502

WINDOW SCHEDULE

0, 3 ASSUME LOOKING FROM OUTSIDE

1, 2 ASSUME LOOKING FROM INSIDE

ID	CODE ⁰	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE	ADDITIONAL INFORMATION ³
W01	F1506	STAIRWELL	1,460	610	4,140	0.89	ALUMINIUM	N/A	NONE	NW	0.75	CLEAR, TOUGHENED	
W02	AA/FF2080x1570	DINING	2,080	1,570	7,300	3.27	ALUMINIUM	N/A	NONE	SE	2.54	CLEAR	BP 620, MP 785/785
W03	A/F2080x610	LOUNGE / HOME THEATRE	2,080	610	5,380	1.27	ALUMINIUM	N/A	NONE	NW	0.94	CLEAR	BP 620
W04	AA/FF2080x1570	LOUNGE / HOME THEATRE	2,080	1,570	7,300	3.27	ALUMINIUM	N/A	NONE	NW	2.54	CLEAR	BP 620, MP 785/785
W05	F1506	STAIRWELL	1,460	610	4,140	0.89	ALUMINIUM	N/A	NONE	NW	0.75	CLEAR	
W06	AF1016	BED 4	1,030	1,570	5,200	1.62	ALUMINIUM	N/A	NONE	SE	1.28	CLEAR	MP 785
W07	AF1016	BED 3	1,030	1,570	5,200	1.62	ALUMINIUM	N/A	NONE	SE	1.28	CLEAR	MP 785
W08	A1006	BED 2	1,030	610	3,280	0.63	ALUMINIUM	N/A	NONE	NE	0.44	CLEAR	
W09	A1006	BED 2	1,030	610	3,280	0.63	ALUMINIUM	N/A	NONE	NE	0.44	CLEAR	
W10	A1006	ENS	1,030	610	3,280	0.63	ALUMINIUM	N/A	NONE	NE	0.44	OBSURE, TOUGHENED	
W11	A/F2080x610	MASTER SUITE	2,080	610	5,380	1.27	ALUMINIUM	N/A	NONE	NW	0.94	CLEAR	BP 620
W12	A/F2080x610	WIR	2,080	610	5,380	1.27	ALUMINIUM	N/A	NONE	NW	0.94	CLEAR	BP 620
						17.26	13.28						

EXTERIOR DOOR SCHEDULE

0, 1 ASSUME LOOKING FROM OUTSIDE

ID	CODE ⁰	ROOM	HEIGHT	WIDTH	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	GLAZING	ORIENT.	DOOR TYPE	ADDITIONAL INFORMATION ¹
D01	920	ENTRY	2,106	967	2.04	TIMBER	N/A	SNAP HEADER	DOOR(S): CLEAR - SIDELIGHT(S): N/A	NW	SWINGING	
D02	FS2124	FAMILY / LIVING	2,100	2,410	5.06	ALUMINIUM	N/A	SNAP HEADER	CLEAR, TOUGHENED	SE	SLIDING	
D03	SF2118	DINING	2,100	1,810	3.80	ALUMINIUM	N/A	SNAP HEADER	CLEAR, TOUGHENED	SW	SLIDING	
D04	SF2100x1470	LDRY	2,100	1,470	3.09	ALUMINIUM	N/A	SNAP HEADER	CLEAR, TOUGHENED	NE	SLIDING	
D05	FS2100x1470	MASTER SUITE	2,100	1,470	3.09	ALUMINIUM	N/A	SNAP HEADER	CLEAR, TOUGHENED	NW	SLIDING	
D06	2100x820	GARAGE	2,100	889	1.87	ALUMINIUM	N/A	SNAP HEADER	N/A	NE	SWINGING	
D07	FSSF2131	GARAGE	2,100	3,104	6.52	ALUMINIUM	N/A	SNAP HEADER	CLEAR, TOUGHENED	NW	SLIDING	

