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GROUND FLOOR PITCHING HEIGHT(S):	2595mm
FIRST FLOOR PITCHING HEIGHT(S):	2450mm
FRAMES AND TRUSSES:	STEEL
ROOF PITCH (U.N.O.):	22.5°
ELECTRICITY SUPPLY:	3-PHASE
GAS SUPPLY:	RETICULATED SUPPLY
ROOF MATERIAL:	CONCRETE TILES
ROOF COLOUR:	DARK
WALL MATERIAL:	BRICK VENEER, CLADD
WALL COLOUR:	N/A

INSULATION TO BE INSTALLED IN ACCORDANCE WITH N.C.C. AND RELEVANT AUSTRALIAN STANDARDS

SARKING UNDER ROOFING

R6.0 BATTS TO CEILING (EXCL. GARAGE)

R2.5 BATTS TO EXTERIOR WALLS (EXCL. GARAGE)

WALL WRAP TO ENTIRE HOUSE

R2.0 BATTS TO INTERIOR WALLS GARAGE / LDRY / PWD2 / BATH

DESIGN WIND CLASSIFICATION: N2
SITE CLASSIFICATION: P-M
SLAB CLASSIFICATION: M

SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS SPECIFICATIONS & DETAILS OVER A 200µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C. & AS 3700

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-1998 OR AS/NZS 4600-2018

CONDITIONED	130.73
UNCONDITIONED	14.78

ALFRESCO	6.90
BALCONY	4.73
GARAGE	33.18
LIVING (FIRST FLOOR)	97.38
LIVING (GROUND FLOOR)	79.98
PATIO	5.00
	227.17 m²

3 STAR (> 7.5 BUT <= 9 L/MIN) SHOWER HEADS
4 STAR TOILET SUITES
5 STAR KITCHEN TAPS
5 STAR BATHROOM TAPS
157.47 m² TOTAL ROOF AREA
3000 L WATER TANK(S) MINIMUM CAPACITY
129.29 m² MINIMUM ROOF AREA TO TANK(S)

RAINWATER TANK(S) TO BE CONNECTED TO:

- AT LEAST ONE OUTDOOR TAP
- ALL TOILETS
- WASHING MACHINE

NO RETICULATED RECYCLED WATER SUPPLY
50 m² GARDEN/LAWN AREA

HOT WATER SYSTEM
- GAS CONTINUOUS FLOW - 6 STAR

- 1-PHASE REVERSE CYCLE AIR CONDITIONING
EER 3.0 - 3.5

- 1-PHASE REVERSE CYCLE AIR CONDITIONING
EER 3.0 - 3.5

- AT LEAST ONE BATHROOM:
DUCTED TO OUTSIDE AIR, MANUAL SWITCH ON/OFF
- KITCHEN RANGEHOOD:
DUCTED TO OUTSIDE AIR, MANUAL SWITCH ON/OFF
- LAUNDRY:
DUCTED TO OUTSIDE AIR, MANUAL SWITCH ON/OFF

- 4 BEDROOMS/STUDY, DEDICATED
- 3 LIVING/DINING AREAS, DEDICATED
- KITCHEN, DEDICATED
- ALL BATHROOMS/TOILETS, DEDICATED
- LAUNDRY, DEDICATED
- ALL HALLWAYS, DEDICATED

- 4 BATHROOMS/TOILETS

- N/A

- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY BUILDER
- NO FIXED INDOOR CLOTHESLINE

- 1115233S (2020.07.02)

THE BUILDER USES MATERIALS THAT HAVE BEEN TESTED TO AS1530.8.1 IN ACCORDANCE WITH AS3959-2018 (CLAUSE 3.8) AND NASH STANDARD STEEL FRAMED CONSTRUCTION IN BUSHFIRE AREAS 2014.

- PROVIDE FOIL FACED BLANKET INSULATION TO COLORBOND SHEET ROOFING
- PROVIDE SARKING TO TILED ROOF WITH PRESTITE TO VALLEYS
- PROVIDE FLYSCREENS WITH CORROSION RESISTANT MESH TO ALL OPERABLE WINDOW SASHES (NO REQUIREMENT TO SCREEN BI-FOLD/FRENCH/SLIDING/STACKER DOORS)
- PROVIDE BAL-12.5 RATED ALUMINIUM WINDOWS AND EXTERNAL GLASS SLIDING/STACKER DOORS
- SPECIFIED ALUMINIUM FRENCH DOORS HAVE BEEN TESTED TO AS1530.8.1 WITHOUT SCREENS
- SPECIFIED ALUMINIUM WINDOWS HAVE BEEN TESTED TO AS1530.8.1 WITHOUT SCREENS TO FIXED PANELS
- PROVIDE MERBAU DOOR JAMBS TO ALL EXTERNAL TIMBER DOORS
- PROVIDE SPARK ARRESTORS TO EXTERNAL BRICKWORK
- PROVIDE SEAL TO GARAGE DOOR
- EXTERNAL TIMBER POSTS TO BE FIRE RETARDANT
- PROVIDE COPPER WATER PIPES FROM WATER TANK TO HOUSE

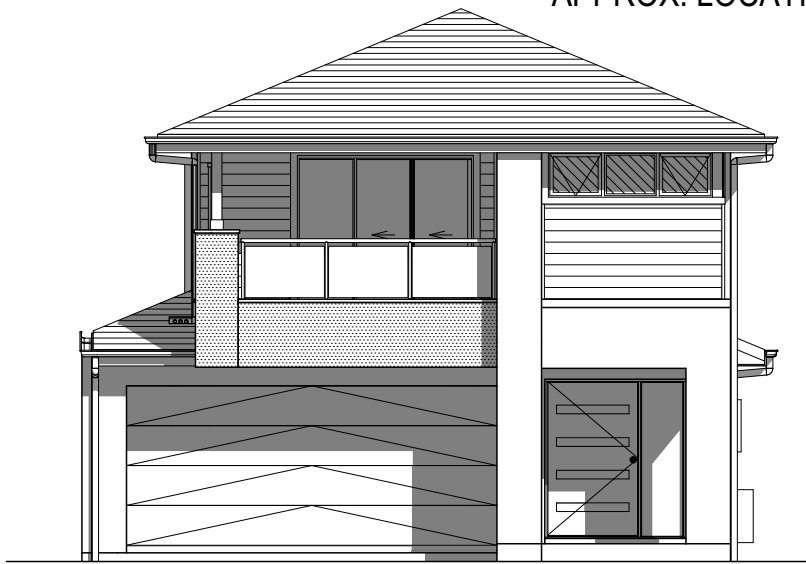
- PROVIDE MERBAU TIMBER POSTS AND EXPOSED BEAMS TO PATIO
- PROVIDE SAFETY SCREENS WITH CORROSION RESISTANT MESH AND DIAMOND GRILLE TO EXTERNAL HUNG DOORS

PROVIDE ADDITIONAL STRUCTURAL REQUIREMENTS, DUE TO BUILDING IN AN 'AGGRESSIVE SOIL ENVIRONMENT'. THIS SHALL INCLUDE THE FOLLOWING:

- A. PROVIDE 25MPa CONCRETE TO THE PIERS AND FLOOR SLABS IN LIEU OF STANDARD.
- B. PROVIDE HIGH IMPACT MEMBRANE BELOW THE FLOOR SLAB.
- C. PROVIDE A MIN. 50mm BLINDING LAYER OF SAND UNDERNEATH THE FLOOR STRUCTURE.
- D. PROVIDE POLYETHYLENE DAMP PROOF COURSE TO THE EXTERNAL WALLS IN LIEU OF STANDARD.
- E. USE EXPOSURE GRADE MORTAR BELOW DAMP PROOF COURSE IN LIEU OF STANDARD.
- F. USE EXPOSURE GRADE BRICKWORK FROM OUR STANDARD RANGE BELOW THE DAMP PROOF COURSE.

