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BUILDING INFORMATION

GROUND FLOOR PITCHING HEIGHT(S):	2595mm
FIRST FLOOR PITCHING HEIGHT(S):	2450mm
FRAMES AND TRUSSES:	STEEL
ROOF PITCH (U.N.O.):	22.5°
ELECTRICITY SUPPLY:	3-PHASE
GAS SUPPLY:	RETICULATED SUPPLY
ROOF MATERIAL:	CONCRETE TILES
ROOF COLOUR:	DARK
WIND DRIVEN ROOF VENTILATORS:	2
WALL MATERIAL:	BRICK VENEER, CLADDING
WALL COLOUR:	N/A

INSULATION

INSULATION TO BE INSTALLED IN ACCORDANCE WITH N.C.C. AND RELEVANT AUSTRALIAN STANDARDS

SARKING UNDER ROOFING
R5.0 BATTS TO CEILING (EXCL. GARAGE)

R2.0 BATTS TO EXTERIOR WALLS (EXCL. GARAGE)
WALL WRAP TO ENTIRE HOUSE

SITE & ENGINEERING INFORMATION

DESIGN WIND CLASSIFICATION:	N2
SITE CLASSIFICATION:	P-M
SLAB CLASSIFICATION:	M
SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS SPECIFICATIONS & DETAILS OVER A 200µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)	
PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C. & AS 3700	
ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-1998 OR AS/NZS 4600-2018	

BASIX AREAS

CONDITIONED	166.89
UNCONDITIONED	14.87

TOTAL FLOOR AREAS

ALFRESCO	10.35
BALCONY	4.95
GARAGE	33.18
LIVING (FIRST FLOOR)	115.28
LIVING (GROUND FLOOR)	102.20
PATIO	5.00
	270.96 m²

SUSTAINABILITY COMMITMENTS

WATER COMMITMENTS

3 STAR (> 7.5 BUT <= 9 L/MIN) SHOWER HEADS
4 STAR TOILET SUITES
5 STAR KITCHEN TAPS
5 STAR BATHROOM TAPS

185.08 m² TOTAL ROOF AREA

3000 L WATER TANK(S) MINIMUM CAPACITY
158.20 m² MINIMUM ROOF AREA TO TANK(S)

RAINWATER TANK(S) TO BE CONNECTED TO:

- AT LEAST ONE OUTDOOR TAP
- ALL TOILETS
- WASHING MACHINE

NO RETICULATED RECYCLED WATER SUPPLY

190 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

HOT WATER SYSTEM

- GAS CONTINUOUS FLOW - 6 STAR

HEATING SYSTEM

- 1-PHASE REVERSE CYCLE AIR CONDITIONING
EER 3.0 - 3.5

COOLING SYSTEM

- 1-PHASE REVERSE CYCLE AIR CONDITIONING
EER 3.0 - 3.5

VENTILATION (EXHAUST FANS)

- AT LEAST ONE BATHROOM:
DUCTED TO OUTSIDE AIR, MANUAL SWITCH ON/OFF
- KITCHEN RANGEHOOD:
DUCTED TO OUTSIDE AIR, MANUAL SWITCH ON/OFF
- LAUNDRY:
DUCTED TO OUTSIDE AIR, MANUAL SWITCH ON/OFF

PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER

- 5 BEDROOMS/STUDY, DEDICATED
- 4 LIVING/DINING AREAS, DEDICATED
- KITCHEN, DEDICATED
- ALL BATHROOMS/TOILETS, DEDICATED
- LAUNDRY, DEDICATED
- ALL HALLWAYS, DEDICATED

NATURAL LIGHTING TO

- 3 BATHROOM(S)/TOILET(S)

ALTERNATIVE ENERGY

- N/A

OTHER

- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY BUILDER
- NO FIXED INDOOR CLOTHESLINE

BASIX CERTIFICATE:

- 1063947S_03 (2020.04.09)