25.47 m²

INTERIOR DOOR SCHEDULE

QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING	ADDITIONAL INFORMATION
1	1145 SS	SQUARE SET OPENING	2,155	1,145	N/A	
1	2 x 820 CSD	CAVITY SLIDING	2,040	1,640	N/A	
1	2 x SLIDING	SLIDING	2,040	2,000	N/A	SELECT
1	2 x SLIDING	SLIDING	2,040	1,300	N/A	SELECT
1	2 x SLIDING	SLIDING	2,040	1,160	N/A	SELECT
2	720	SWINGING	2,040	720	N/A	
2	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES
4	770	SWINGING	2,040	770	N/A	
1	770	SWINGING	2,040	770	N/A	LIFT-OFF HINGES
1	770 CSD	CAVITY SLIDING	2,040	770	N/A	
1	820	SWINGING	2,040	820	N/A	
1	900 SS	SQUARE SET OPENING	2,155	900	N/A	

PICTURE / TV RECESS & SQUARE SET WINDOW SCHEDULE

QTY	TYPE	HEIGHT	WIDTH	AREA (m²)
1	TV RECESS	1,355	1.80	2.44

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

CONSTRUCTION PLANS

DATE:
14/12/2020

DRAFTER: ESTIMATOR:
ZOV TUL

DRAFTING OFFICE:
SYDNEY

BAL-LOW BUSHFIRE REQUIREMENTS
NO SPECIAL CONSTRUCTION REQUIREMENTS

MCDONALD JONES COMMUNITIES PTY LTD T/A COMPLETE BY MCDONALD JONES (ACN 603 418 364). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). MCDONALD JONES COMMUNITIES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF MCDONALD JONES COMMUNITIES PTY LTD.



BY MCDONALD JONES

© 2020

	DRAWING	DRAWN
5	ENGINEERS DETAILS	ZOV 2020.09.25
6	HOUSE & FACADE NAMES	ZOV 2020.09.29
7	SHADOWS ADJUSTED TO COUNCILS REQ.	ZOV 2020.10.22
8	AMENDED AS TO RFI	ZOV 2020.11.14
9	CONSTRUCTION PLAN	ZOV 2020.12.14

CLIENT: COMPLETE BY MCDONALD JONES			LOT No.: 6060	
ADDRESS: 7 COMMISSIONERS DRIVE			DP No.: 1238895	
SUBURB: DENHAM COURT	POSTCODE: 2565	COUNCIL: CAMPBELLTOWN	SECTION No.: N/A	

HOUSE DESIGN: LANGDALE THREE		HOUSE CODE:	
FACADE DESIGN: ANDERSON		FACADE CODE:	
SHEET TITLE: WINDOW & DOOR SCHEDULES		SCALES:	SHEET No.: 6 / 20