LOCATION MAP

-APPROX. LOCATION OF SITE



DATE:
07/08/2020

DRAFTER: ESTIMATOR:
JNO MKL

DRAFTING OFFICE:
SYDNEY

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	DRAWING	DRAWN
3	BASIX CERTIFICATE	JNO 2020.07.02
4	DBYD + BAL-12.5	JNO 2020.07.18
5	DEB IN LIEU OF RETAINING TO RHS	JNO 2020.08.05
6	CONSTRUCTION PLANS	JNO 2020.08.07
7	INCLUSION UPGRADES	JNO 2020.08.09

CLIENT: COMPLETE BY MCDONALD JONES			LOT No.: 4806
ADDRESS: 25 VERSACE CRESCENT			DP No.: 1240136
SUBURB: MARSDEN PARK	POSTCODE: 2765	COUNCIL: BLACKTOWN CITY	SECTION No.: N/A

HOUSE DESIGN: ANGASTON 25	HOUSE CODE: H-CCHANG10DC	
FACADE DESIGN: FISHER	FACADE CODE: F-CCHANG10FSHRA	
SHEET TITLE: COVER SHEET	SCALES:	SHEET No.: 1 / 19

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AND VERIFY DIMENSIONS AND LEVELS
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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS.
SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

SITE WORKS INDICATIVE ONLY. THE LOCATIONS AND HEIGHTS OF ANY PROPOSED RETAINING WALLS / DROPPED EDGE BEAMS ARE SUBJECT TO ON-SITE CONDITIONS

REFER TO WATER MANAGEMENT PLAN FOR ALL ROOF COLLECTION, SURFACE DRAINAGE CONNECTIONS AND DISCHARGE SYSTEMS.

Cut Volume (m³)	Fill Volume (m³)
8.24	5.86

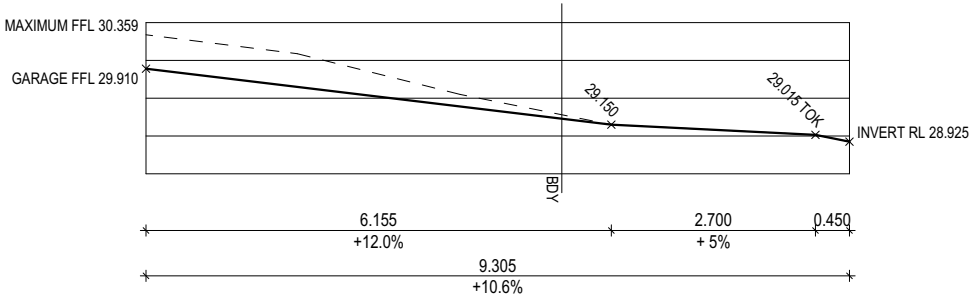
STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY BUILDER.

CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. CUSTOMER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'CDP' ON PLAN. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF CUSTOMER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

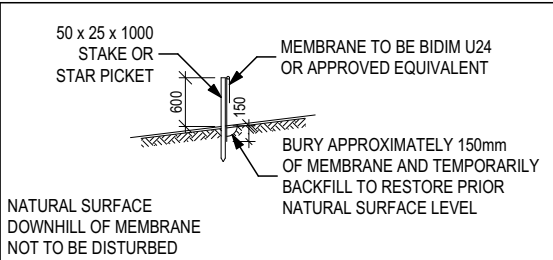
WIND CLASSIFICATION	N2
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO
SURVEY AREA	NEW
LATITUDE	0° 00' 00" S
LONGITUDE	0° 00' 00" E

APPROX. IMPORT/EXPORT FILL	
CUT VOLUME	8.24m³
FILL VOLUME	6.47m³
DIFFERENCE	1.77m³

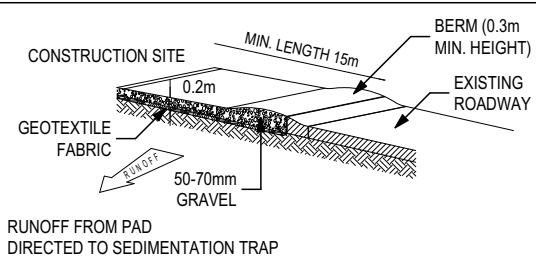
EVEN CUT & FILL



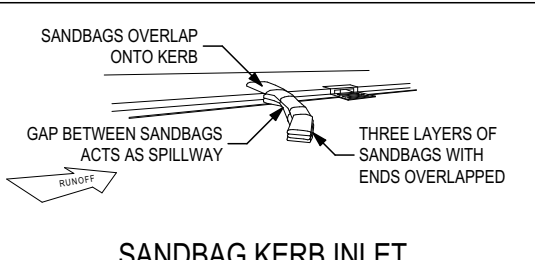
AUSTRALIAN STANDARD (Standard Up Profile)



SILT FENCING DETAIL



TEMPORARY CONSTRUCTION EXIT



SANDBAG KERB INLET SEDIMENTATION TRAP

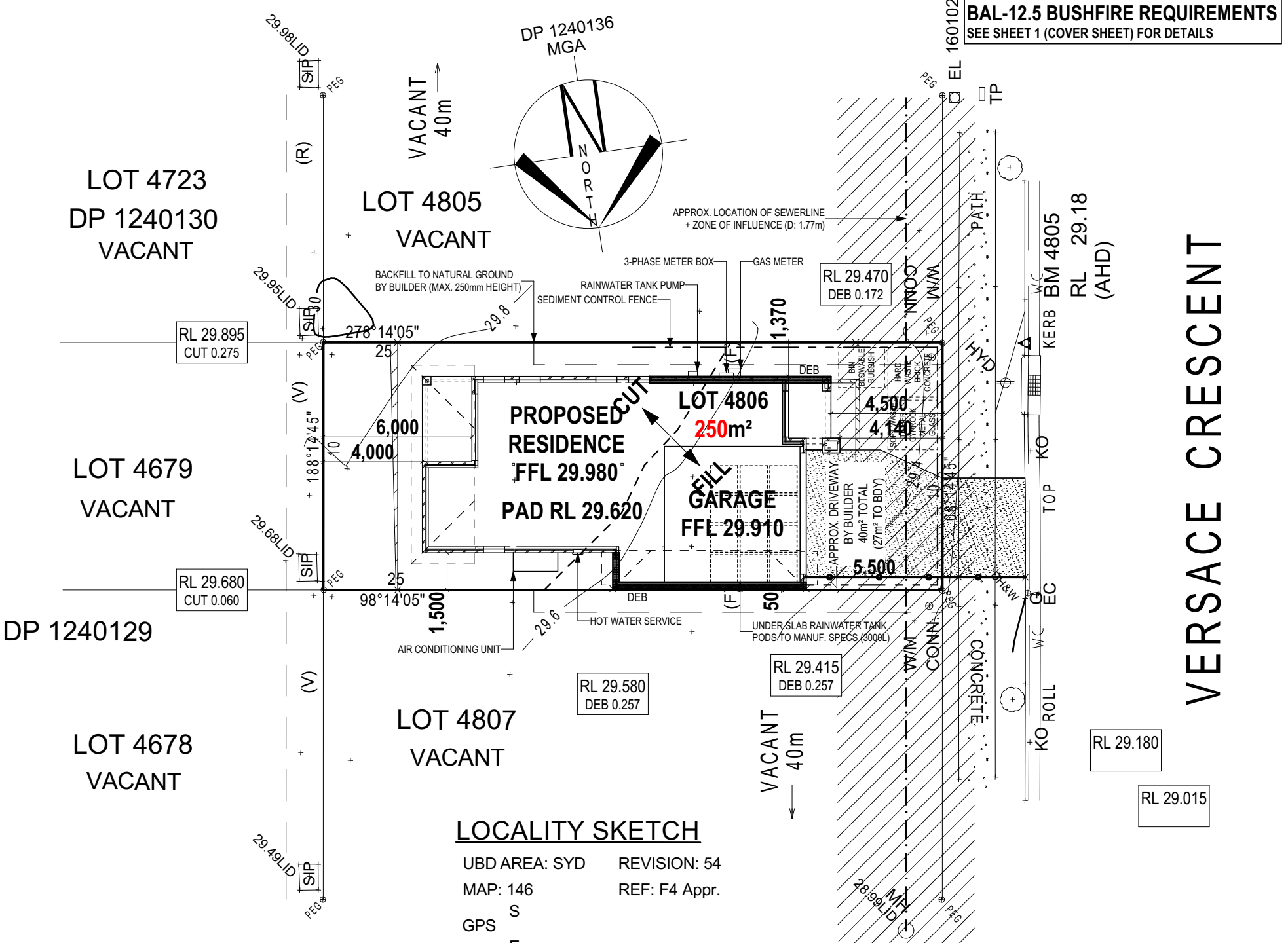
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HOUSE DESIGN:	ANGASTON 25	HOUSE CODE:	H-CCHANG10DC
FACADE DESIGN:	FISHER	FACADE CODE:	F-CCHANG10FSHRA
SHEET TITLE:	SITE PLAN	SCALES:	1:200
		SHEET No.:	2 / 19

