

Working Drawings

1	Cover Sheet	N/A
2	Legends / Notes	N/A
3	Site Plan	1:200 @ A3
4	Floor Plan	1:100 @ A3
5	Elevations 1 of 2	1:100 @ A3
6	Elevations 2 of 2	1:100 @ A3
7	Sections / Details	as per dwg.
8	Slab Layout	1:100 @ A3
9	Electrical Plan	1:100 @ A3
10	Bracing Plan	1:100 @ A3
11	Landscaping Plan	1:200 @ A3
12	Internal Elevations 1 of 2	1:50 @ A3
13	Internal Elevations 2 of 2	1:50 @ A3

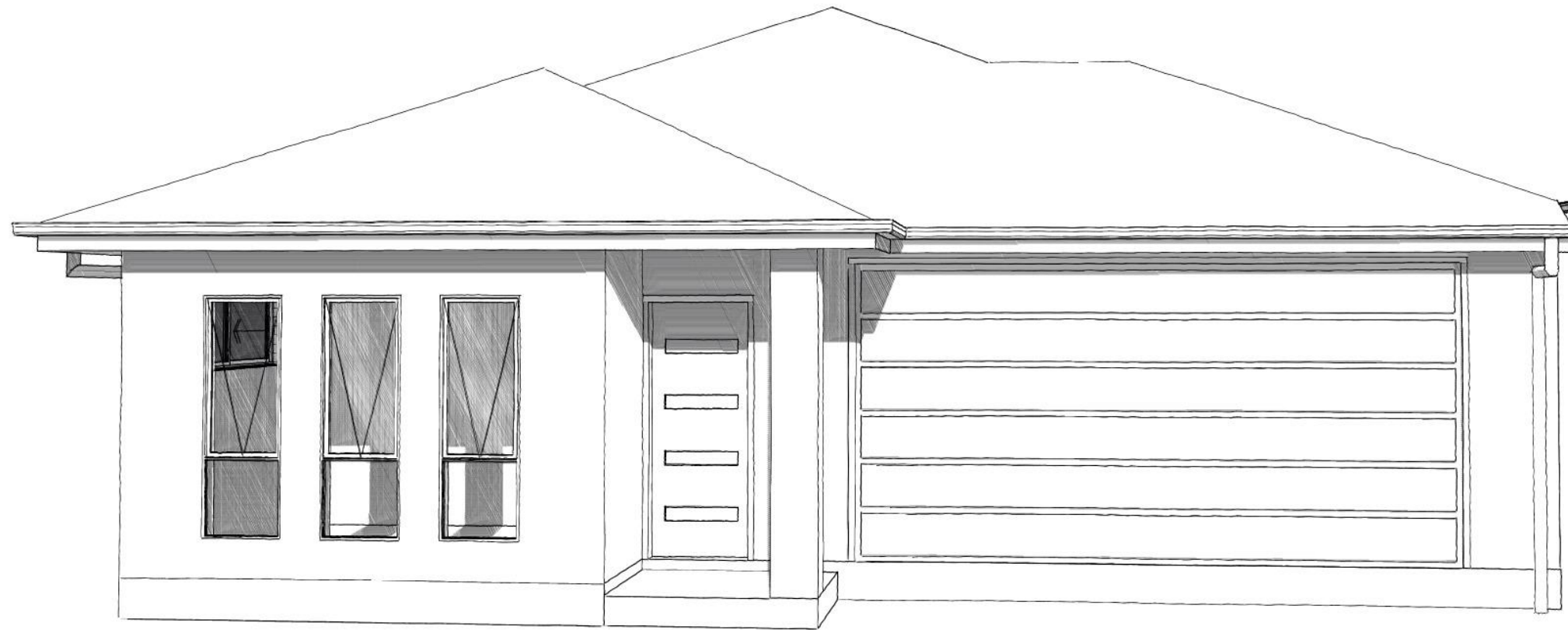


Issue	Date	Description
WD - A	02/02/21	BA Issue
WD - B	08/02/21	Design Changes

Proposed New Building For:

Freedom Developments

Lot 162 Davidson Circuit, Park Ridge (Carvers Reach Estate)



NOTES:
Images Are Diagramatic Only
Refer To Elevations For Details

ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE BUILDING CODE OF AUSTRALIA AND THE CURRENT AUSTRALIAN STANDARDS

General Notes

- Dishwasher provision under sink drainer including cold water connection & GPO
- Ventilation to internal wc / bath to be an exhaust fan in accordance with BCA F5.4 & AS - 1668.2
- O/head cupboards to 2100mm AFL with bulkhead over as per detail
- All openings to have 2100mm AFL
- Robe fitout (1) shelf with hanging rail
- PVC Downpipes
- Lift off hinges to w/c, Ensuite, Bathroom
- Dimensions are to be verified prior to commencement of work
- Given dimensions are to have priority to scaled dimensions
- All stairs are to have 190mm maximum risers and 240mm minimum goings
- All wet areas to be in accordance with the current Building Code of Australia 3.8.1 & current AS.
- Floor wastes to wet areas
 - Denotes Smoke Detector - to be interconnected & hardwired

Site Notes

- Contractor to verify all boundary clearances & site set-out dimensions prior to commencement of construction
- Levels & contours are based on assumed datum. Prior to construction the relevant authority should be contacted for possible minimum floor level requirements & flood information
- Retaining walls greater than 1m high (cut or fill) are required to be engineer designed & certified
- Batters to comply appropriate soil classification described in table 3.1.1.1. BCA Vol.2.
- Vehicular cross-over to be constructed as per local council requirements and/or approval
- Driveways, paths, porch, alfresco area finish as per specifications
- Scrape away vegetation & cut & fill to provide a level building platform
- Finish surface to be graded away from house at minimum of 1:20 for at least 1m
- Surface water to be channelled to council stormwater drainage system
- The driveway & pathways indicated on plan are suggested layouts
- All ground levels are approximate only
- All works to be constructed in accordance with the current Building Code of Australia, the current Australian Standards and all relevant current trade & technical manuals

Stormwater / Drainage Notes

- Drainage to be in accordance with part 3 of the BCA. Point to meet local authority requirements
- All plumbing & draining is to comply with the standard sewerage by-laws & requirements of the local authority
- All downpipes to be installed in accordance the current Building Code of Australia 3.5.2.5, each downpipe must not serve more than 12m of gutter length
- Stormwater system to local authority requirements (owner / applicant / builder to ensure no storm water runoff occurs onto adjoining properties, back onto any structures & no ponding under sub floor areas
- Stormwater approval for legal discharge to be obtained from local authority prior to work commencing. Discharge is proposed to: kerb & channel, rubble pit to council requirements, inter allotment drainage, storm water service main, canal or river.

Energy Efficiency

To comply with BCA 3.12 (unless otherwise stated)

AS PER ENERGY RATING ASSESSMENT CERTIFICATE

Construction Notes

This building has been designed in accordance with the current building code of australia, building act ammendment & australian standards

Roofing	Colorbond sheet, Pitch as specified on drawings
Ceiling Height	As specified on drawings
Joinery Level	As specified on drawings
Footings	To engineers design & detail
Slab Height	To engineers design & detail
Termite Management	In accordance with BCA volume 2, 3.1.3 termite risk management and A.S. 3660.1/1995
External Walls - Brick Veneer	230mm - 110mm Brickwork, 50mm Cavity, 70mm Timber Studs
External Walls - Lightweight	70mm Timber stud - lightweight cladding as per plans
Internal Linings	10mm Plasterboard; 6 mm Villaboard to all wet areas
Ceiling Linings	10mm Plasterboard
Soffit Linings	4.5mm Hardiflex
Window Flashing	To All Windows. As per manufacturers details
Roof Bracing	Speed Brace. As per manufacturers details
Fascia	Metal Fascia Fixed To Standard Rafter Bracket, Complete With Mitre Angles, Joining Sleeves Etc
Downpipes	PVC
Guttering	Colorbond
Smoke Alarms	To Be Hard Wire Installed In Accordance With Part 3.7.2 Of The B.C.A.

Timber Schedule

Note: all timber sizes are based on the current timber engineering code AS 1720. All member types are analyzed using limit state principles incorporating the latest timber technology available. All of the member types accessible using timber sizes meet the loading and serviceability criteria outlined in AS 1170.1 saa loading code and as 1684.2 - 2010 - residential timber-framed construction - part 1 - design criteria. All timber framing to be in accordance with AS 1684.3-2010

Wall Framing	Seasoned Pine
Top Plate (Load Bearing)	2 / 35 X 70 (MGP 12)
Bottom Plate (Load Bearing)	35 X 70 (MGP 12)
Bottom Plate (Non Load Bearing)	35 X 70 (MGP 10)
Studs (Load Bearing)	35 X 70 (MGP 12) @ 450 cts.
Studs (Non Load Bearing)	35 X 70 (MGP 10) @ 600 cts. (max. height 3000mm)
Nogging:	35 X 70 (MGP 10)
Jam studs:	Beside open. up to 1400mm wide 2 / 35 X 70 (MGP 12) Beside open. up to 2300mm wide 3 / 35 X 70 (MGP 12) Beside open. up to 3300mm wide 4 / 35 X 70 (MGP 12)

Roof framing: Prefabricated timber roof trusses @ specified 600 cts. Trusses to be engineer designed & fixed in accordance with manufacturer's specifications & tie down details

Lintels & beams: As specified by engineer designed & fixed in accordance with manufacturer's specifications & tie down details

Bearers & joists: As specified by engineer designed & fixed in accordance with manufacturer's specifications & tie down details

Articulation Joints

- (a) Verticle articulations joints must be provided in unreinforced masonry walls except where the site soli classification is A or S
- (b) Articulation joints between masonry elements must have a width not less than 10 mm and be provided (see **Figures 3.3.1.7 and 3.3.1.8**)-
- in straight, continuous walls having no openings, at not more than 6 m centres and not closer than the height of the wall away from corners; and
 - where the height of the wall changes by more than 20%, at the position of change in height; and
 - where openings more than 900x900 mm occur, at not more than 5 m centres, and positioned in line with one edge of the opening; and
 - where walls change in thickness; and
 - at control or construction joints in footing slabs; and
 - at junctions of walls constructed of different masonry materials; and
 - at deep chases (rebates) for service pipes.
- (c) For all articulation joints in cavity walls, extendable masonry anchors must be built in at every fourth course (see **Figure 3.3.1.9**). For veneer construction the extendable ties may be omitted.
- (d) For single leaf masonry walls stabilised by return walls, or engaged piers, any articulation joints must be within 300 mm of the vertical support (see **Figures 3.3.1.3 and 3.3.1.4(b)**).
- (e) Where masonry is required to be waterproof all joints must be sealed with a flexible, compressible material (see **Figure 3.3.1.9**).
- (f) Articulation joints must not be constructed adjacent to arched openings.
- (g) Articulation joints must not be located in unreinforced masonry above garage door openings or the like unless the panel of masonry is laterally supported with masonry ties or other suitable means.