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

951502

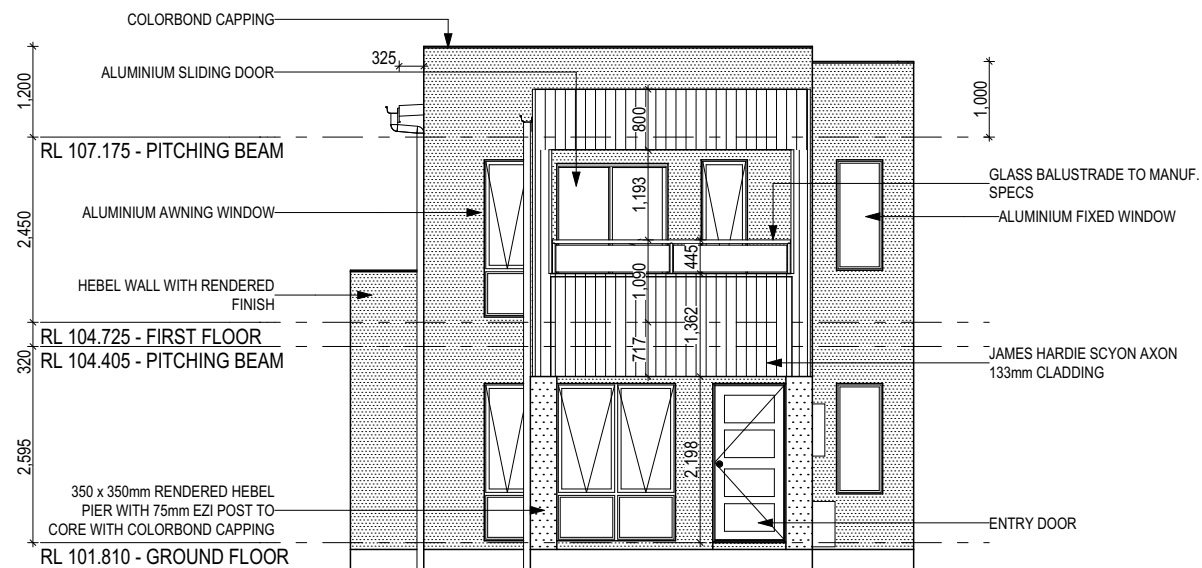
BAL-LOW BUSHFIRE REQUIREMENTS
NO SPECIAL CONSTRUCTION REQUIREMENTS

REFER TO SHEET 1 (COVER SHEET) FOR ALL
BUILDING INFORMATION REGARDING:

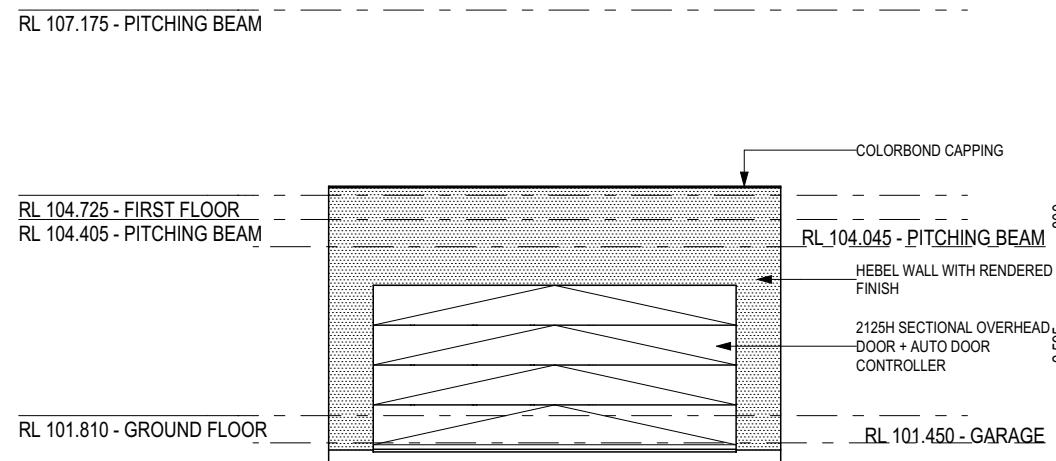
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL