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LOCALITY SKETCH

UBD AREA: SYD REVISION: 54
MAP: 146 REF: F4 Appr.
GPS S
GPS E

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

AGGRESSIVE SOIL REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

CONSTRUCTION PLANS

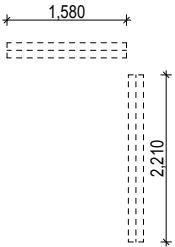
DATE: 07/08/2020
DRAFTER: JNO ESTIMATOR: MKL
DRAFTING OFFICE: SYDNEY



PATIO CEILING HEIGHT TO MATCH DWELLING INTERNAL
ALFRESCO CEILING HEIGHT TO MATCH DWELLING INTERNAL










**WET AREAS TO BE SETDOWN
50mm FROM MAIN HOUSE SLAB**

350 x 350mm BRICK FACE BRICK FINISH



8,580

[illegible]

	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	HEBEL
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
3D	DENOTES DRAWER SIDE
	EXHAUST FAN
L.B.W	LOAD BEARING WALL
	THIS DOOR OPENS FIRST
	SMOKE ALARM
#	LIFT OFF HINGE
	WATER POINT
WP	FRIDGE WATER POINT
	GAS BAYONET

DATE:
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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
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CDP CHARGED DOWNPIPE DIRECTED TO TANK
SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ENSURE VERTICAL DPC FLASHING TO END OF GARAGE VENEER WALLS

ALL EXTERIOR STEPS AND LANDINGS BY BUILDER UNLESS NOTED OTHERWISE

ALL FIRST FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW & DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS

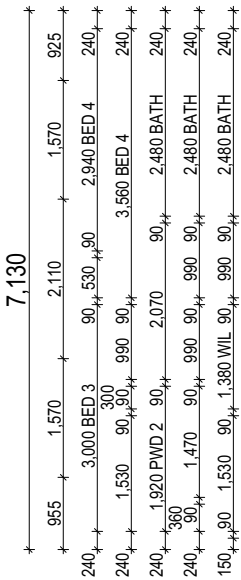
ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC 3.9.1 REQUIREMENTS

FIRST FLOOR WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY NCC D2.24 (VOLUME ONE) AND/OR NCC 3.9.2.5 (VOLUME TWO)

PROVIDE FLOOR WASTE AND OVERFLOW SPITTERS TO UPPER FLOOR TANKED BALCONIES WHERE APPLICABLE AS PER:

- G-FACA-BALC02 (PFC/BRICKWORK)
- G-FRAM-BALC001 (LIGHTWEIGHT CLADDING)

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



FLOOR PLAN LEGEND

- HS / WS HOB SPOUT / WALL SPOUT
- FACE BRICK / COMMON BRICK
- SOUND INSULATION
- AJ BRICK ARTICULATION JOINT
- 3D DENOTES DRAWER SIDE
- EXHAUST FAN
- LOAD BEARING WALL
- THIS DOOR OPENS FIRST
- SMOKE ALARM
- LIFT OFF HINGE
- WATER POINT
- FRIDGE WATER POINT
- GAS BAYONET

BALCONY CEILING HEIGHT TO MATCH EAVE DROP-OFF

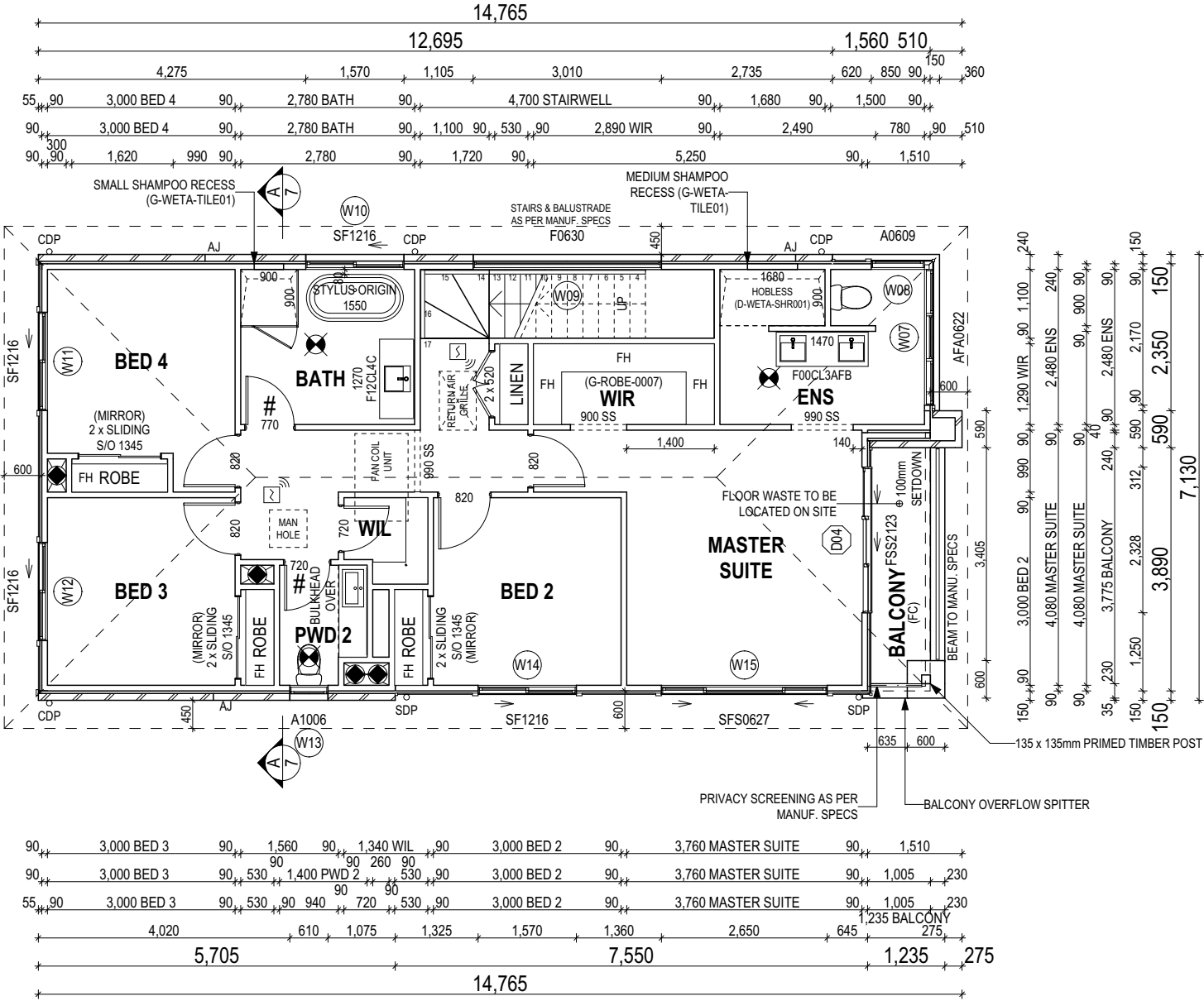
BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.7.1.7(c) OF THE NCC.