DEVELOPMENT NEAR UNDERGROUND UTILITY SERVICES

For the purpose of this section of the table:

- An approval that has been granted to the development pursuant to Section 823 of the Water Act 2000 is deemed to satisfy the Performance Criteria of this section.⁴
- "Access Cover" means a removable cover to provide access for cleaning or inspection of sewers, stormwater drains and water mains.
- "Associated Structure" includes a sewer or stormwater manhole, a water meter and a fire hydrant.
- "Building" has the meaning defined in the Building Act 1975.
- "Connection Point" has the meaning defined in the Standard Sewerage Law.
- "Invert Level" means the bottom level of the inside of the pipe or drain.
- "Manhole" means an access chamber being a below Ground Level structure, with a cover, built in the line of a sewer or stormwater drain, through which a person may access the sewer or stormwater drain.
- "Sewer" includes sanitary drain jump-ups and capped slope junctions and manholes.
- "Structure" includes a masonry fence, deck, pergola, satellite dish, water storage tank and a retaining wall (of greater than 1 metre in Height).
- "Zone of Influence" means the area shown on the following diagram:

Legend

BCA	Building Code of Australia	WMS	Washing Machine Space
AS	Australian Standards	W.I.R	Walk-in-Robe
DP	Downpipe	SGD	Sliding Glass Door
HWS	Hot Water System	SW	Aluminum Sliding Window
SHS	Steel Post	DH	Aluminum Double Hung Window
SD	Service Duct	AW	Aluminum Awning Window
FW	Floor Waste	LV	Aluminum Louvre Window
T.B.C	To Be Confirmed	FG	Fixed Glass
R.L	Relative Level	SL	Side Light
AFL	Above Floor Level	SHR	Shower
NGL	Natural Ground Level	TR	Towel Rail
FGL	Finished Ground Level	TRH	Toilet Roll Holder
OHC	Overhead Cupboard	VSD	Vinyl Sliding Door
UBO	Under Bench Oven	MSD	Mirrored Sliding Door
WO	Wall Oven	CSD	Cavity Sliding Door
		RW	Rainwater Line
		DW	Dishwasher Provision
		MO	Microwave Provision

Area Calculations

House:	171.24 sqm
Garage:	36.06 sqm
Porch:	2.45 sqm
Alfresco:	10.90 sqm
Total:	220.65 sqm



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Owner / sDate.....

Owner / sDate.....

Client:

Freedom Developments
Lot 162 Davidson Circuit, Park Ridge
(Carvers Reach Estate)

Title:

Legends / Notes
Hamilton

Plot Date: 9/02/21

Drawing No: 2 of 13

Issue: B

Scale: N/A

Job N°:

Designed By: MB

Drawn By: CN

Checked By: MB

Working Drawings



Site Notes:

- final length & position of all retaining walls t.b.c on site by supervisor
- retaining walls higher than 1m in height to be engineered designed
- retaining walls constructed from treated pine timber, masonry blockwork or rock as per plans
- retaining walls may change location at supervisor's discretion if required
- fencing in accordance with developer covenants
- driveway gradient not to exceed 1:5
- Batters to comply appropriate soil classification described in table 3.1.1.1.BCA Vol.2.
- stormwater to legal point of discharge

Legend

	rock retaining wall
	timber retaining wall
	masonry block retaining wall
	conc. sleeper retaining wall
	direction of fall
FGL 17.500	Proposed FGL RL
16.65	NGL RL
dp	Downpipe Location
.....RW.....	Roof Water Line
- - - SW - - -	Stormwater Line
- - - S - - -	Sewer Line
	1800mm high butted timber fence
	1800mm high secondary street fencing minimum 50% transparent
	Field gully pit
	Single timber gate
	Letterbox
	Rubbish Bin Location
	Clothes line location

Real Property Description

Lot Number: 162
 Registered Plan Number: SP
 Parish:
 County:
 Local Authority: Logan C.C

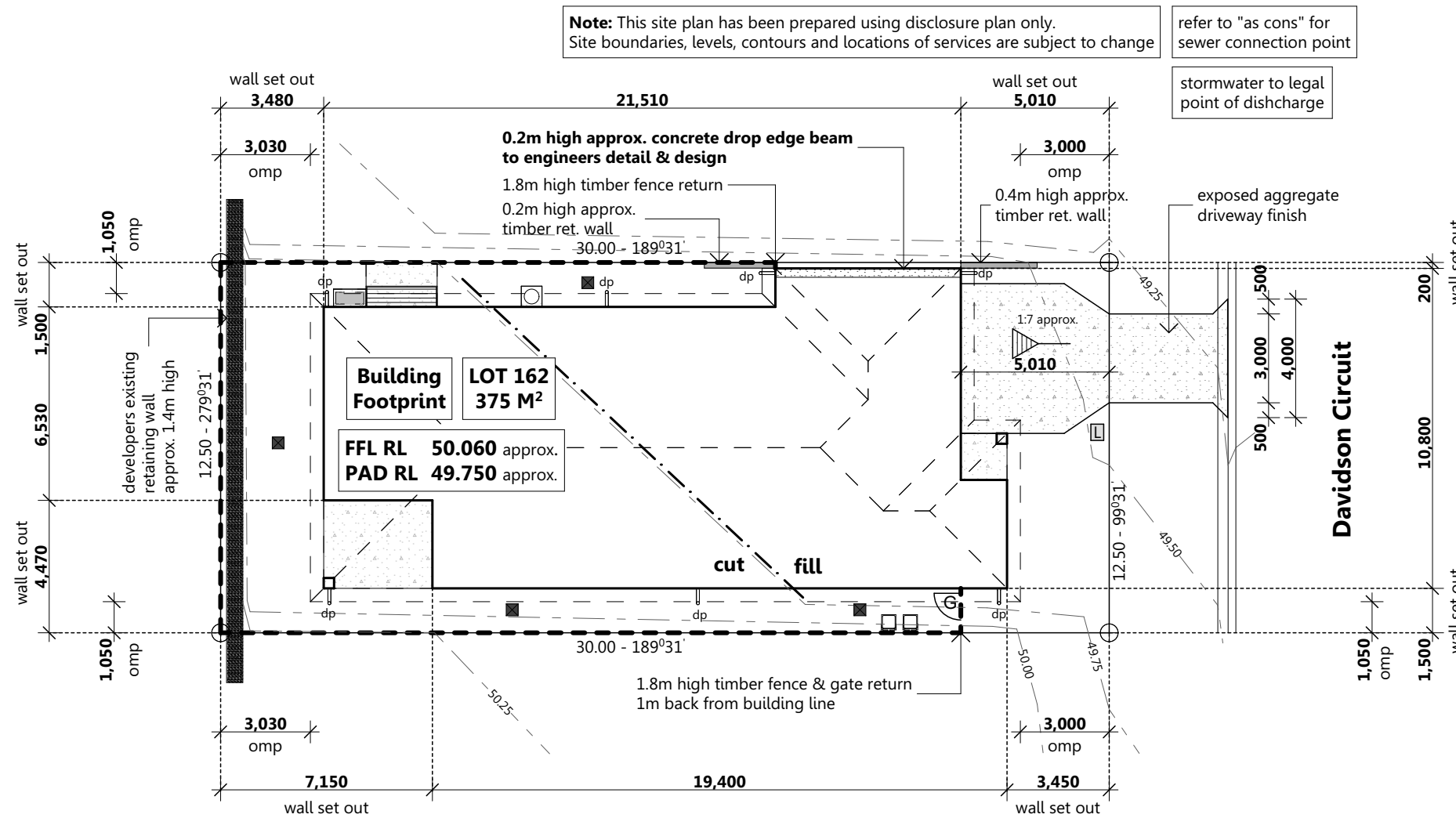
Site Area: 375M²
 Site Coverage: 58.84%

Driveway Gradient

Grade	1:7 approx.			
Transitional	Grade	1:8	1:4	1:8
	Distance	n/a	n/a	n/a
FFL	RL 50.060			
NGL (boundary)	RL 49.375			
Height Gain	0.685 m			
Distance	5.01 m			

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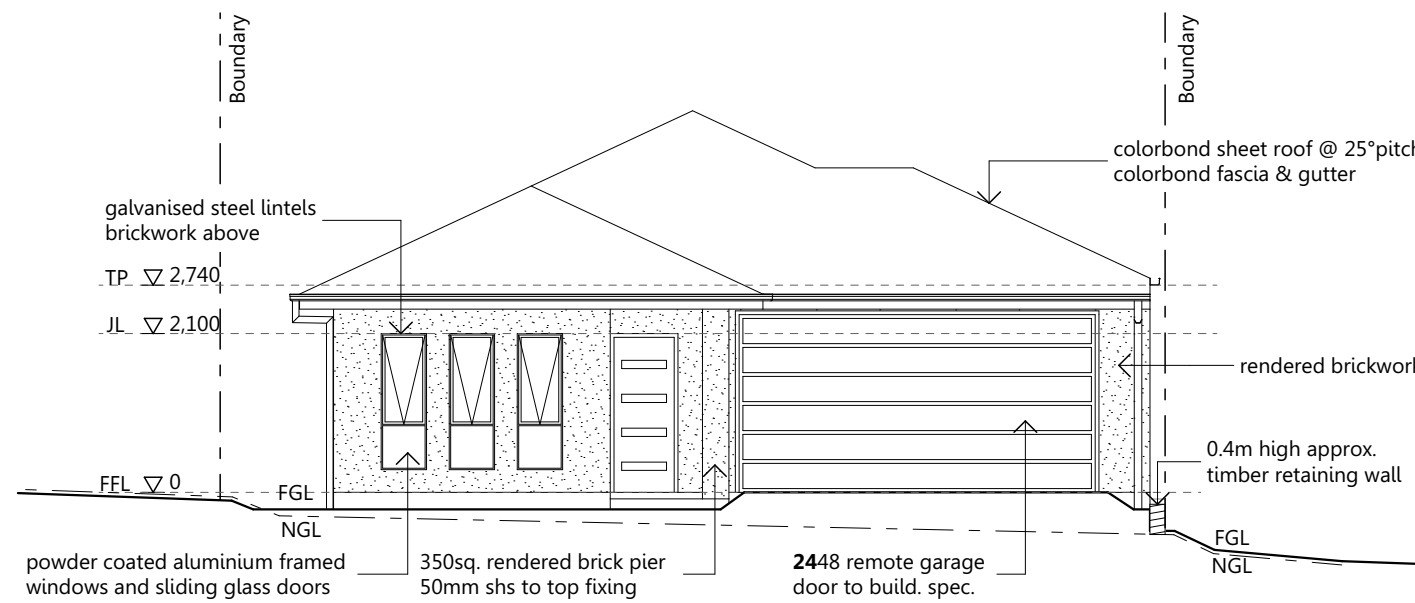
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 Owner / sDate.....