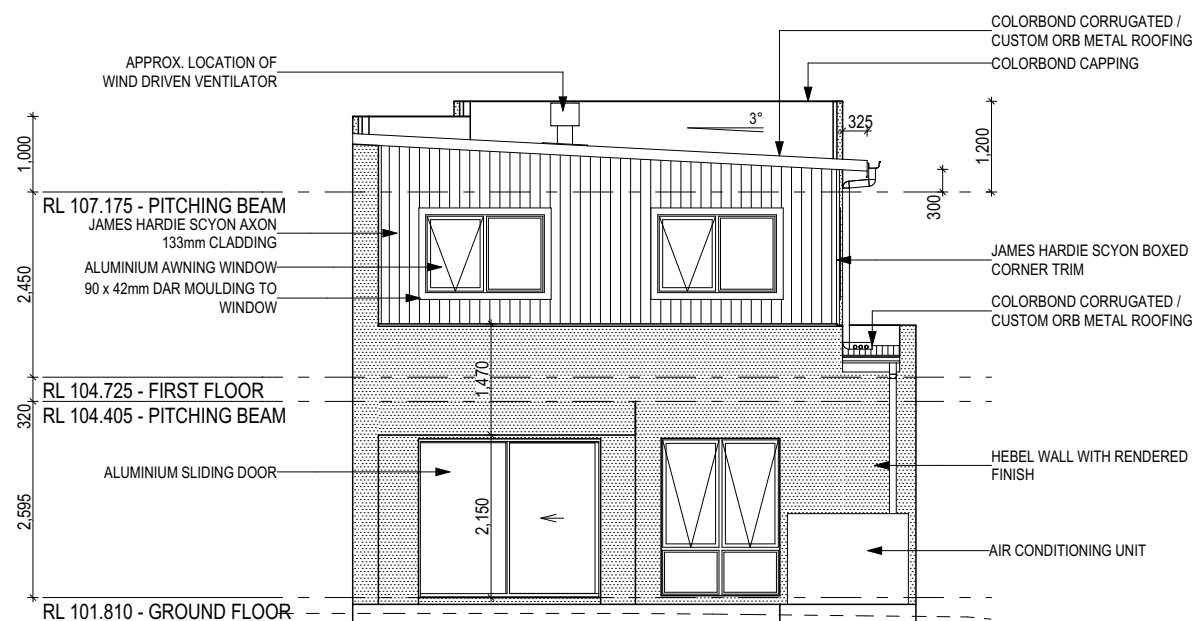
FIRST FLOOR WINDOW OPENINGS TO BE
RESTRICTED AS REQUIRED BY THE NCC



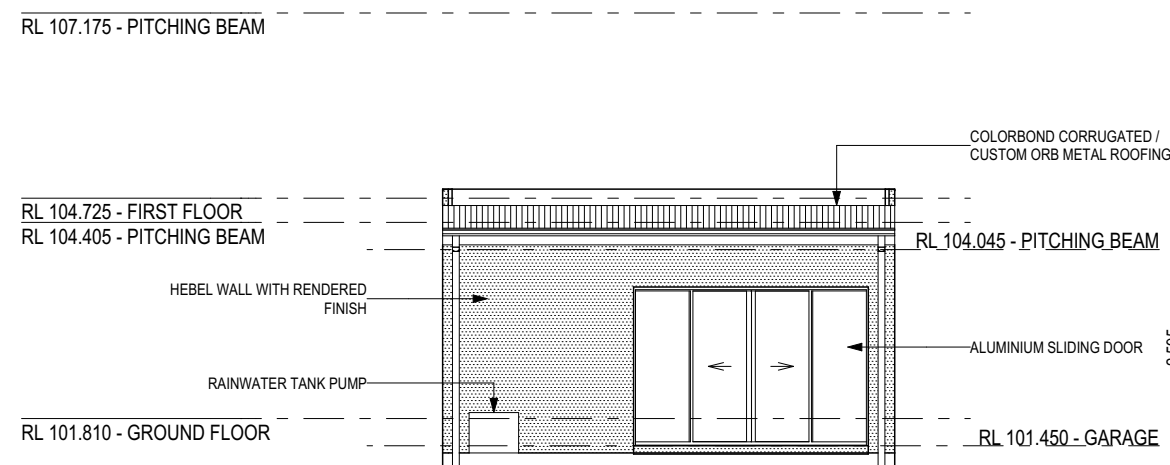
FRONT ELEVATION (MAIN DWELLING)
Scale: 1:100



FRONT ELEVATION (GARAGE)
Scale: 1:100



REAR ELEVATION (MAIN DWELLING)
Scale: 1:100



REAR ELEVATION (GARAGE)
Scale: 1:100

CONSTRUCTION PLANS

DATE:

14/12/2020

DRAFTER:

ZOV

ESTIMATOR:

TUL

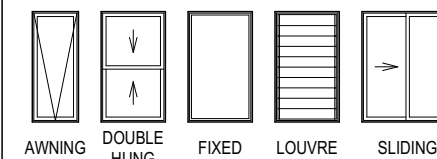
DRAFTING OFFICE:

SYDNEY

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



© MCDONALD JONES COMMUNITIES PTY LTD T/A COMPLETE BY MCDONALD JONES (ACN 603 418 364). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). MCDONALD JONES COMMUNITIES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF MCDONALD JONES COMMUNITIES PTY LTD.