ALL ALFRESCO SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB (DOES NOT APPLY TO VERANDAH / PATIO / PORCH SLABS).



ALL DIMENSIONS ARE FRAME DIMENSIONS

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CONSTRUCTION PLANS

DATE:

07/08/2020

DRAFTER:

JNO

ESTIMATOR:

MKL

DRAFTING OFFICE:

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HOUSE DESIGN:		HOUSE CODE:	
ANGASTON 25		H-CCHANG10DC	
FACADE DESIGN:		FACADE CODE:	
FISHER		F-CCHANG10FSHRA	
SHEET TITLE:	SCALES:	SHEET No.:	
FIRST FLOOR PLAN	1:100	5 / 19	

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WINDOW SCHEDULE

0, 3 ASSUME LOOKING FROM OUTSIDE

1, 2 ASSUME LOOKING FROM INSIDE

ID	CODE ⁰	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE	ADDITIONAL INFORMATION ³
W01	SF/F1809	STUDY NOOK	1,800	850	5,300	1.53	ALUMINIUM	N/A	SNAP HEADER	S	1.24	CLEAR	BP 600
W02	A0609	STUDY NOOK	600	850	2,900	0.51	ALUMINIUM	N/A	SNAP HEADER	S	0.34	CLEAR	
W03	SF/F1809	FAMILY / LIVING	1,800	850	5,300	1.53	ALUMINIUM	N/A	SNAP HEADER	S	1.24	CLEAR	BP 600
W04	SF/F1809	DINING	1,800	850	5,300	1.53	ALUMINIUM	N/A	SNAP HEADER	S	1.24	CLEAR	BP 600
W05	SF/F1809	DINING	1,800	850	5,300	1.53	ALUMINIUM	N/A	SNAP HEADER	S	1.24	CLEAR	BP 600
W06	SF/F1809	HOME THEATRE	1,800	850	5,300	1.53	ALUMINIUM	N/A	SNAP HEADER	N	1.24	CLEAR	BP 600
W07	AFA0622	ENS	600	2,170	5,540	1.30	ALUMINIUM	N/A	NONE	W	0.91	OBSCURE, TOUGHENED	MP 723-723, CORNER JOINING (POST & COVERPLATE)
W08	A0609	ENS	600	850	2,900	0.51	ALUMINIUM	N/A	NONE	S	0.34	OBSCURE, TOUGHENED	CORNER JOINING (POST & COVERPLATE)
W09	F0630	STAIRWELL	600	3,010	7,220	1.81	ALUMINIUM	N/A	SNAP HEADER	S	1.55	CLEAR	
W10	SF1216	BATH	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	SNAP HEADER	S	1.64	OBSCURE, TOUGHENED	
W11	SF1216	BED 4	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	NONE	E	1.64	CLEAR	
W12	SF1216	BED 3	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	NONE	E	1.64	CLEAR	
W13	A1006	PWD 2	1,030	610	3,280	0.63	ALUMINIUM	N/A	SNAP HEADER	N	0.44	OBSCURE, TOUGHENED	
W14	SF1216	BED 2	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	NONE	N	1.64	CLEAR	
W15	SFS0627	MASTER SUITE	600	2,650	6,500	1.59	ALUMINIUM	N/A	NONE	N	1.32	CLEAR	

21.52

17.66

EXTERIOR DOOR SCHEDULE

0, 1 ASSUME LOOKING FROM OUTSIDE

ID	CODE ⁰	ROOM	HEIGHT	WIDTH	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING	DOOR TYPE	ADDITIONAL INFORMATION ¹
D01	1200	STUDY NOOK	2,106	1,867	3.93	TIMBER	N/A	SNAP HEADER	W	DOOR(S): CLEAR - SIDELIGHT(S): CLEAR	SWINGING	
D02	FSS2127	DINING	2,100	2,688	5.64	ALUMINIUM	N/A	SNAP HEADER	E	LOW-E, TOUGHENED	STACKER	
D03	820	LDRY	2,106	867	1.83	TIMBER	N/A	SNAP HEADER	E	DOOR(S): CLEAR, TOUGHENED - SIDELIGHT(S): N/A	SWINGING	
D04	FSS2123	MASTER SUITE	2,100	2,328	4.89	ALUMINIUM	N/A	SNAP HEADER	W	CLEAR, TOUGHENED	STACKER	

16.29 m²

INTERIOR DOOR SCHEDULE

QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING	ADDITIONAL INFORMATION
1	1040 SS	SQUARE SET OPENING	2,155	1,040	N/A	
1	1100 SS	SQUARE SET OPENING	2,155	1,100	N/A	
1	1220 SS	SQUARE SET OPENING	2,155	1,220	N/A	
1	1300 SS	SQUARE SET OPENING	2,155	1,300	N/A	
1	2 x 520	SWINGING	2,040	1,040	N/A	
3	2 x SLIDING	SLIDING	2,040	1,330	N/A	SELECT
2	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES
1	720	SWINGING	2,040	720	N/A	
1	770	SWINGING	2,040	770	N/A	LIFT-OFF HINGES
6	820	SWINGING	2,040	820	N/A	
1	820	SWINGING	2,040	820	TRANSLUCENT	SELECT
1	900 SS	SQUARE SET OPENING	2,155	900	N/A	
2	990 SS	SQUARE SET OPENING	2,155	990	N/A	

PICTURE / TV RECESS & SQUARE SET WINDOW SCHEDULE

QTY	TYPE	HEIGHT	WIDTH	AREA (m²)
1	PICT RECESS	1,155	1,500	1.73
1	TV RECESS	1,355	1,800	2.44

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

CONSTRUCTION PLANS

DATE:

07/08/2020

DRAFTER:

JNO

ESTIMATOR:

MKL

DRAFTING OFFICE:

SYDNEY

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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	DRAWING	DRAWN
3	BASIX CERTIFICATE	JNO 2020.07.02
4	DBYD + BAL-12.5	JNO 2020.07.18
5	DEB IN LIEU OF RETAINING TO RHS	JNO 2020.08.05
6	CONSTRUCTION PLANS	JNO 2020.08.07
7	INCLUSION UPGRADES	JNO 2020.08.09

CLIENT: COMPLETE BY MCDONALD JONES			LOT No.: 4806
ADDRESS: 25 VERSACE CRESCENT			DP No.: 1240136
SUBURB: MARSDEN PARK	POSTCODE: 2765	COUNCIL: BLACKTOWN CITY	SECTION No.: N/A

HOUSE DESIGN: ANGASTON 25	HOUSE CODE: H-CCHANG10DC
FACADE DESIGN: FISHER	FACADE CODE: F-CCHANG10FSHRA
SHEET TITLE: WINDOW & DOOR SCHEDULES	SCALES: SHEET No.: 6 / 19

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951485

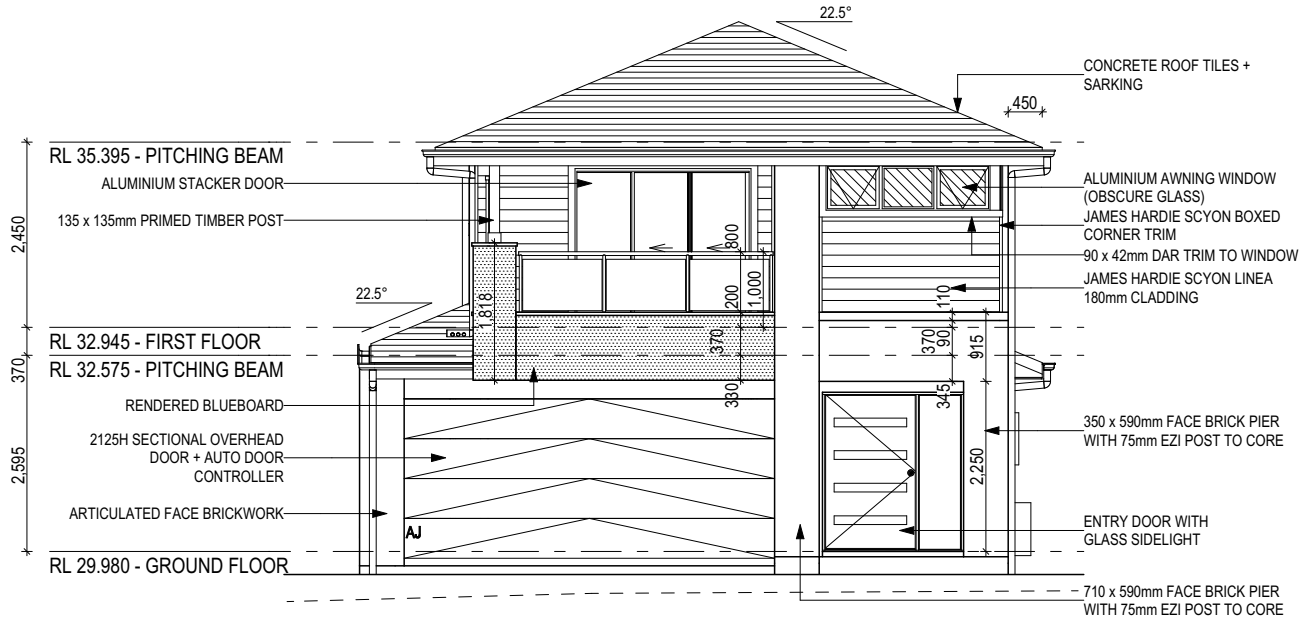
BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

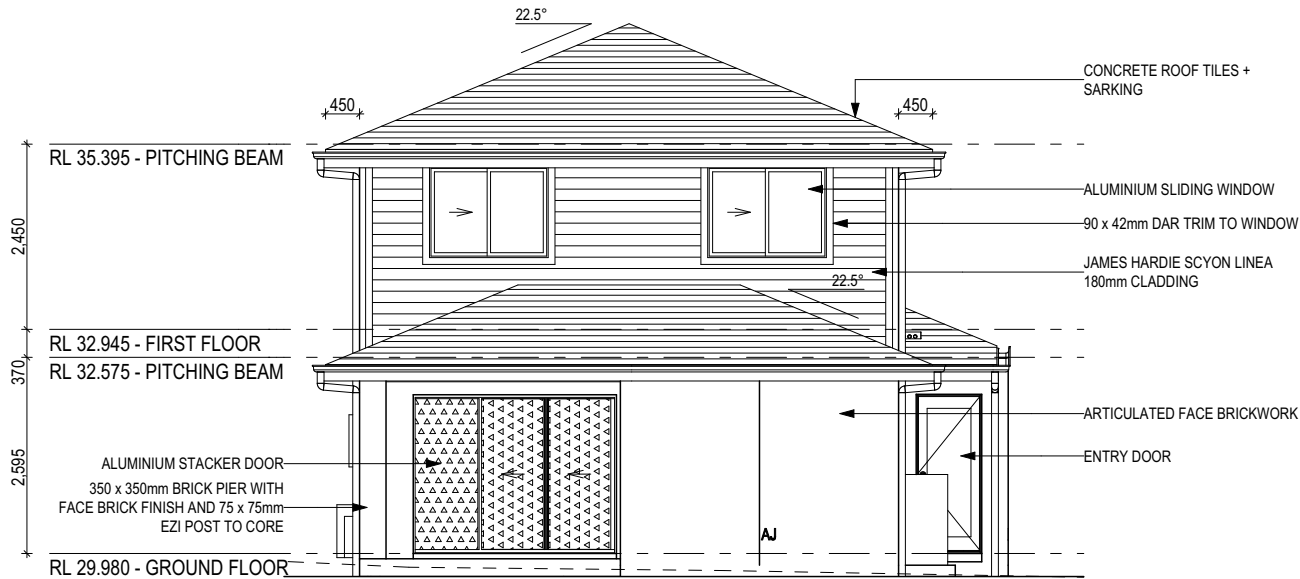
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL

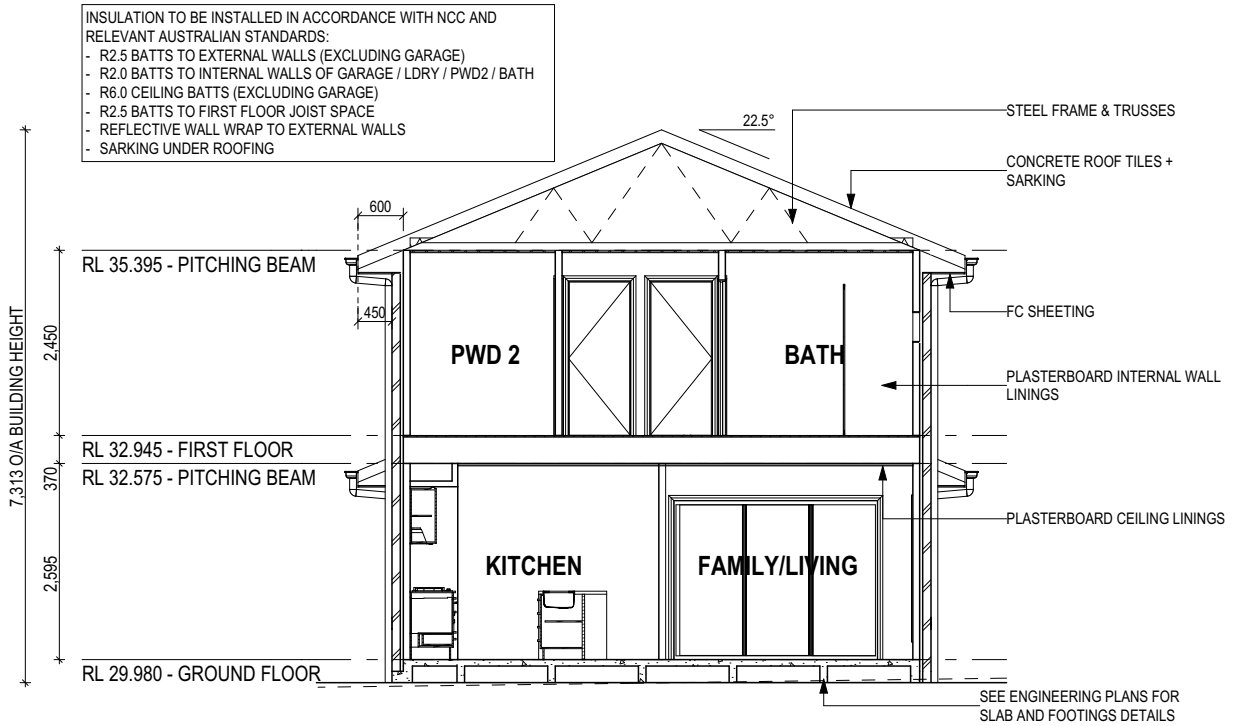
FIRST FLOOR WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY NCC D2.24 (VOLUME ONE) AND/OR NCC 3.9.2.5 (VOLUME TWO)



FRONT ELEVATION
Scale: 1:100



REAR ELEVATION
Scale: 1:100



SECTION A-A
Scale: 1:100

AGGRESSIVE SOIL REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

CONSTRUCTION PLANS

DATE:

07/08/2020

DRAFTER:

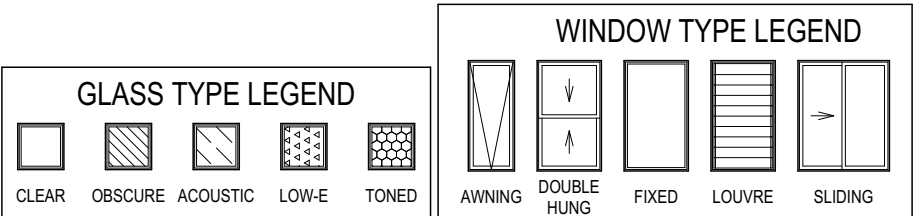
JNO

ESTIMATOR:

MKL

DRAFTING OFFICE:

SYDNEY



ALL CUT/FILL BATTERS ARE 1:1 MAX GRADIENT

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ADDRESS:	25 VERSACE CRESCENT	DP No.:	1240136
SUBURB:	MARSDEN PARK	SECTION No.:	N/A
POSTCODE:	2765	COUNCIL:	BLACKTOWN CITY

HOUSE DESIGN:	ANGASTON 25	HOUSE CODE:	H-CCHANG10DC
FACADE DESIGN:	FISHER	FACADE CODE:	F-CCHANG10FSHRA
SHEET TITLE:	ELEVATIONS / SECTION	SCALES:	1:100
		SHEET No.:	7 / 19

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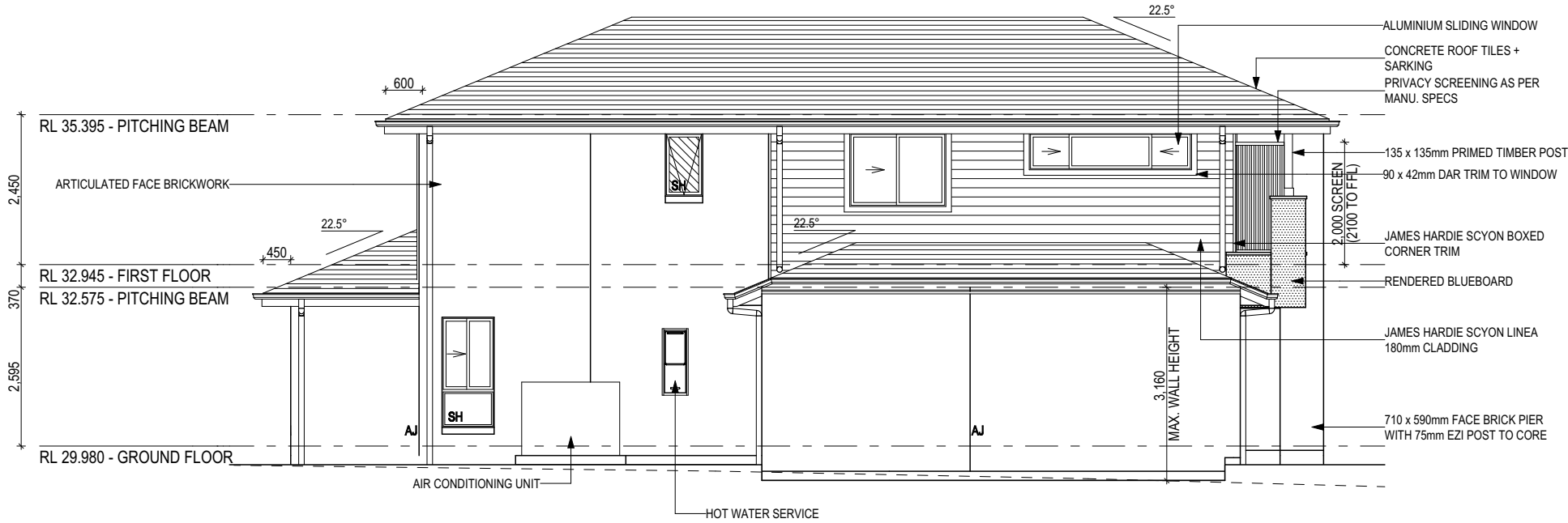
BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

SERVICE LOCATIONS TO BE SET OUT AS
PER DETAIL (G-SERV-ELEC01)