GROSS FLOOR AREA (GREENFIELD / SIMPLIFIED HOUSING CODE)

GROSS FLOOR AREA	209.74
	209.74 m²

AGGRESSIVE SOIL REQUIREMENTS
PROVIDE ADDITIONAL STRUCTURAL REQUIREMENTS, DUE TO BUILDING IN AN 'AGGRESSIVE SOIL ENVIRONMENT'. THIS SHALL INCLUDE THE FOLLOWING:

A. PROVIDE 25MPa CONCRETE TO THE PIERS AND FLOOR SLABS IN LIEU OF STANDARD.

B. PROVIDE HIGH IMPACT MEMBRANE BELOW THE FLOOR SLAB.

C. PROVIDE A MIN. 50mm BLINDING LAYER OF SAND UNDERNEATH THE FLOOR STRUCTURE.

D. PROVIDE POLYETHYLENE DAMP PROOF COURSE TO THE EXTERNAL WALLS IN LIEU OF STANDARD.

E. USE EXPOSURE GRADE MORTAR BELOW DAMP PROOF COURSE IN LIEU OF STANDARD.

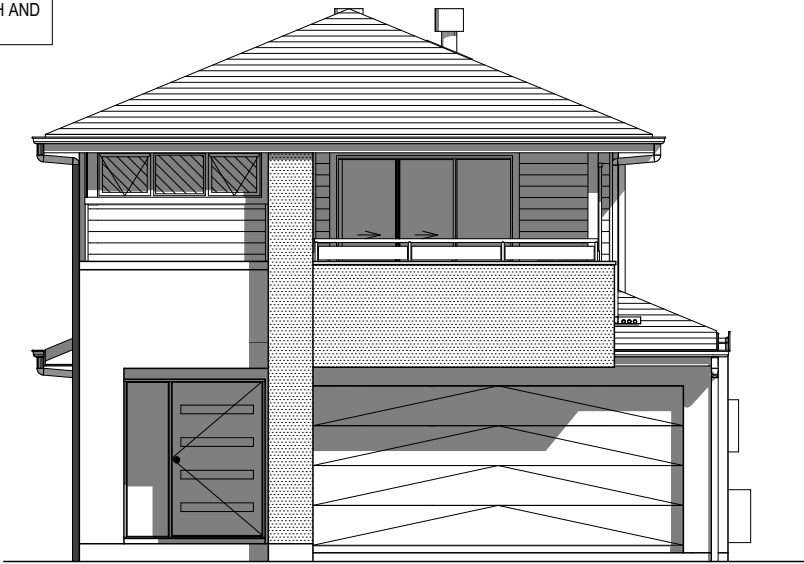
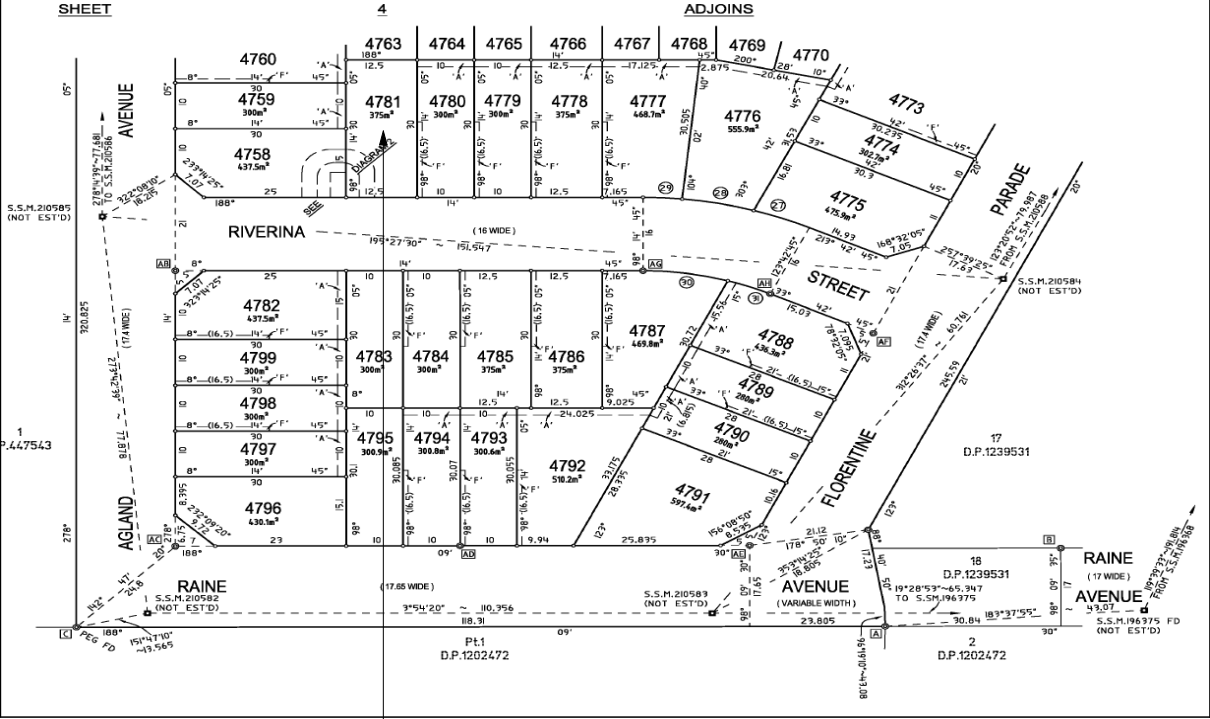
F. USE EXPOSURE GRADE BRICKWORK FROM OUR STANDARD RANGE BELOW THE DAMP PROOF COURSE.