	DRAWING	DRAWN	
5	ENGINEERS DETAILS	ZOV	2020.09.25
6	HOUSE & FACADE NAMES	ZOV	2020.09.29
7	SHADOWS ADJUSTED TO COUNCILS REQ.	ZOV	2020.10.22
8	AMENDED AS TO RFI	ZOV	2020.11.14
9	CONSTRUCTION PLAN	ZOV	2020.12.14

CLIENT: COMPLETE BY MCDONALD JONES			LOT No.: 6060
ADDRESS: 7 COMMISSIONERS DRIVE			DP No.: 1238895
SUBURB: DENHAM COURT	POSTCODE: 2565	COUNCIL: CAMPBELLTOWN	SECTION No.: N/A

HOUSE DESIGN: LANGDALE THREE	HOUSE CODE:	
FACADE DESIGN: ANDERSON	FACADE CODE:	
SHEET TITLE: ELEVATIONS	SCALES: 1:100	SHEET No. 7 / 20

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

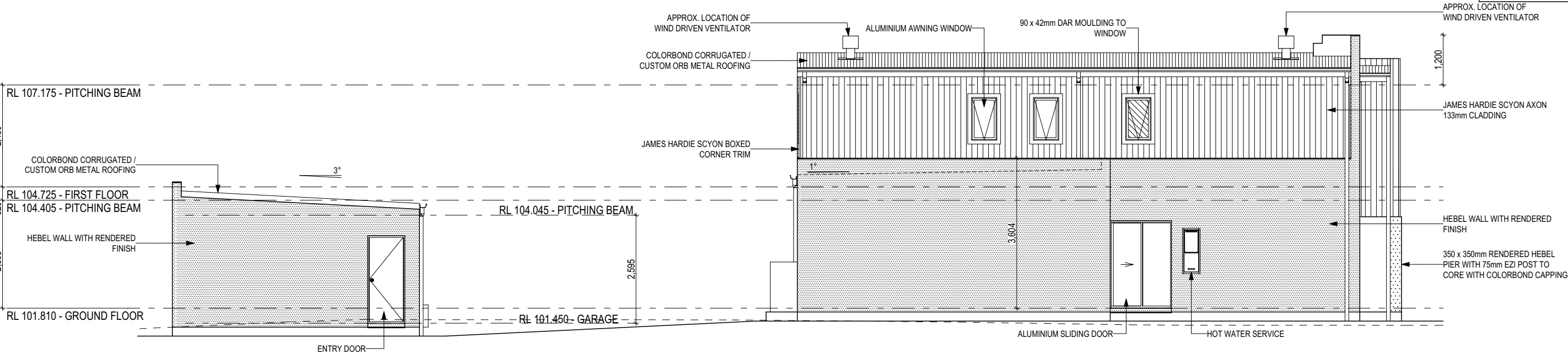
951502

BAL-LOW BUSHFIRE REQUIREMENTS
NO SPECIAL CONSTRUCTION REQUIREMENTS

REFER TO SHEET 1 (COVER SHEET) FOR ALL
BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