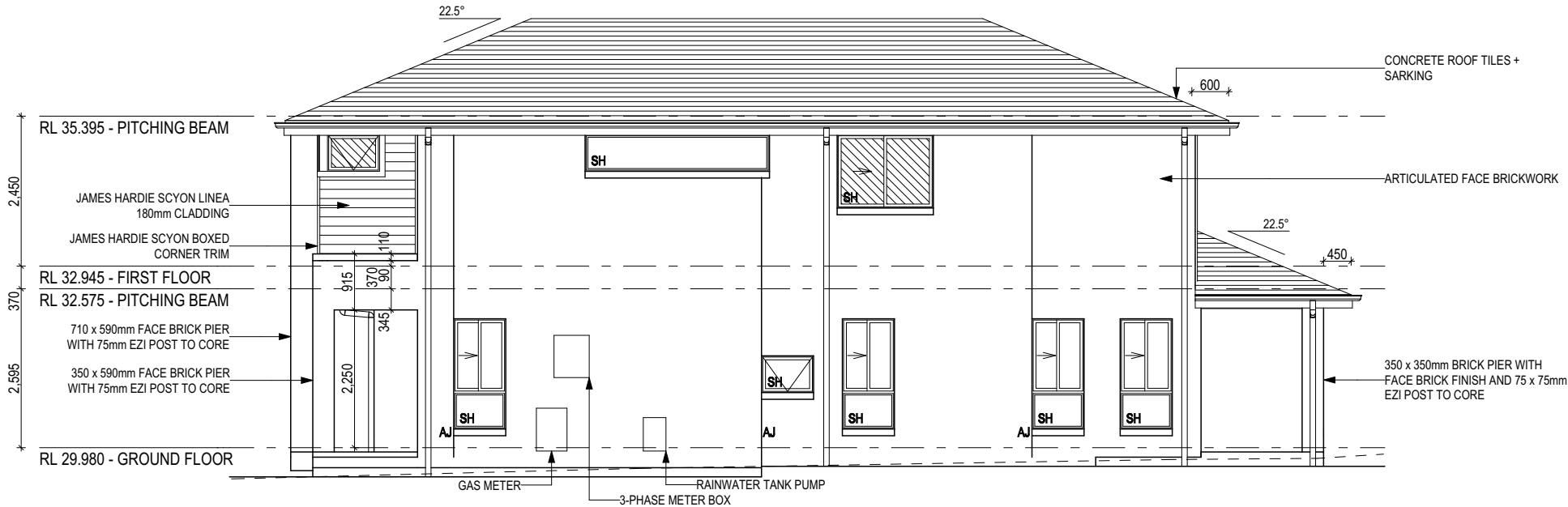
REFER TO SHEET 1 (COVER SHEET) FOR ALL
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL

FIRST FLOOR WINDOW OPENINGS TO BE
RESTRICTED AS REQUIRED BY NCC D2.24
(VOLUME ONE) AND/OR NCC 3.9.2.5 (VOLUME
TWO)



LEFT ELEVATION
Scale: 1:100



RIGHT ELEVATION
Scale: 1:100

AGGRESSIVE SOIL REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

CONSTRUCTION PLANS

DATE:

07/08/2020

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JNO

ESTIMATOR:

MKL

DRAFTING OFFICE:

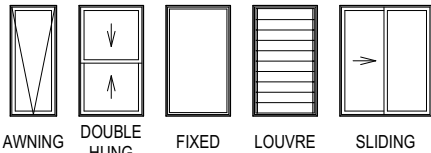
SYDNEY

GLASS TYPE LEGEND



CLEAR OBSCURE ACOUSTIC LOW-E TONED

WINDOW TYPE LEGEND



AWNING DOUBLE HUNG FIXED LOUVRE SLIDING

ALL CUT/FILL BATTERS ARE 1:1 MAX GRADIENT

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25 VERSACE CRESCENT			1240136	
SUBURB:	POSTCODE:	COUNCIL:	SECTION No.:	
MARSDEN PARK	2765	BLACKTOWN CITY	N/A	

HOUSE DESIGN:		HOUSE CODE:	
ANGASTON 25		H-CCHANG10DC	
FACADE DESIGN:		FACADE CODE:	
FISHER		F-CCHANG10FSHRA	
SHEET TITLE:	SCALES:	SHEET No.:	
ELEVATIONS	1:100	8 / 19	

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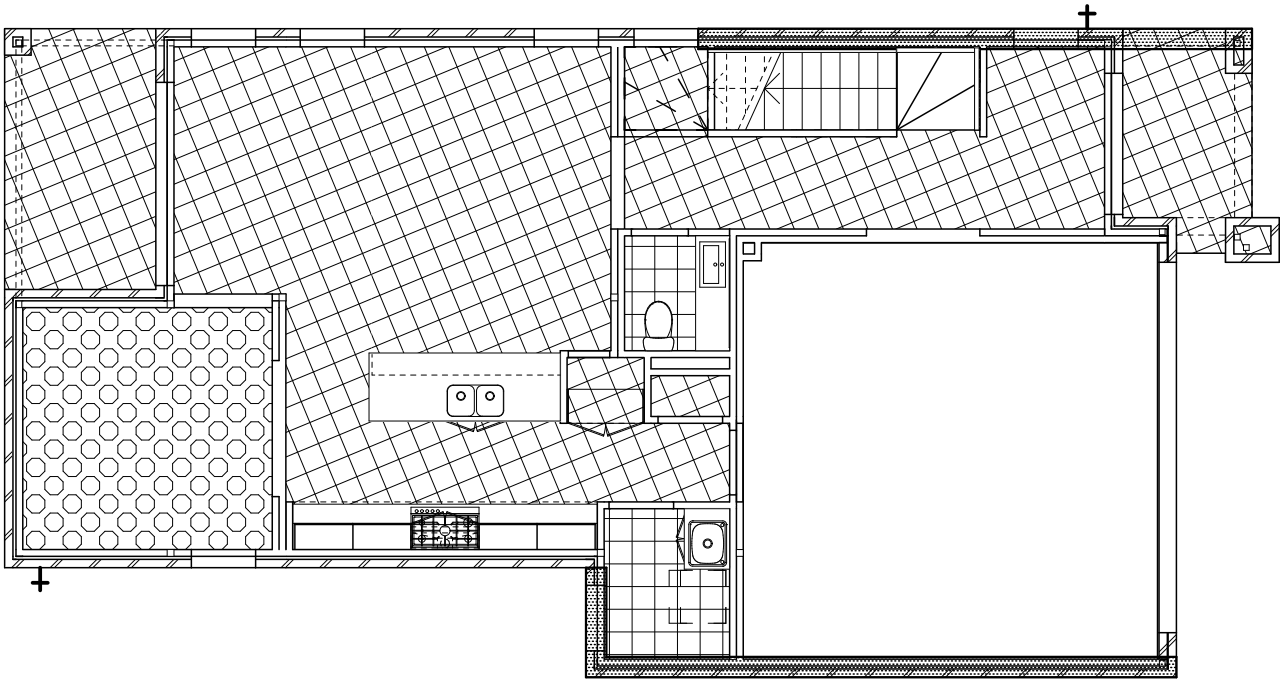
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- GENERAL BUILDING INFORMATION

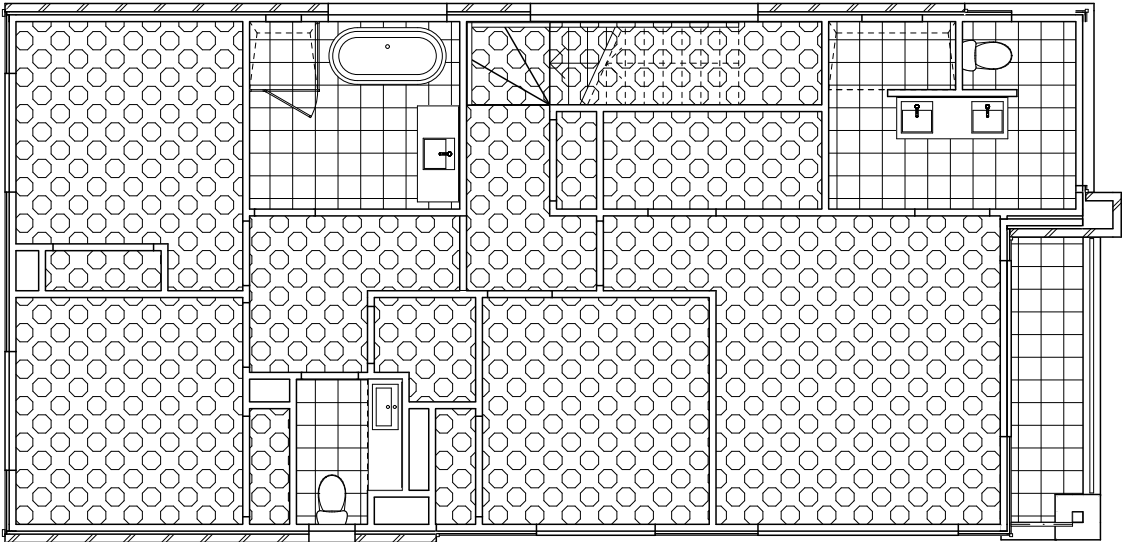
FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