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 Lot 162 Davidson Circuit, Park Ridge
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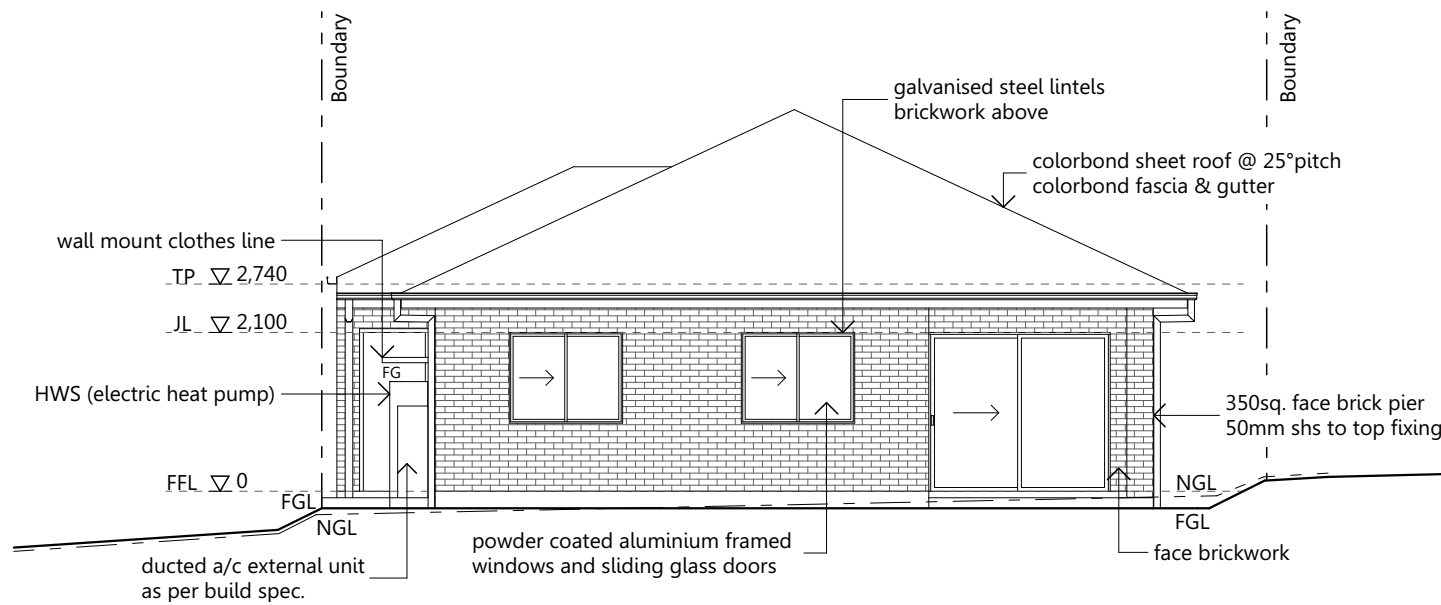
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Site Plan
 Design Name:
Hamilton

Plot Date: 9/02/21
 Drawing No: 3 of 13
 Issue: B
 Scale: 1:200 @ A3
 Designed By: MB
 Drawn By: CN
 Checked By: MB

Working Drawings



Elevation 1



Elevation 2

Note:

- These plans are to be read in conjunction with builders detailed specifications & all engineering documentation.
- Articulation joints as per engineering details
- All opening windows with fall height of 2m or greater to be restricted to max. 125mm opening

Area Calculations	
House:	171.24 sqm
Garage:	36.06 sqm
Porch:	2.45 sqm
Alfresco:	10.90 sqm
Total:	220.65 sqm



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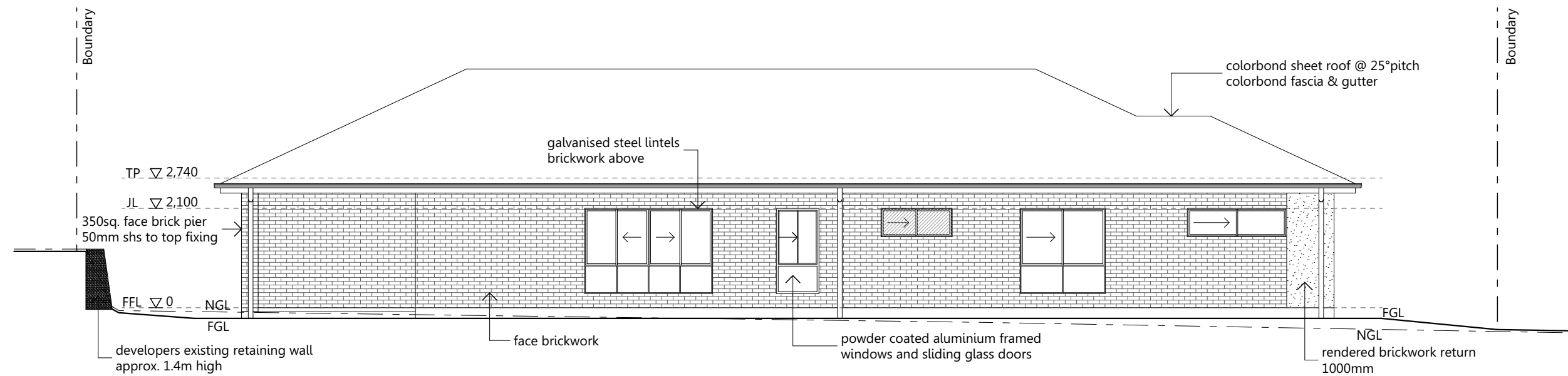
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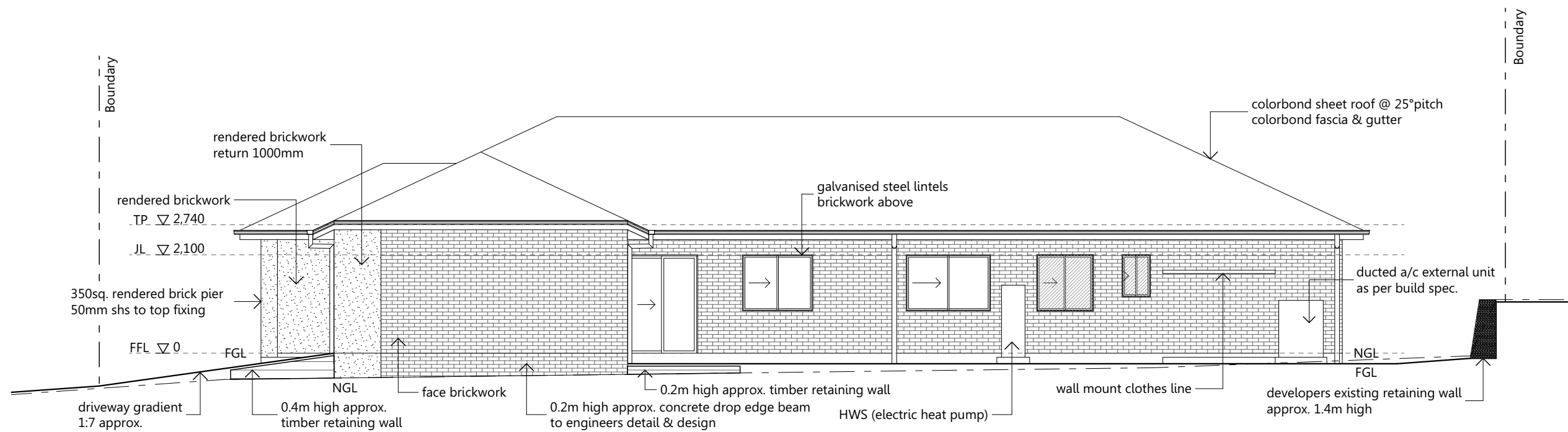
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Elevations 1 of 2
 Design Name:
Hamilton

Plot Date: 9/02/21
 Job N°:
 Drawing No: 5 of 13
 Issue: **B**
Working Drawings

Scale: 1:100 @ A3
 Designed By: MB
 Drawn By: CN
 Checked By: MB



Elevation 3



Elevation 4

Note:

- These plans are to be read in conjunction with builders detailed specifications & all engineering documentation.
- Articulation joints as per engineering details
- All opening windows with fall height of 2m or greater to be restricted to max. 125mm opening