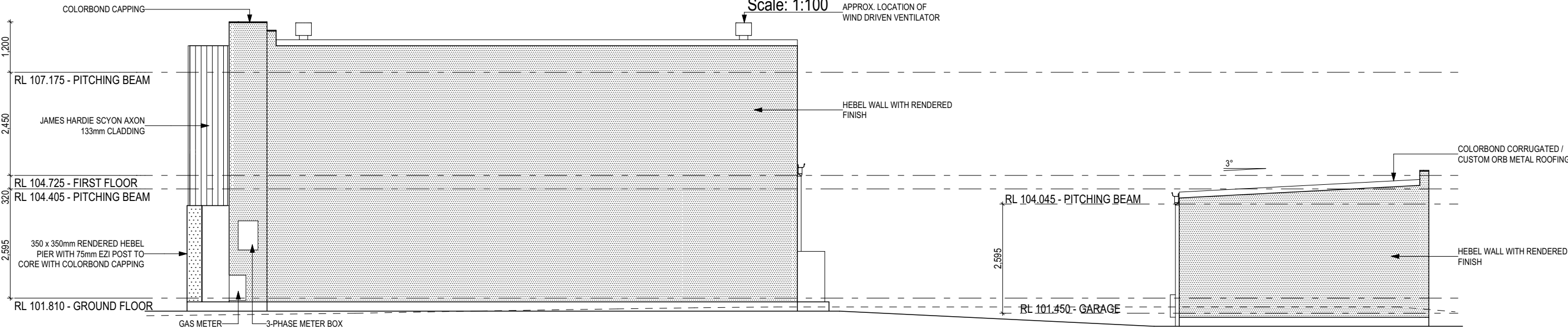
SH = SNAP HEADER SILL

FIRST FLOOR WINDOW OPENINGS TO BE
RESTRICTED AS REQUIRED BY THE NCC



LEFT ELEVATION

Scale: 1:100



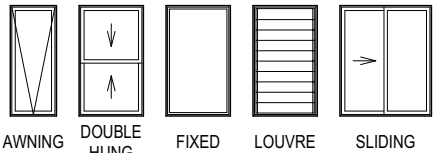
RIGHT ELEVATION

Scale: 1:100

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



ALL CUT/FILL BATTERS ARE 1:1 MAX GRADIENT

© MCDONALD JONES COMMUNITIES PTY LTD T/A COMPLETE BY MCDONALD JONES (ACN 603 418 364). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). MCDONALD JONES COMMUNITIES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF MCDONALD JONES COMMUNITIES PTY LTD.

CONSTRUCTION PLANS

DATE:

14/12/2020

DRAFTER:

ZOV

ESTIMATOR:

TUL

DRAFTING OFFICE:

SYDNEY



	DRAWING	DRAWN
5	ENGINEERS DETAILS	ZOV 2020.09.25
6	HOUSE & FACADE NAMES	ZOV 2020.09.29
7	SHADOWS ADJUSTED TO COUNCILS REQ.	ZOV 2020.10.22
8	AMENDED AS TO RFI	ZOV 2020.11.14
9	CONSTRUCTION PLAN	ZOV 2020.12.14

CLIENT:			LOT No.:	
COMPLETE BY MCDONALD JONES			6060	
ADDRESS:			DP No.:	
7 COMMISSIONERS DRIVE			1238895	
SUBURB:	POSTCODE:	COUNCIL:	SECTION No.:	
DENHAM COURT	2565	CAMPBELLTOWN	N/A	

HOUSE DESIGN:		HOUSE CODE:	
LANGDALE THREE			
FACADE DESIGN:		FACADE CODE:	
ANDERSON			
SHEET TITLE:	SCALES:	SHEET No.:	
ELEVATIONS	1:100	8 / 20	

DO NOT SCALE DRAWINGS, USE
FIGURED DIMENSIONS ONLY. CHECK
AND VERIFY DIMENSIONS AND LEVELS
PRIOR TO THE COMMENCEMENT OF ANY
WORK. ALL DISCREPANCIES TO BE
REPORTED TO THE DRAFTING OFFICE.