BAL 12.5 BUSHFIRE REQUIREMENTS
THE BUILDER USES MATERIALS THAT HAVE BEEN TESTED TO AS1530.8.1 IN ACCORDANCE WITH AS3959-2018 (CLAUSE 3.8) AND NASH STANDARD STEEL FRAMED CONSTRUCTION IN BUSHFIRE AREAS 2014.

- PROVIDE SARKING TO TILED ROOF WITH PRESTITE TO VALLEYS
- PROVIDE FLYSCREENS WITH CORROSION RESISTANT MESH TO ALL OPERABLE WINDOW SASHES (NO REQUIREMENT TO SCREEN BI-FOLD/FRENCH/SLIDING/STACKER DOORS)
- PROVIDE BAL 12.5 RATED ALUMINIUM WINDOWS AND EXTERNAL GLASS SLIDING/STACKER DOORS
- SPECIFIED ALUMINIUM FRENCH DOORS HAVE BEEN TESTED TO AS1530.8.1 WITHOUT SCREENS
- SPECIFIED ALUMINIUM WINDOWS HAVE BEEN TESTED TO AS1530.8.1 WITHOUT SCREENS TO FIXED PANELS
- PROVIDE MERBAU DOOR JAMBS TO ALL EXTERNAL TIMBER DOORS
- PROVIDE SPARK ARRESTORS TO EXTERNAL BRICKWORK
- PROVIDE SEAL TO GARAGE DOOR
- EXTERNAL TIMBER POSTS TO BE FIRE RETARDANT
- PROVIDE COPPER WATER PIPES FROM WATER TANK TO HOUSE

(IF REQUIRED)

- PROVIDE MERBAU TIMBER POSTS AND EXPOSED BEAMS TO PATIO
- PROVIDE SAFETY SCREENS WITH CORROSION RESISTANT MESH AND DIAMOND GRILLE TO EXTERNAL HUNG DOORS



CONSTRUCTION PLANS

DATE:
12/06/2020

DRAFTER: ESTIMATOR:
JNO MKL

DRAFTING OFFICE:
SYDNEY

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	DRAWING	DRAWN
3	CONCRETE TILES TO ROOF	JNO 2020.04.07
4	BASIX CERTIFICATE	JNO 2020.04.09
5	REG. SURVEY + BAL 12.5	JNO 2020.04.24
6	CONSTRUCTION PLANS	JNO 2020.06.12
7	INCLUSION UPGRADES	JNO 2020.08.09