Area Calculations	
House:	171.24 sqm
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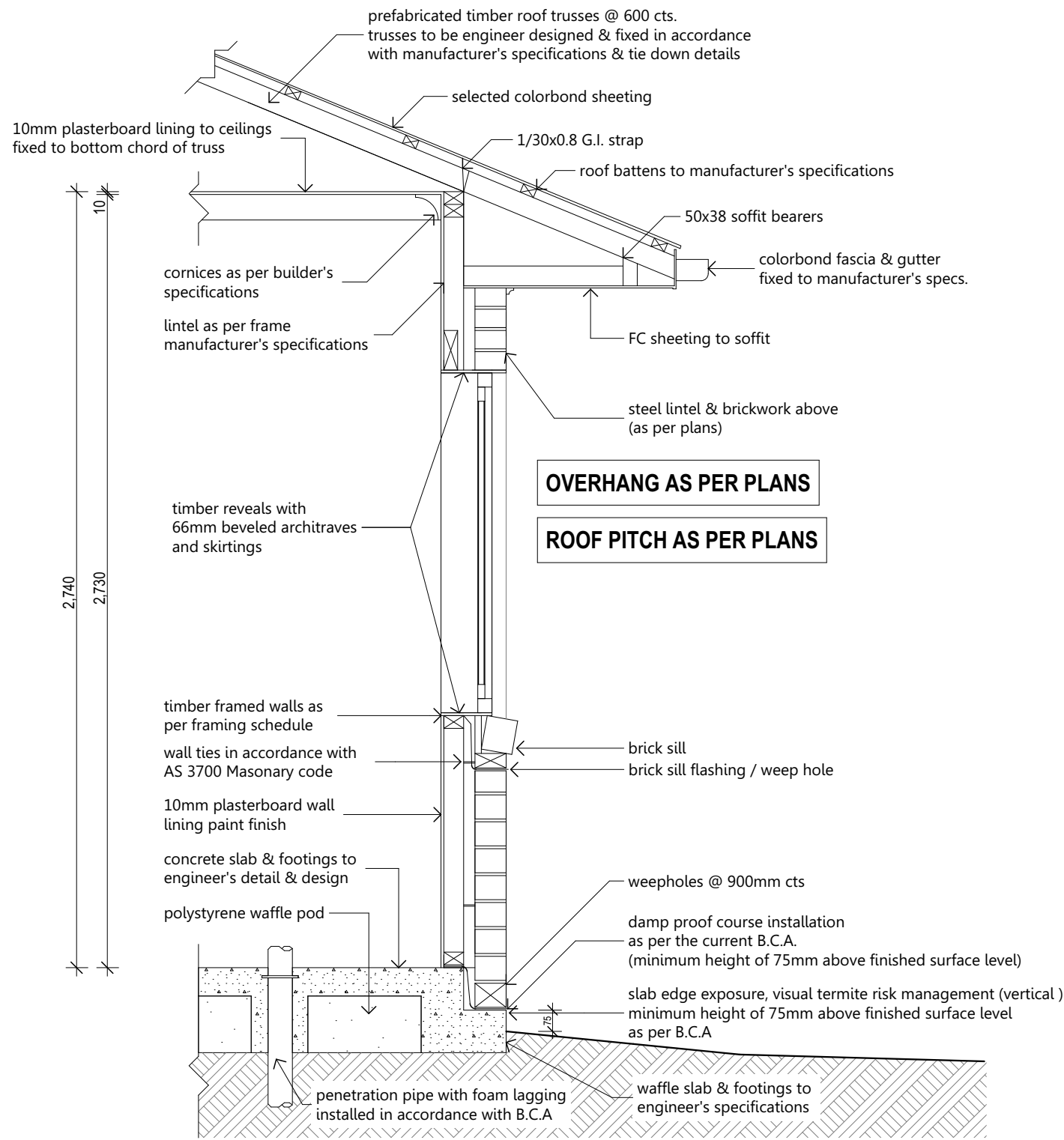
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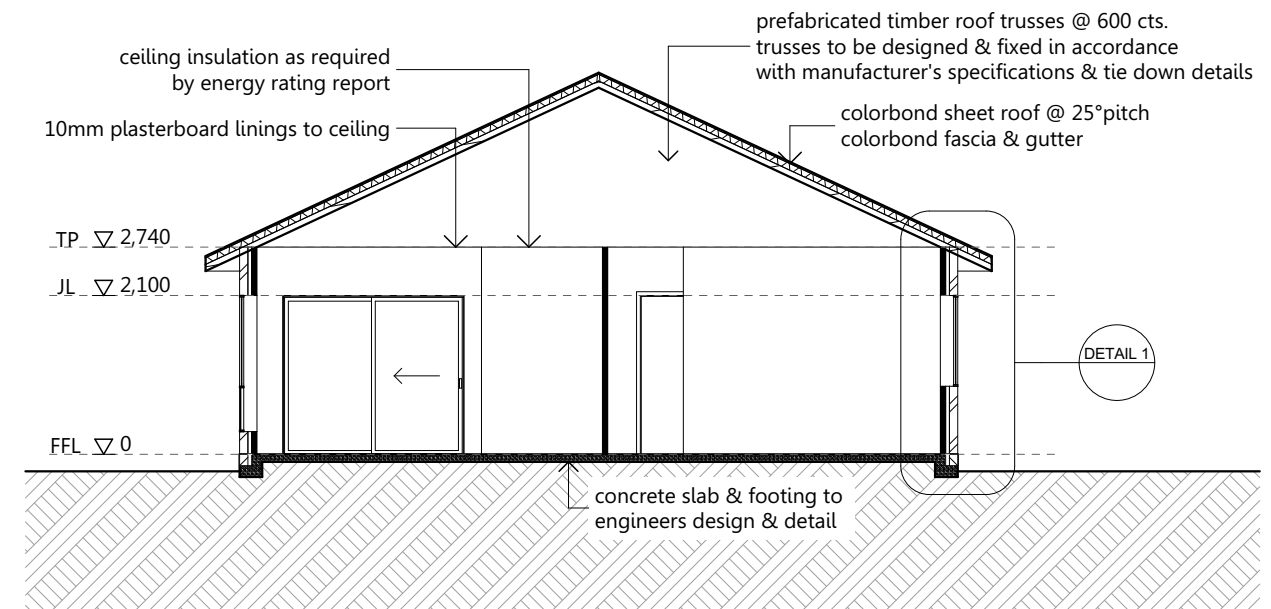
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Elevations 2 of 2
Design Name:
Hamilton

Plot Date: 9/02/21
Job N°:
Drawing No: 6 of 13
Issue: B
Scale: 1:100 @ A3
Designed By: MB
Drawn By: CN
Checked By: MB

Working Drawings



Detail 1 1:20



Section A 1:100 @ A3

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Owner / sDate.....
Owner / sDate.....

Client:
Freedom Developments
Lot 162 Davidson Circuit, Park Ridge
(Carvers Reach Estate)

Title:
Sections / Details
Design Name:
Hamilton

Plot Date: 9/02/21	Drawing No: 7 of 13	Issue: B	Scale: as per dwg.
Job N°:		Designed By: MB	
		Drawn By: CN	
		Checked By: MB	

Working Drawings

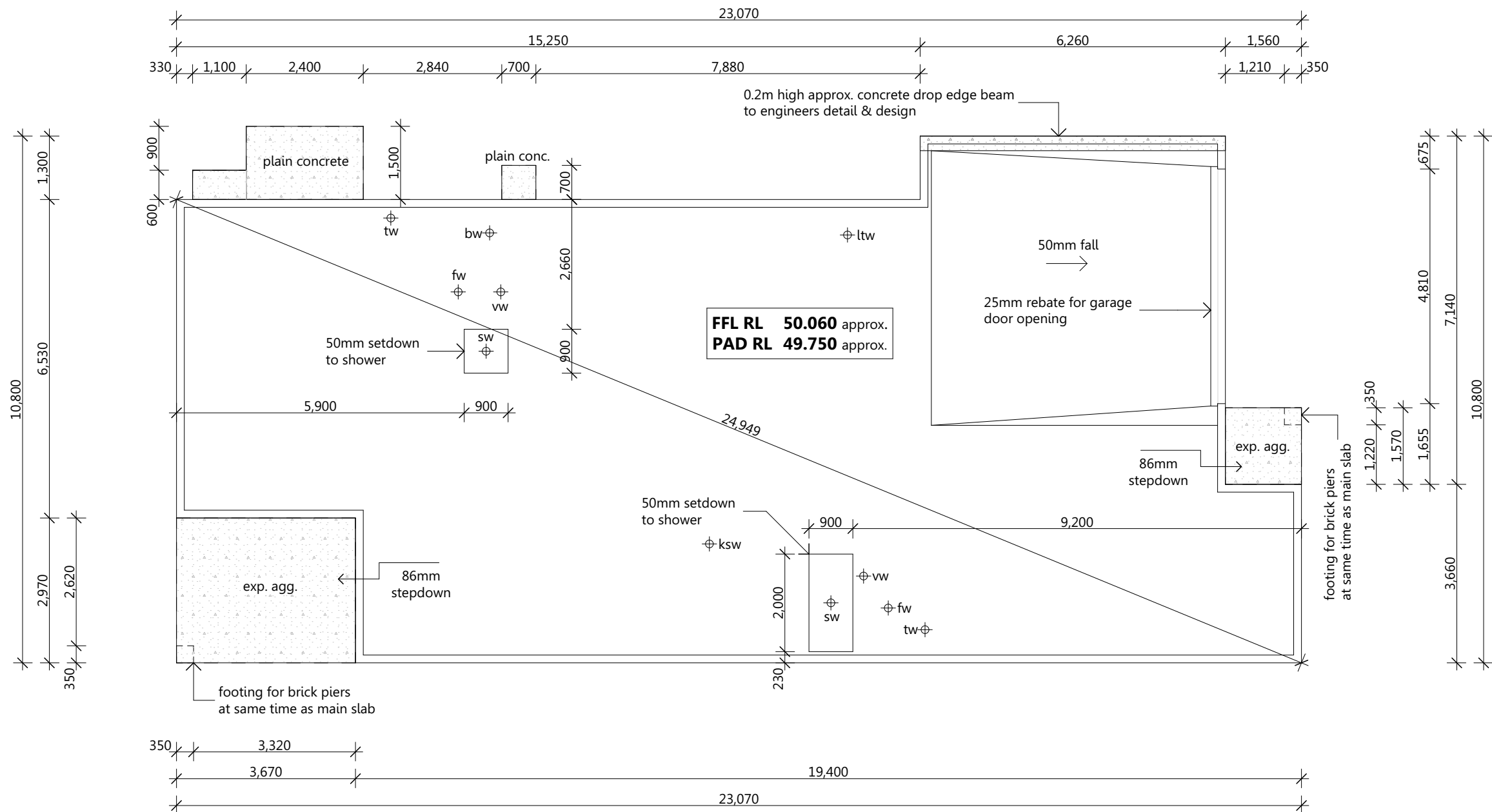


Legend

- ⊕ Under Slab Points
- fw Floor Waste
- tw Toilet Waste
- vw Vanity Waste
- sw Shower Waste
- bw Bath Waste
- ksw Kitchen Sink Waste
- ltw L'dry Tub Waste
- pd Plumbing Duct Waste
- lbw Load Bearing Wall

Notes:

- This slab plan is to be read in conjunction with engineers documentation
- Internal load bearing walls as per engineers or frame manufacturers design



Area Calculations	
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Client:
Freedom Developments
 Lot 162 Davidson Circuit, Park Ridge
 (Carvers Reach Estate)

Title:
Slab Layout
 Design Name:
Hamilton

Plot Date: 9/02/21	Drawing No: 8 of 13	Issue: B	Scale: 1:100 @ A3
Job N°:	Designed By: MB		Drawn By: CN
Working Drawings			Checked By: MB