951502

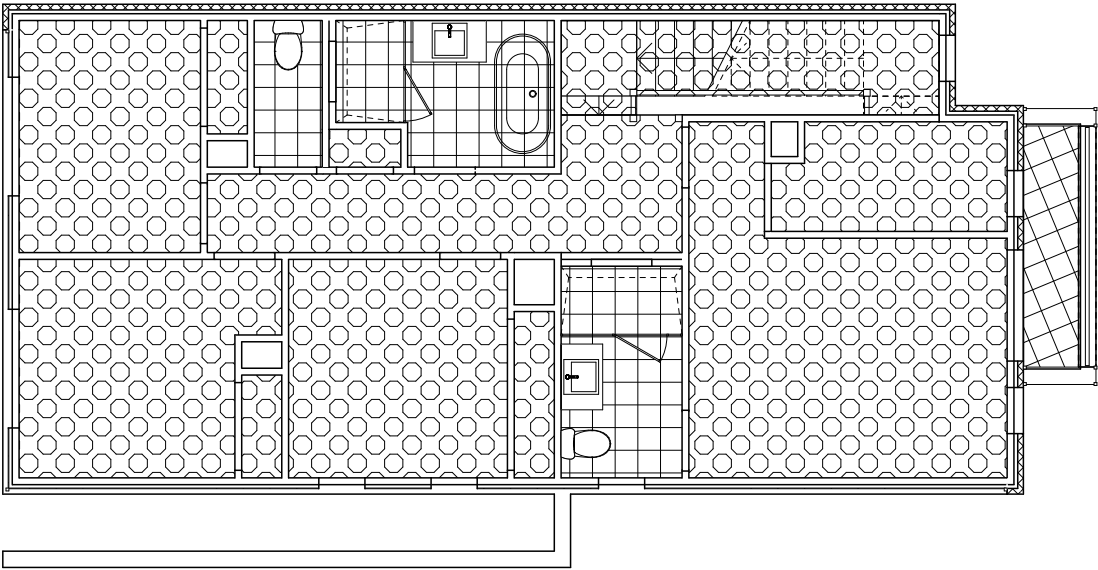
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

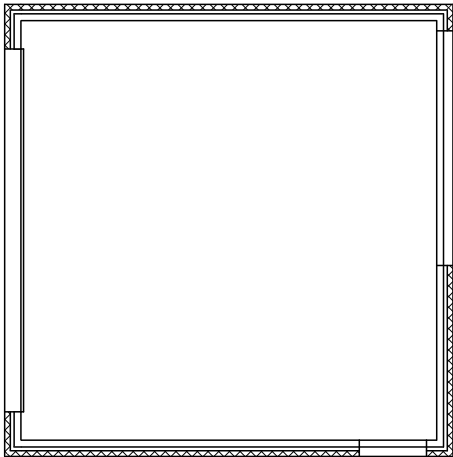
COVERINGS LEGEND

- NO COVERING
- COVER GRADE CONCRETE
- CARPET
- TIMBER/LAMINATE (BY OWNER)
- TILE (STANDARD WET AREAS)
- TILE (UPGRADED AREAS)
- VINYL



FLOOR COVERINGS (FIRST FLOOR)

Scale: 1:100



FLOOR COVERINGS (GROUND FLOOR)

Scale: 1:100

BAL-LOW BUSHFIRE REQUIREMENTS
NO SPECIAL CONSTRUCTION REQUIREMENTS

MCDONALD JONES COMMUNITIES PTY LTD T/A COMPLETE BY MCDONALD JONES (ACN 603 418 364). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). MCDONALD JONES COMMUNITIES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF MCDONALD JONES COMMUNITIES PTY LTD.

CONSTRUCTION PLANS

DATE:
14/12/2020

DRAFTER: ESTIMATOR:
ZOV TUL

DRAFTING OFFICE:
SYDNEY



BY MCDONALD JONES

© 2020

	DRAWING	DRAWN
5	ENGINEERS DETAILS	ZOV 2020.09.25
6	HOUSE & FACADE NAMES	ZOV 2020.09.29
7	SHADOWS ADJUSTED TO COUNCILS REQ.	ZOV 2020.10.22
8	AMENDED AS TO RFI	ZOV 2020.11.14
9	CONSTRUCTION PLAN	ZOV 2020.12.14

CLIENT: COMPLETE BY MCDONALD JONES			LOT No.: 6060	
ADDRESS: 7 COMMISSIONERS DRIVE			DP No.: 1238895	
SUBURB: DENHAM COURT	POSTCODE: 2565	COUNCIL: CAMPBELLTOWN	SECTION No.: N/A	

HOUSE DESIGN: LANGDALE THREE		HOUSE CODE:	
FACADE DESIGN: ANDERSON		FACADE CODE:	
SHEET TITLE: FLOOR COVERINGS	SCALES: 1:100	SHEET No.: 18 / 20	

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

951502