CLIENT:			LOT No.:
COMPLETE BY MCDONALD JONES			4781
ADDRESS:			DP No.:
RIVERINA STREET			1240130
SUBURB:	POSTCODE:	COUNCIL:	SECTION No.:
MARSDEN PARK	2765	BLACKTOWN CITY	N/A

HOUSE DESIGN:		HOUSE CODE:	
ANGASTON 28		H-CCHANG20DA	
FACADE DESIGN:		FACADE CODE:	
COOPER		F-CCHANG20COPRA	
SHEET TITLE:	SCALES:	SHEET No.:	
COVER SHEET		1 / 19	

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+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS.
SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

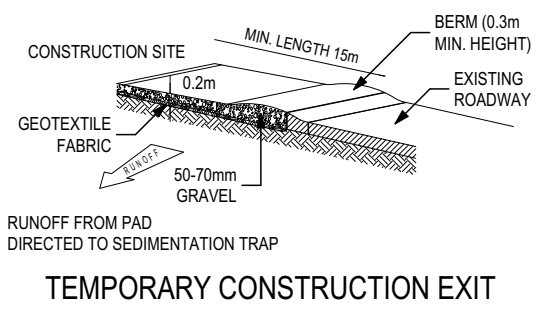
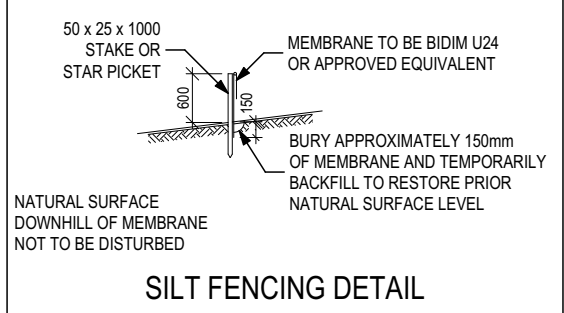
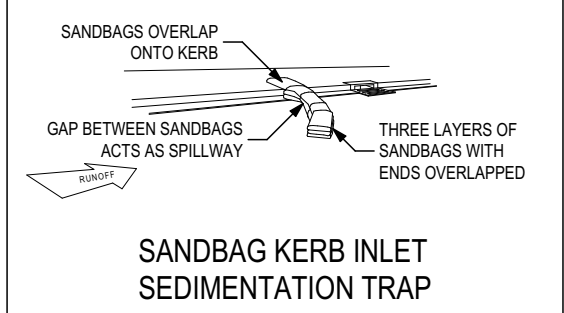
SITE WORKS INDICATIVE ONLY. THE LOCATIONS AND HEIGHTS OF ANY PROPOSED
 RETAINING WALLS / DROPPED EDGE BEAMS ARE SUBJECT TO ON-SITE CONDITIONS

STORMWATER LAYOUT IS DIAGRAMMATIC
ONLY AND SUBJECT TO CONTRACTORS
RECOMMENDATIONS AND/OR ANY
CONSTRUCTION CONSTRAINTS. ALL
SURFACE WATER DRAINAGE BY BUILDER.

WIND CLASSIFICATION	N2
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO
SURVEY AREA	NEW
LATITUDE	33° 42' 23" S
LONGITUDE	150° 48' 58" E