- NO COVERING
- COVER GRADE CONCRETE
- CARPET
- TIMBER / LAMINATE
- TILE (WET AREAS)
- TILE (LIVING AREAS)
- VINYL



FLOOR COVERINGS (GROUND FLOOR)
Scale: 1:100



FLOOR COVERINGS (FIRST FLOOR)
Scale: 1:100

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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CONSTRUCTION PLANS

DATE:
07/08/2020

DRAFTER: ESTIMATOR:
JNO MKL

DRAFTING OFFICE:
SYDNEY



DRAWING		DRAWN	
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HOUSE DESIGN: ANGASTON 25		HOUSE CODE: H-CCHANG10DC	
FACADE DESIGN: FISHER		FACADE CODE: F-CCHANG10FSHRA	
SHEET TITLE: FLOOR COVERINGS	SCALES: 1:100	SHEET No.: 17 / 19	

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Standard Inclusions

kitchen	
Cooktop	ILVE ILGP96X 900mm European stainless steel gas cooktop with cast iron trivets and wok burner (where natural gas available)
Oven	ILVE ILO990X 900mm European stainless steel multifunction oven with clock
Rangehood	ILVE IVG901X 900mm European stainless steel canopy rangehood, vented to external
Dishwasher	ILVE Dishwasher IVDFSP5/1
Microwave	ILVE IV602BIM stainless steel microwave with trim kit
Benchtops	20mm pencil round edge Caesarstone benchtops with 20mm waterfall ends
Splashback	Ceramic tiled splashback
Cabinetry	Polytec Polyurethane cupboard doors and drawer fronts with soft close
Water Point	Tap to rear of refrigerator space
Water Filter	Inline water filter fitted under kitchen sink with the filtered water delivered directly through the kitchen sink mixer
Pantry	Four (4) x White melamine shelves 2,040mm high (nominal) Hume Lin 1 translucent glazed feature, internal hinged swing door to kitchen pantry in paint finish
Bin	Slide-out bin enclosure
Handles	Hettich handles to base cupboards
Sink	Double bowl undermount sink
Tapware	Caroma Saracom sink mixer in chrome finish
ensuite / bathroom / powder room	
Free-Standing Bath	Stylus Origin 1550 white free-standing bath with chrome waste and rubber plug as indicated on plan
Cabinetry	Fully laminated vanity units
Benchtops	20mm pencil round edge Caesarstone benchtops
Vanity Basins	Caroma Carboni II white vitreous china inset vanity basin with chrome waste and white plug to ensuite and bathroom (design specific)
Mirror	Polished edge mirror
Handles	Hettich handles
Shower Screens	2,000mm high framed shower enclosure in bright chrome finish and clear safety glass and a semi-framed pivot door to bathroom and ensuite
Accessories	Dorf Enix double towel rail
Tapware	Stylus Cadet chrome mixer tapware to basin, shower and bath with matching chrome bath outlet
Toilet	Stylus Venecia white vitreous china dual flush close coupled toilet suite with soft close seat (design specific)
Exhaust Fans	Exhaust Fan to ceiling space in ensuite and bathroom
Floorwaste	Chrome floor wastes throughout
doors	
Front Door	Hume Savoy 2,040mm x 820mm wide (nominal) front entry door, clear glazed in a paint finish
Internal	Hume flush panel hinged doors
Sliding Doors	Aluminium sliding doors where specified

start living

Standard Inclusions

door furniture	
Front Door	Delf Trilock leverset double cylinder deadlock to the front entry door in chrome finish
Internal	Delf leverset (Privacy sets to bathrooms, WC and all bedrooms)
flooring	
Ceramic Tiles	600 x 600mm ceramic floor tiles to main floor areas (entry, dining, family, kitchen, pantry, hallway & linen) (design specific)
Carpet	Builders range nylon carpet to all bedrooms, robes, home theatre & lounge. (design specific)
laundry	
Laundry Tub	800mm wide laundry base cupboard with laminated doors, end panels and laminated square edge benchtop with an ABS edge and matching kick boards and Radiant Vital 45L f/line SS drop in tub with F/mix to laundry (design specific)
Exhaust Fan	Exhaust fan to ceiling space in laundry
Tapware	Caroma Aqua sink mixer
Splashback	Tiled splashback to laundry tub
internal	
Cornice	90mm Cove cornice
Gas Package	Gas cooktop, HWS and heating point (where natural gas is available)
Robes	WIR to main where nominated and framed mirror sliding doors to bedroom robes
Skirting	Skirting board and architrave. HMR custom wood, half splayed
Shelving	White shelving to all robes, linen and pantry
foundation / frame	
Slab	Concrete slab structurally designed by qualified engineers
Ceiling	Ceiling height of 2.6m
Frame	Truecore Steel Frame
electrical	
Air- Conditioning	Ducted A/C System (single or 3 phase- estate specific)
Lighting	Downlights in hallway and living rooms. Oyster light fittings to remainder. 2 x Downlights to underside of overhead kitchen cupboards
Alarm	Alarm system with 4 PIR sensors, 1 LCD keypad, control panel & internal/external siren
Powerpoints	Throughout as detailed on electrical plan, external double waterproof power point to the alfresco
USB GPO's	Six (6) Iconic USB double power points: 2 in living rooms, 1 in kitchen and 1 in each bedroom
Phone	Six (6) Cat 6 Data points: 2 x 2 in living rooms, 1 in kitchen and 1 in main bedroom
Ironing Centre	Concealed ironing centre cupboard
Television Point	Three (3) x TV points: 1 in main bedroom, 1 in living and 1 in theatre
hot water system	
Hot Water System	Rheem Metro 26 instantaneous gas hot water unit (where natural gas is available)

start living

Standard Inclusions

paint	
Internal Walls	Taubmans low sheen 3 coat paint system
Internal Woodwork	Taubmans gloss paintwork 3 coat paint system
Exterior	Taubmans acrylic paintwork 3 coat paint system
external	
Walls	Face brickwork with Austral Bricks where indicated on plan
Render	2 coat Moroka finish to selected areas as indicated on plan
Windows	Aluminium windows throughout
Flyscreens	Flyscreens to openable windows excluding hinged and sliding doors
Roof	22.5 degree roof pitch included in all homes. Boral concrete contour roof tiles
Fascia and Gutter	Colorbond fascia and guttering. Downpipes 90mm Round PVC to match guttering
Sarking	Sarking to roof and external walls
Garage Door	Sectional Colorbond garage door, with two handsets, wall mounted button and additional remote control handset
Ceramic Tiles	450 x 450mm ceramic floor tiles to porch and alfresco
Garden Taps	One to front and one to rear
Landscaping	Turf to front and rear (to estate requirements)
Driveway	Driveway and Crossover/Colour sealed to estate requirements
Fencing	Colorbond fence (excluding mini orb) including side gate and blockoff
TV Aerial	Television aerial (Inc BOOSTER)
Clotheslines	Included
Gas Connection	Gas point to alfresco (where natural gas is available)