Electrical Legend

Symbol	Description
	Double power outlet (water proof)
	Single power outlet (water proof)
	Single power outlet
	Double power outlet
	Down light point - 18w (CFL)
	Down light point - 18w (LED)
	Feature downlight point - 18w (Halogen or LED)
	Round Oyster Fluro Light Point - 36w
	Feature Pendant light point - 18w
	Exterior wall mount light point - 36w
	Feature exterior up & down light point - 36w
	Single fluorescent light point - 36w
	Double fluorescent light point - 36w
	Stairwell 1/2 oyster wall light point - 18w
	Exhaust Fan on separate switch control vented into ceiling space or externally
	Exhaust Fan on light switch control vented into ceiling space or externally
	Fan / Light / Heater (4 Globe)
	Fan / Light / Heater (2 Globe)
	Smoke detector - to be interconnected & h/wired
	Data point
	Phone point
	T.V Point
	Ceiling fan
	Ceiling fan / light
	Air Conditioner - Internal Unit
	Air Conditioner - External Unit
	Zoned Ducted Vent - Air Conditioner

Heights			
Light Switches	@ 1150 AFL	Refrigerator	@ 1500 AFL
Wall Mounted Lights	@ 2000 AFL	Rangehood	@ 1800 AFL
Power Outlets (Standard)	@ 300 AFL	Dishwasher	@ 300 AFL
Microwave Oven (Oven Tower)	@ 1800 AFL	Vanity Basins	@ 1050 AFL
Microwave Oven (Under Bench)	@ 700 AFL	Laundry Bench	@ 1050 AFL
Kitchen Bench	@ 1050 AFL	Washing Machine	@ 1500 AFL

Smoke alarms in the dwelling must:

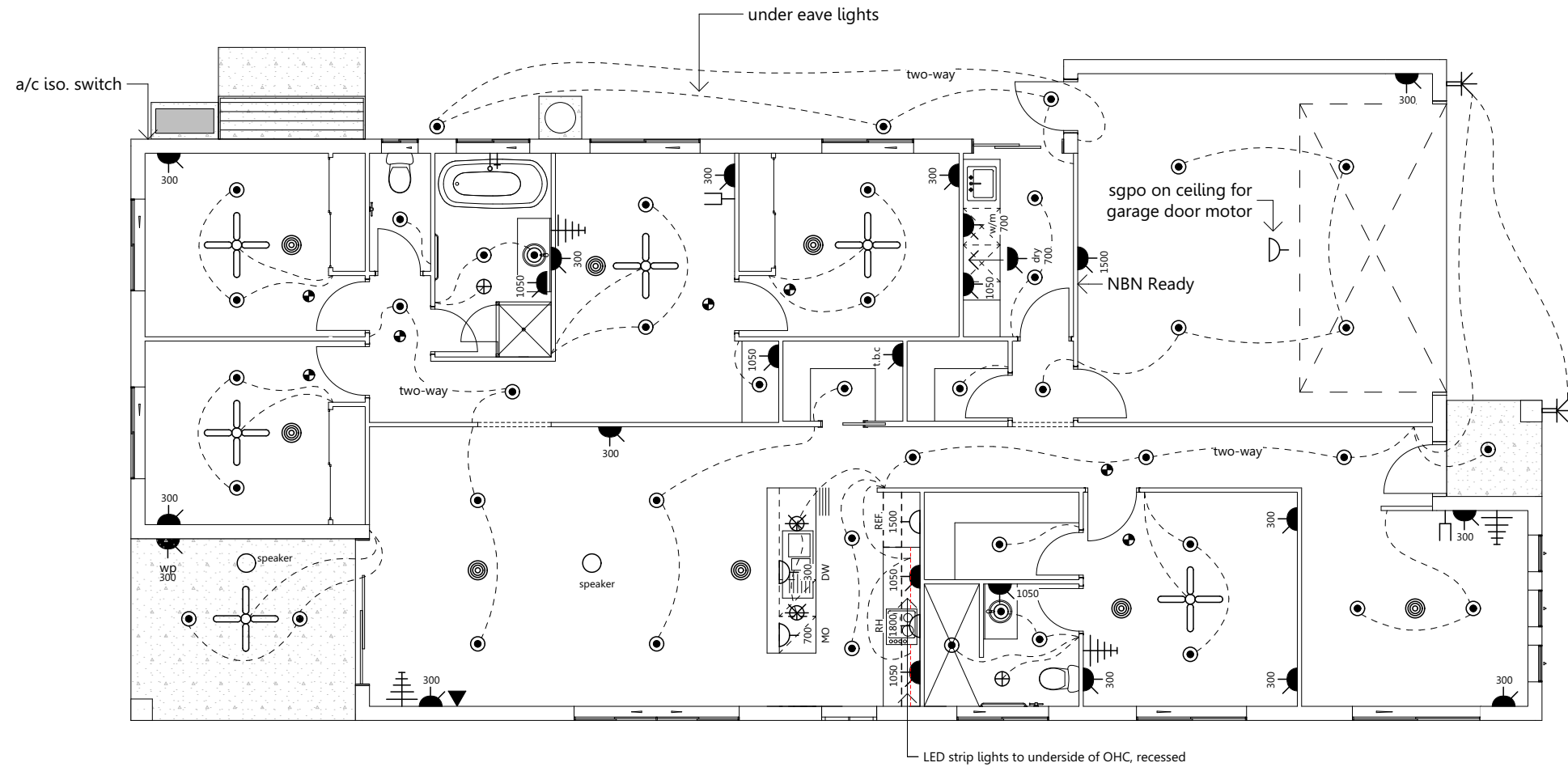
- i) be photoelectric (AS 3786-2014); and
- ii) not contain an ionisation sensor; and
- iii) be hardwired to the mains power supply with a secondary power source (i.e. battery); and
- iv) be interconnected with every other smoke alarm in the dwelling so all activate together.

Smoke alarms must be installed on each storey:

- i) in each bedroom; and
- ii) in hallways which connect bedrooms and the rest of the dwelling; or
- iii) if there is no hallway, between the bedrooms and other parts of the storey; and
- iv) if there are no bedrooms on a storey at least one smoke alarm must be installed in the most likely path of travel to exit the dwelling.

Zoned Ducted Air Conditioning

- refer to builders specifications for unit type
- location of vents as per manufacturer's recommendations
- zone settings as per manufacturer's recommendations
- location of wall mount control panel as per installers recommendations
- to be installed as per manufacturer's specifications



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				Job N°:			Designed By: MB



Bracing Notes

BRACING TYPES USED:

Type (h) Method B - Plywood

- Minimum length of panels may be 600mm
- Plywood shall be fixed to frame in a/w AS1684.2 using 30 x 2.8mm diam. galvanized flathead nails or equivalent
- Fastener spacing; top and bottom plate 150mm, vertical edges 150mm, intermediate studs 300mm
- Bracing capacity of Type (h) Method B is 6.0kN/m

Type (d) - Metal angle brace

- Maximum depth of notch shall not exceed 20mm
- Length of bracing 1800mm min. to 2700mm max.
- Bracing capacity of Type (d) is 3.0kN/m
- Metal angle of min. nominal section of 18 x 16 x 1.2mm must be fixed to frame in a/w AS1684.2
 - 2/30 x 2.8mm diam. nails to each stud
 - 30 x 0.8mm galv. strap 3/30 x 2.8mm diam. galv. flathead (or equivalent) nails to each end to stud

STRUCTURAL BRACING:

- For wall heights greater than 2700mm the bracing capacity of bracing walls is reduced and must be recalculated using the values given in Table 8.1.9 of AS1684.2/AS1684.3.
- Bracing shall initially be placed in external walls and where possible at the corners of the building. Remaining bracing shall be evenly distributed throughout building.
- Bracing shall not be placed on external walls under the eaves unless suitable connections to the main ceiling diaphragms are provided.
- The maximum distance between braced walls at right angles to the building length/width shall not exceed 9000mm for wind classification N2. For wind classification greater than N2 spacing shall be in accordance with Table 8.20 and 8.21 in AS1684.2/AS1684.3.
- All internal bracing walls shall be fixed to the floor, ceiling and/or external wall frame with structural connections of equivalent shear capacity to the bracing capacity of that particular bracing wall.

ROOF TRUSSES and ROOF BRACING:

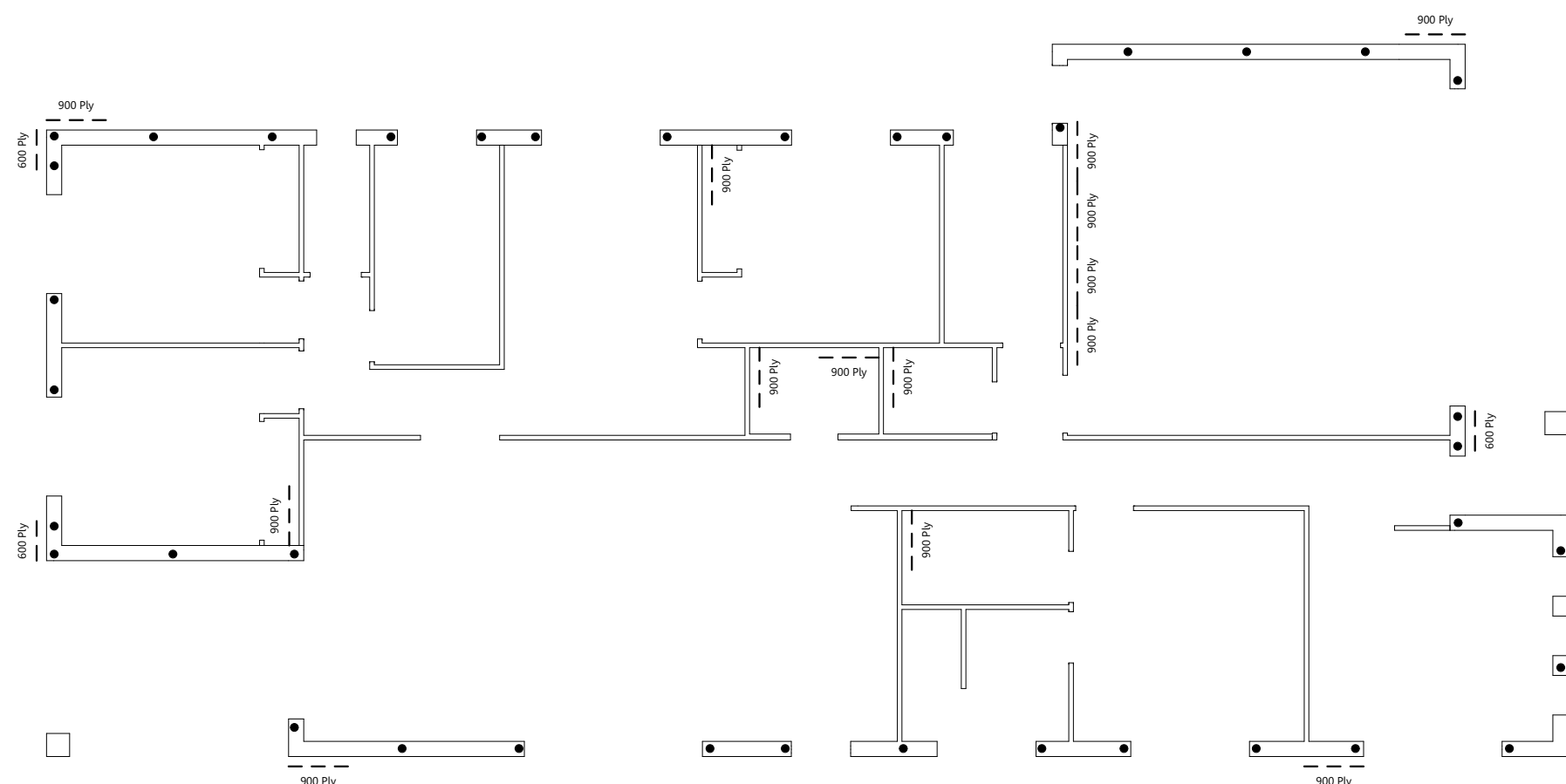
- To be designed by truss manufacturer to comply with AS1684.2, AS1720 and AS4440.