APPROX. IMPORT/EXPORT FILL	
CUT VOLUME	16.48m³
FILL VOLUME	11.58m³
DIFFERENCE	4.90m³

TONNAGE: $4.90\text{m}^3 \times 2.25 = 11.03\text{t}$
11 TONNES OF EXPORT FILL



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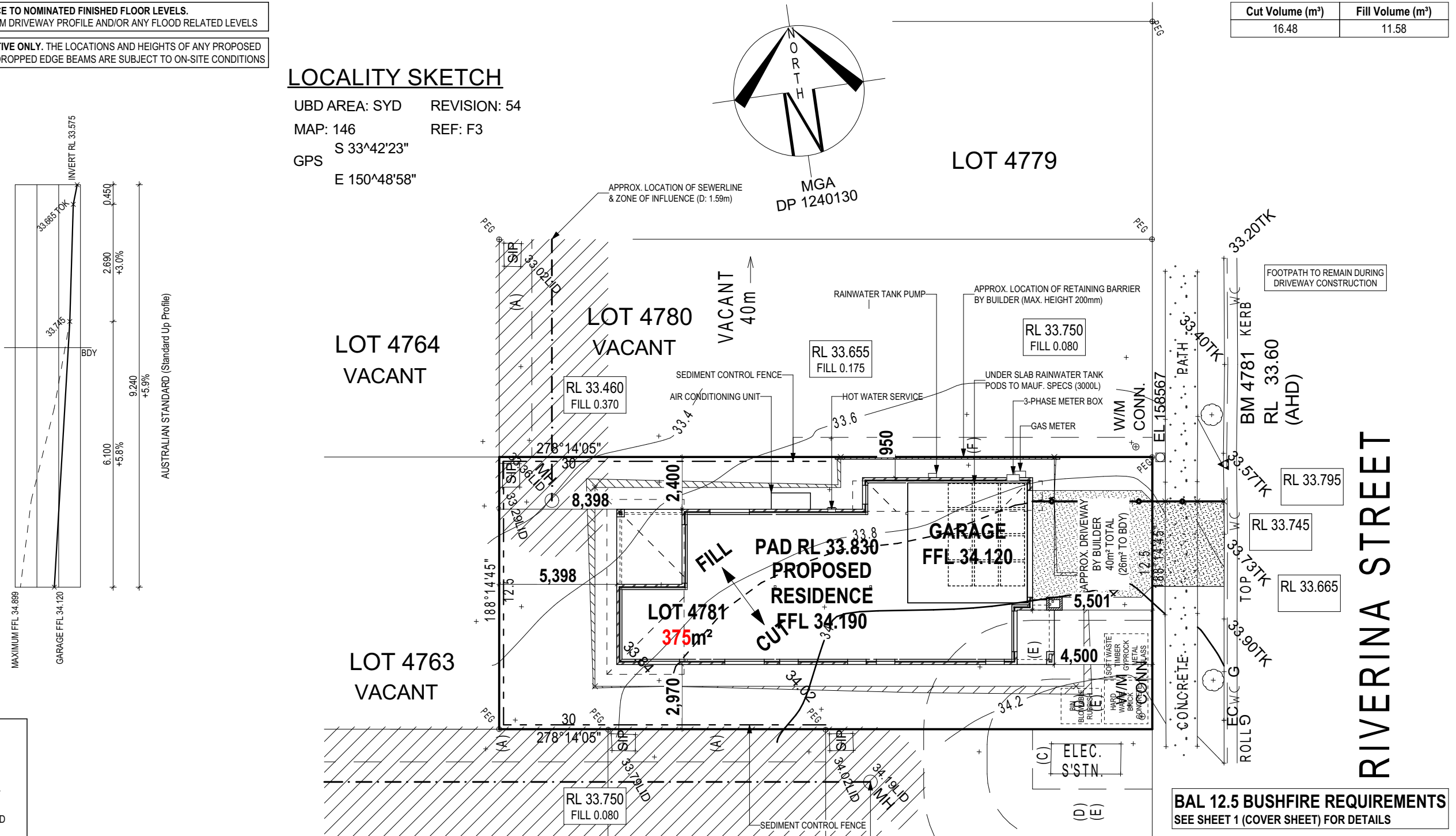
CLIENT: COMPLETE BY MCDONALD JONES			LOT No.: 4781
ADDRESS: RIVERINA STREET			DP No.: 1240130
SUBURB: MARSDEN PARK	POSTCODE: 2765	COUNCIL: BLACKTOWN CITY	SECTION No.: N/A

HOUSE DESIGN:	ANGASTON 28
FACADE DESIGN:	COOPER
SHEET TITLE:	SITE PLAN

HOUSE CODE: H-CCHANG20DA	
FACADE CODE: F-CCHANG20COPRA	
SCALES: 1:200	SHEET No.: 2 / 19

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BAL 12.5 BUSHFIRE REQUIREMENTS

SEE SHEET 1 (COVER SHEET) FOR DETAILS

AGGRESSIVE SOIL REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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JNO MKL

DRAFTING OFFICE:
SYDNEY

PATIO CEILING HEIGHT TO MATCH DWELLING INTERNAL
ALFRESCO CEILING HEIGHT TO MATCH DWELLING INTERNAL

**WET AREAS TO BE SETDOWN
50mm FROM MAIN HOUSE SLAB**









350 x 350mm
FACE BRICK FIN

50 30 50 450 450 450

1,	233	8	1,	240	240	240
----	-----	---	----	-----	-----	-----

450
88
3,450
1,270
1,270

8,580	
2	2
0	
0	
0	
0	

HS / WS	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	HEBEL
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
3D	DENOTES DRAWER SIDE
	EXHAUST FAN
L.B.W	LOAD BEARING WALL
	THIS DOOR OPENS FIRST
	SMOKE ALARM
#	LIFT OFF HINGE
	WATER POINT
WP	FRIDGE WATER POINT
	GAS BAYONET

ALL ALFRESCO SLABS TO BE GRADED BY
CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO
OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm
OVER ENTIRE SLAB (DOES NOT APPLY TO VERANDAH
/ PATIO / PORCH SLABS).

AGGRESSIVE SOIL REQUIREMENTS

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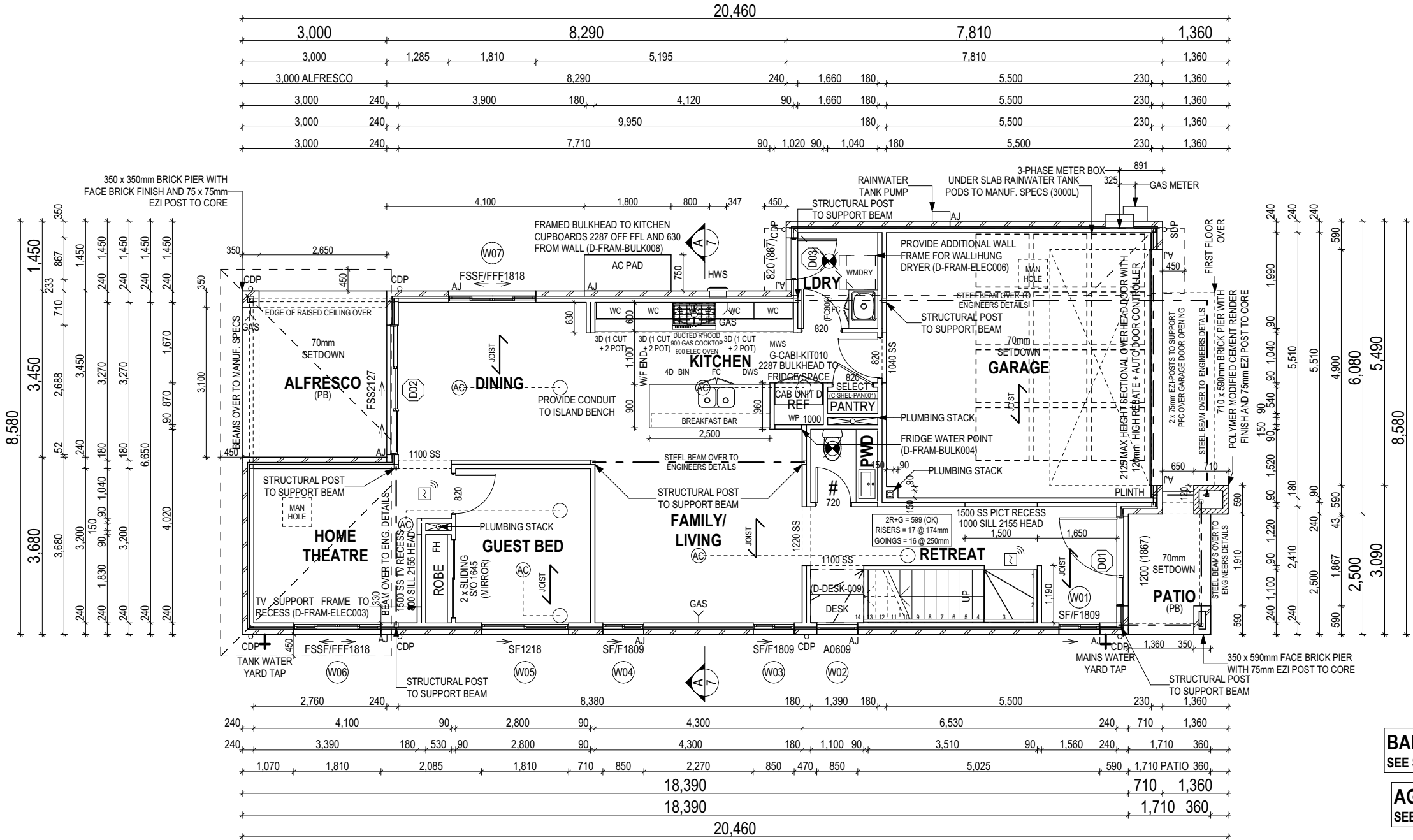
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Template Version: 22 000