TEMPORARY BRACING NOTES:

- The builder is to ensure that the building is adequately braced during construction.
- Temporary bracing shall be equivalent to at least 60% of the permanent bracing required.
- Temporary bracing may form part of the installed permanent bracing.

NOMINAL WALL BRACING:

- Nominal bracing, wall frames lined with sheet material such as plywood, plasterboard or fibre cement, may provide up to 50% resistance of the total racking forces.
- Wall frames must be nominally fixed to the floor and roof frame.
- Nominal bracing shall be evenly distributed throughout the building.
- Minimum length of nominal bracing walls shall be 450mm.
- Sheeted one side only: Bracing capacity 0.45kN/m
- Sheeted two sides: Bracing capacity 0.75kN/m
- 1/75mm masonry nail, screw or bolt @1200 crs max.



Tie-Down Schedule

- Nominal fixings to all timber members in accordance with relevant standards; AS1684.2, AS1684.3

M12 Cyclone rods to either side of external openings over 1800mm wide and at 1800mm max. centres N1, N2, N3 Sheet roofing

M12 Cyclone rods to either side of external openings over 2400mm wide N1, N2, N3 Con. tile roofing

BATTENS / TRUSSES

- 1/No 14 Type 17 x 75mm screws, or as per truss manufacturer's specifications

TRUSS / TOP PLATE

- 1/30 x 0.8mm G.I. strap over each truss, 4/2.8mm diam. nails each end
- Girder truss to have 2/30 x 0.8mm G.I. straps, 4/2.8mm diam nails each end

LINTEL / TOP PLATE

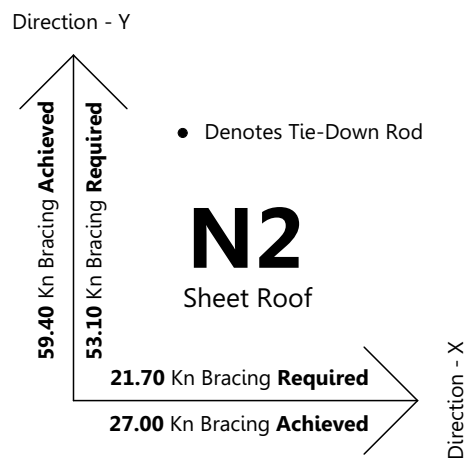
- 30 X 0.8mm looped strap @900 crs max, 4 nails each end

LINTEL / JAMB STUD

- 30 x 0.8mm G.I. strap @900 crs max, 4/2.8mm diam. nails each end

BOTTOM PLATE / CONCRETE SLAB

- 1/75mm masonry nail, screw or bolt @1200 crs max.



- M12 Cyclone rods to either side of external openings over 1800mm wide
- And at 1800mm max. centres N1, N2, N3 Sheet roofing

Direction X		N2 Sheet Roof		
Type	Length	Resistance	Qty.	Total (kN)
Ply Brace	600	6.0 kN/lm		
Ply Brace	900	6.0 kN/lm	05	27.00
Metal Strapping (Double Cross)	2000	3.0 kN/lm		
Total Resistance Achieved				27.00

Direction Y		N2 Sheet Roof		
Type	Length	Resistance	Qty.	Total (kN)
Ply Brace	600	6.0 kN/lm	03	10.80
Ply Brace	900	6.0 kN/lm	09	48.60
Metal Strapping (Double Cross)	2000	3.0 kN/lm		
Total Resistance Achieved				59.40

Area Calculations

House:	171.24 sqm
Garage:	36.06 sqm
Porch:	2.45 sqm
Alfresco:	10.90 sqm
Total:	220.65 sqm



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Owner / sDate.....

Owner / sDate.....

Client:

Freedom Developments
Lot 162 Davidson Circuit, Park Ridge
(Carvers Reach Estate)

Title:

Bracing Plan
Design Name:
Hamilton

Plot Date: 9/02/21

Job N°:

Drawing No:

10 of 13

Issue:

B

Scale: 1:100 @ A3

Designed By: MB

Drawn By: CN

Checked By: MB

Working Drawings



Landscaping / Planting Legend					
2D Plant Symbol					
Name	Waterhousia Floribunda	Syzygium Australe	Lxora Coccinea	Liriope "Evergreen Giant"	Diets Bicolor
Pot Size	45l	200ml	200ml	140ml	140ml
Width	3.5m	1.5-2.0m	2.0m	0.8m	1.0m
Height	8m	0.5-1.0m	0.5-1.0m	0.6m	0.8m

All plant species & quantities are indicative and subject to availability and suitability to site. Should a particular nominated plant not be available an equivalent replacement shall be used.

Legend

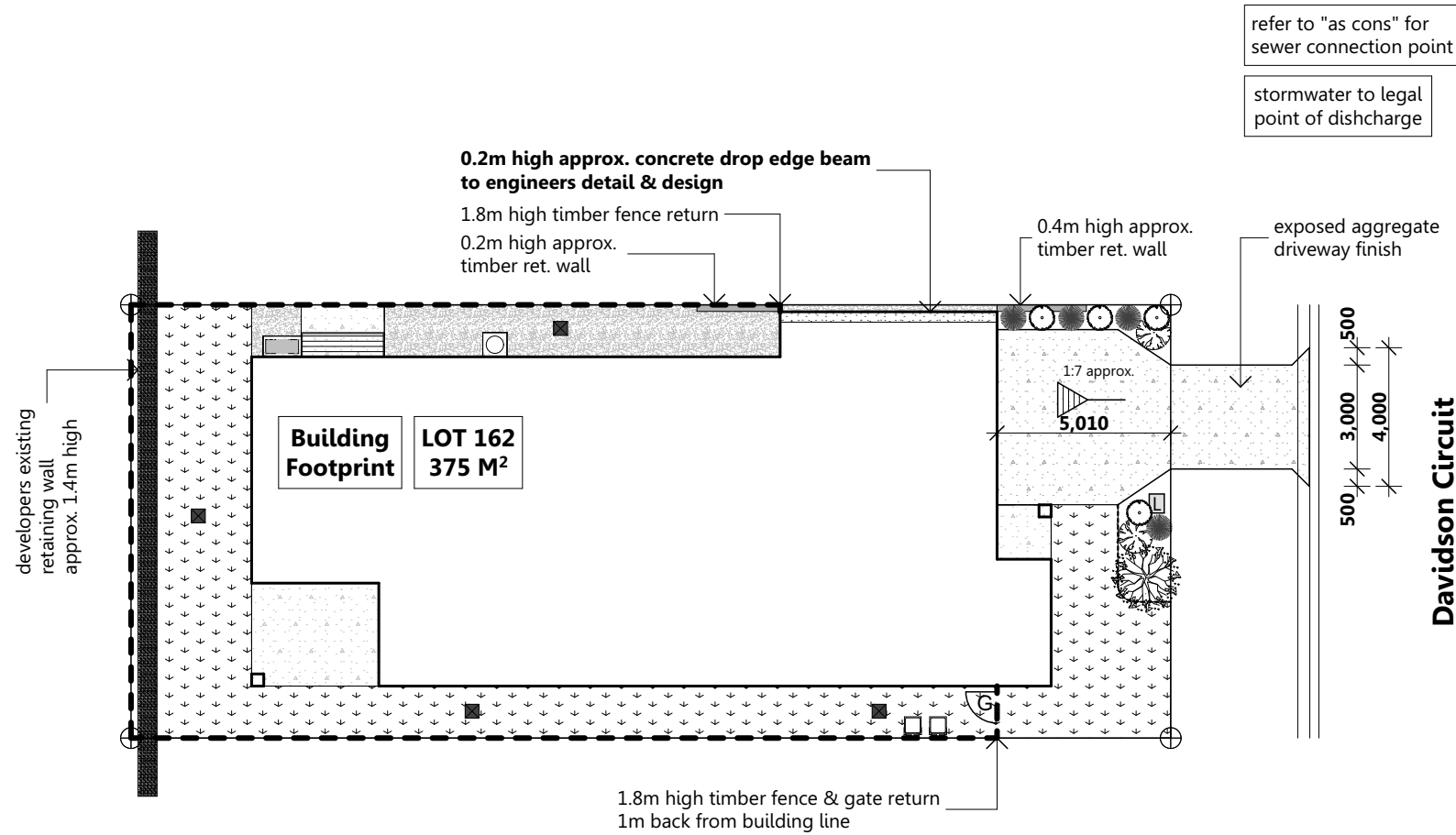
- exposed aggregate
- river pebbles (20 - 40mm, weed mat under)
- 'A' grade turf
- garden edging

Site Notes:

- final length & position of all retaining walls t.b.c on site by supervisor
- retaining walls higher than 1m in height to be engineered designed
- retaining walls constructed from treated pine timber, masonry blockwork or rock as per plans
- retaining walls may change location at supervisor's discretion if required
- fencing in accordance with developer covenants
- driveway gradient not to exceed 1:5
- Batters to comply appropriate soil classification described in table 3.1.1.1.BCA Vol.2.
- stormwater to legal point of discharge

Legend

- rock retaining wall
- timber retaining wall
- masonry block retaining wall
- conc. sleeper retaining wall
- direction of fall
- FGL 17.500 Proposed FGL RL
- 16.65 NGL RL
- dp Downpipe Location
- RW----- Roof Water Line
- - - - -SW- - - - - Stormwater Line
- - - - -S- - - - - Sewer Line
- - - - - 1800mm high butted timber fence
- - - - - 1800mm high secondary street fencing minimum 50% transparent
- Field gully pit
- G Single timber gate
- Letterbox
- Rubbish Bin Location
- ▨ Clothes line location



Building Footprint
LOT 162
375 M²

Real Property Description

Lot Number: 162
Registered Plan Number: SP
Parish:
County:
Local Authority: Logan C.C

Site Area: 375M²
Site Coverage: 58.84%

Driveway Gradient

Grade	1:7 approx.			
	Grade	1:8	1:4	1:8
Transitional	Distance	n/a	n/a	n/a
FFL	RL	50.060		
NGL (boundary)	RL	49.375		
Height Gain		0.685 m		
Distance		5.01 m		

Area Calculations

House:	171.24 sqm
Garage:	36.06 sqm
Porch:	2.45 sqm
Alfresco:	10.90 sqm
Total:	220.65 sqm



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Lot 162 Davidson Circuit, Park Ridge
(Carvers Reach Estate)

Title:

Landscaping Plan
Design Name:
Hamilton

Plot Date: 9/02/21

Job N°:

Drawing No:

11 of 13

Issue:

B

Scale: 1:200 @ A3

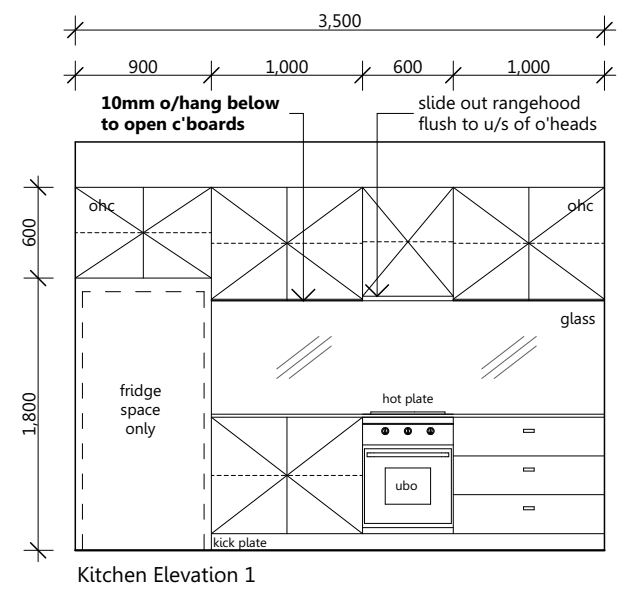
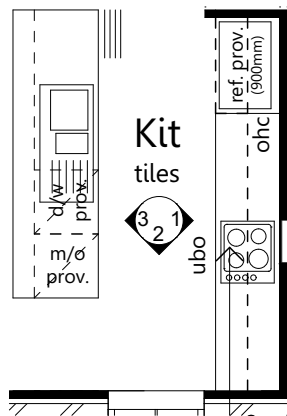
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Working Drawings

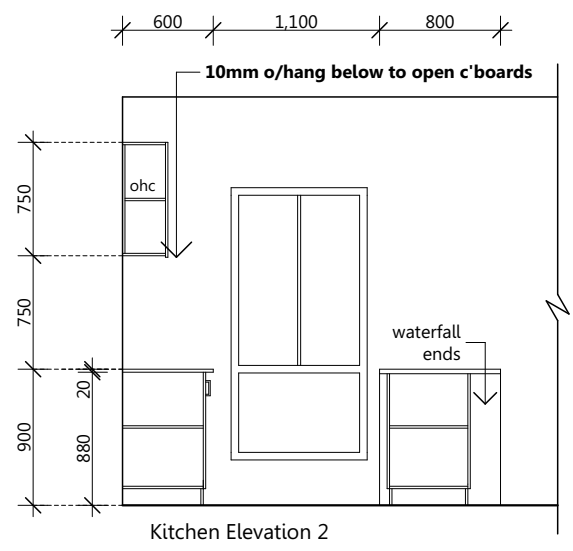
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Checked By: MB

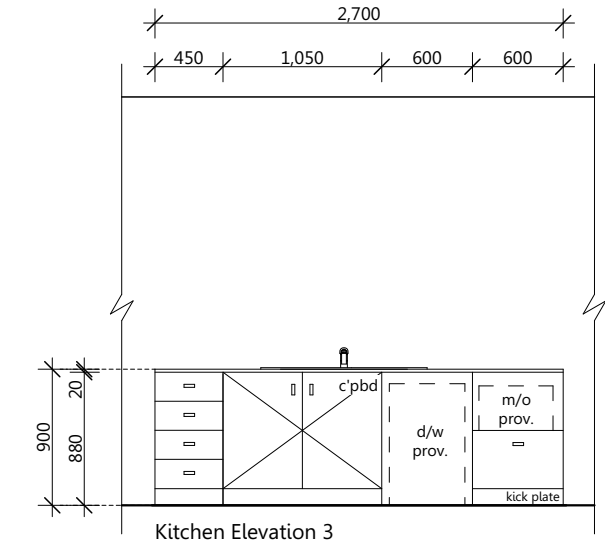
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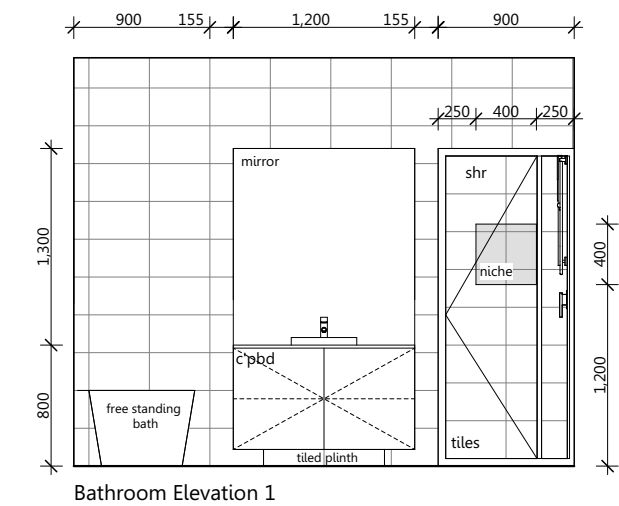
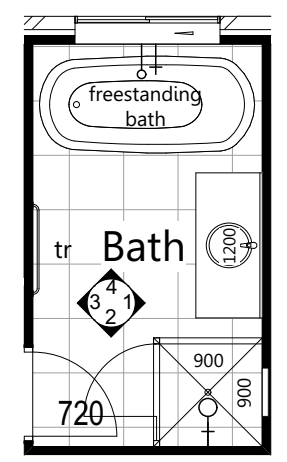
Kitchen Elevation 1



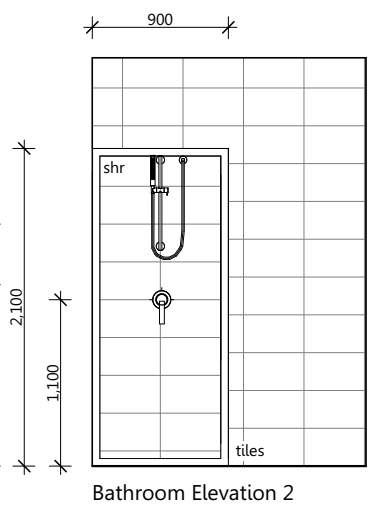
Kitchen Elevation 2



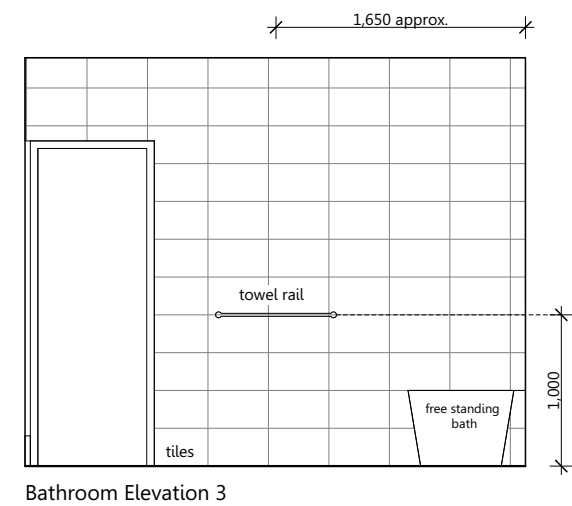
Kitchen Elevation 3



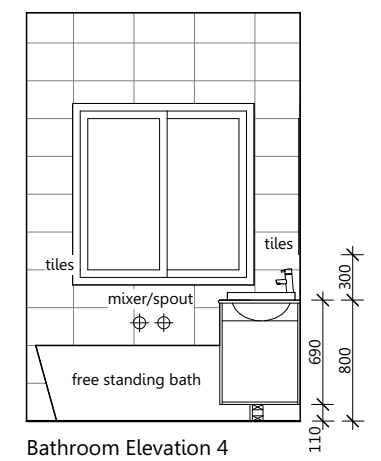
Bathroom Elevation 1



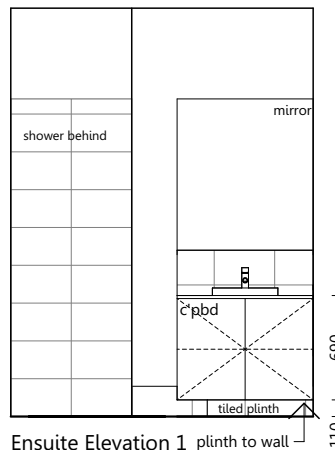
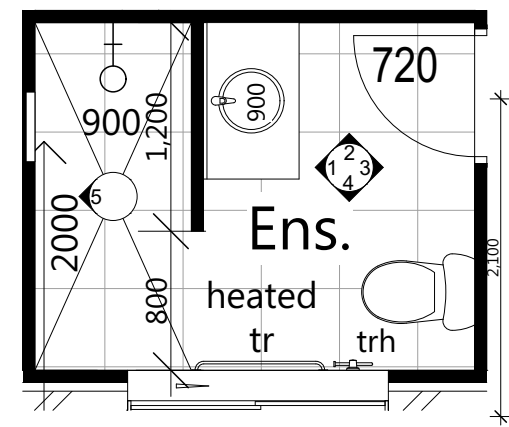
Bathroom Elevation 2



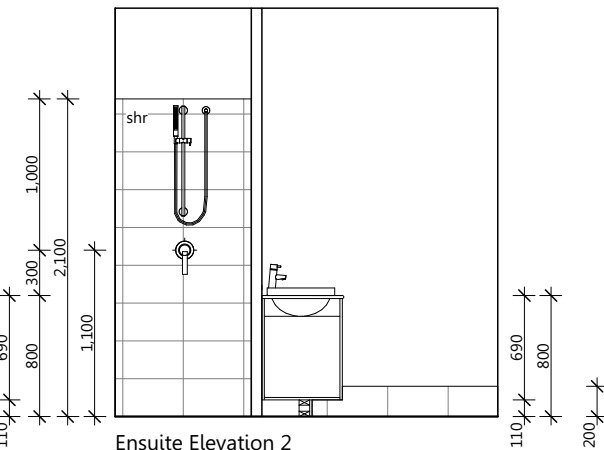
Bathroom Elevation 3



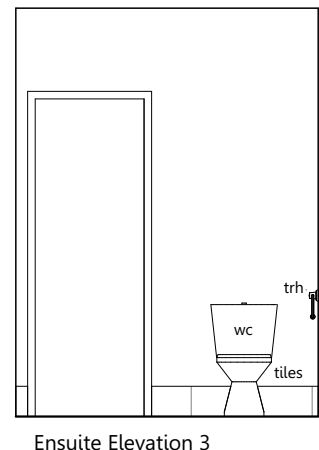
Bathroom Elevation 4



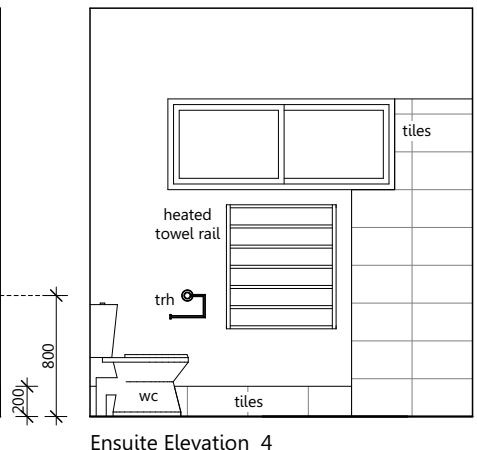
Ensuite Elevation 1 plinth to wall



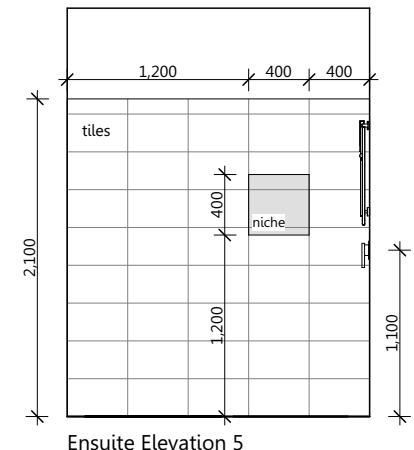
Ensuite Elevation 2



Ensuite Elevation 3



Ensuite Elevation 4



Ensuite Elevation 5

Area Calculations	
House:	171.24 sqm
Garage:	36.06 sqm
Porch:	2.45 sqm
Alfresco:	10.90 sqm
Total:	220.65 sqm



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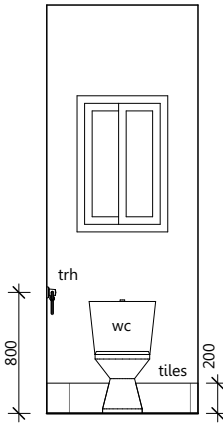
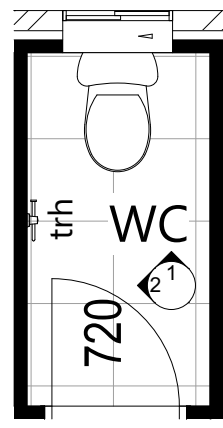
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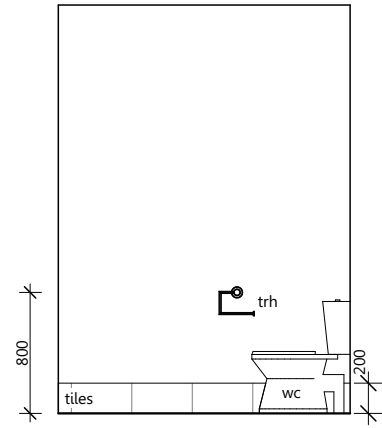
Title:
Internal Elevations 1 of 2
 Design Name:
Hamilton

Plot Date: 9/02/21
 Drawing No: 12 of 13
 Issue: B
 Scale: 1:50 @ A3
 Designed By: MB
 Drawn By: CN
 Checked By: MB
Working Drawings

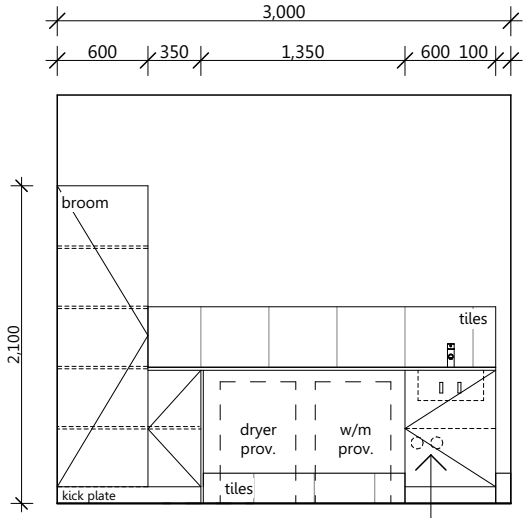
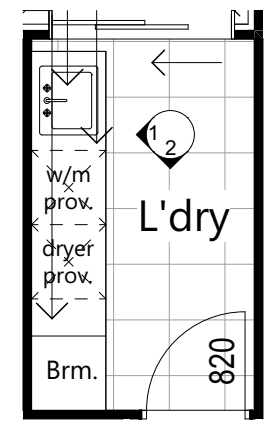
Note: all heights shown from finished floor level



WC Elevation 1

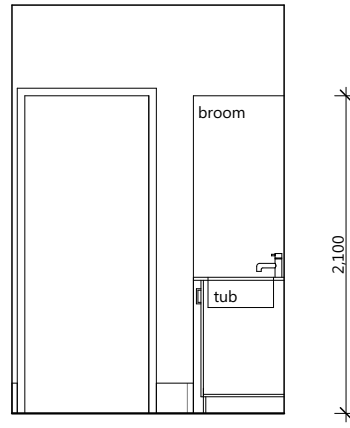


WC Elevation 2

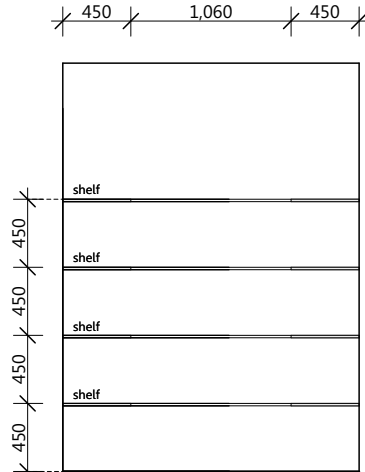
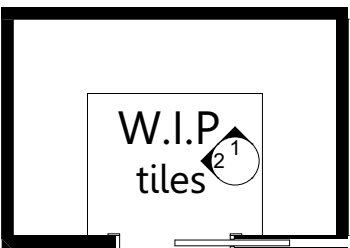


Laundry Elevation 1

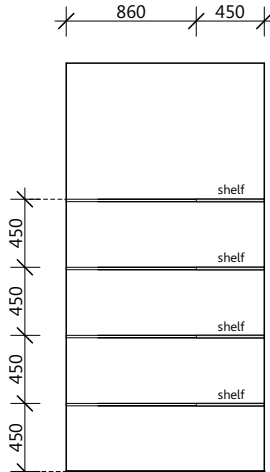
w/m taps under tub



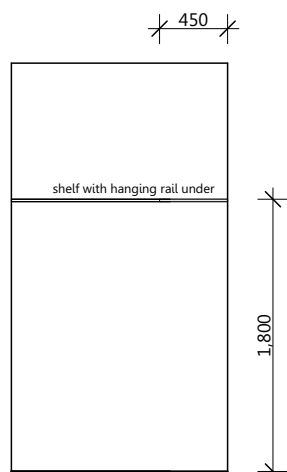
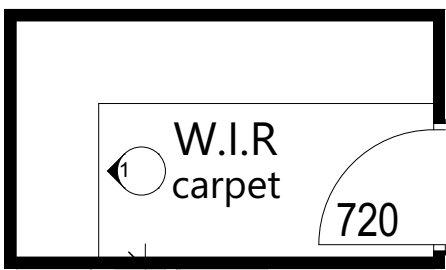
Laundry Elevation 2



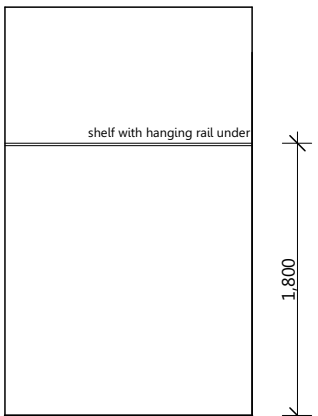
W.I.P. Elevation 1



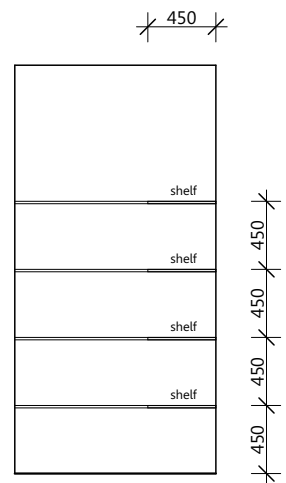
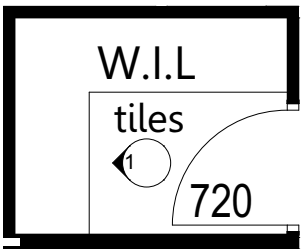
W.I.P. Elevation 2



W.I.R. Elevation 1



Typical Robe Elevation



W.I.L. Elevation 1

Area Calculations	
House:	171.24 sqm
Garage:	36.06 sqm
Porch:	2.45 sqm
Alfresco:	10.90 sqm
Total:	220.65 sqm



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Internal Elevations 2 of 2
 Design Name:
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