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ADDRESS: RIVERINA STREET			DP No.: 1240130
SUBURB: MARSDEN PARK	POSTCODE: 2765	COUNCIL: BLACKTOWN CITY	SECTION No.: N/A

HOUSE DESIGN:
ANGASTON 28

FACADE DESIGN:
COOPER

SHEET TITLE:
GROUND FLOOR PLAN

HOUSE CODE: H-CCHANG20DA	
FACADE CODE: F-CCHANG20COPRA	
SCALES: 1:100	SHEET No.: 4 / 19

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**BALCONY CEILING HEIGHT TO
MATCH EAVE DROP-OFF**

CDP Ω	CHARGED DOWNPIPE DIRECTED TO TANK
SDP Ω	STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

FIRE RESISTANT PLASTERBOARD TO BE
INSTALLED BEHIND COOKTOP

ENSURE VERTICAL DPC FLASHING TO END
OF GARAGE VENEER WALLS

ALL EXTERIOR STEPS AND LANDINGS BY
BUILDER UNLESS NOTED OTHERWISE

ALL FIRST FLOOR BULKHEAD AND SQUARE
SET OPENING FRAMES TO BE 2155 ABOVE
FFL UNLESS NOTED OTHERWISE


REFER TO WINDOW & DOOR SCHEDULES
FOR FULL DETAILS OF ALL WINDOWS AND
DOORS

ALL STAIR TREADS TO PROVIDE A MINIMUM
SLIP RESISTANCE TO MEET NCC 3.9.1
REQUIREMENTS

FIRST FLOOR WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY NCC D2.24 (VOLUME ONE) AND/OR NCC 3.9.2.5 (VOLUME TWO)






PROVIDE FLOOR WASTE AND OVERFLOW
SPITTERS TO UPPER FLOOR TANKED
BALCONIES WHERE APPLICABLE AS PER:
- G-FACA-BALC02 (PFC/BRICKWORK)
- G-FRAM-BALC01
(LIGHTWEIGHT CLADDING)

UNLESS NOTED OTHERWISE
ALL ROOMS ARE REFERENCED
AS FOLLOWS:



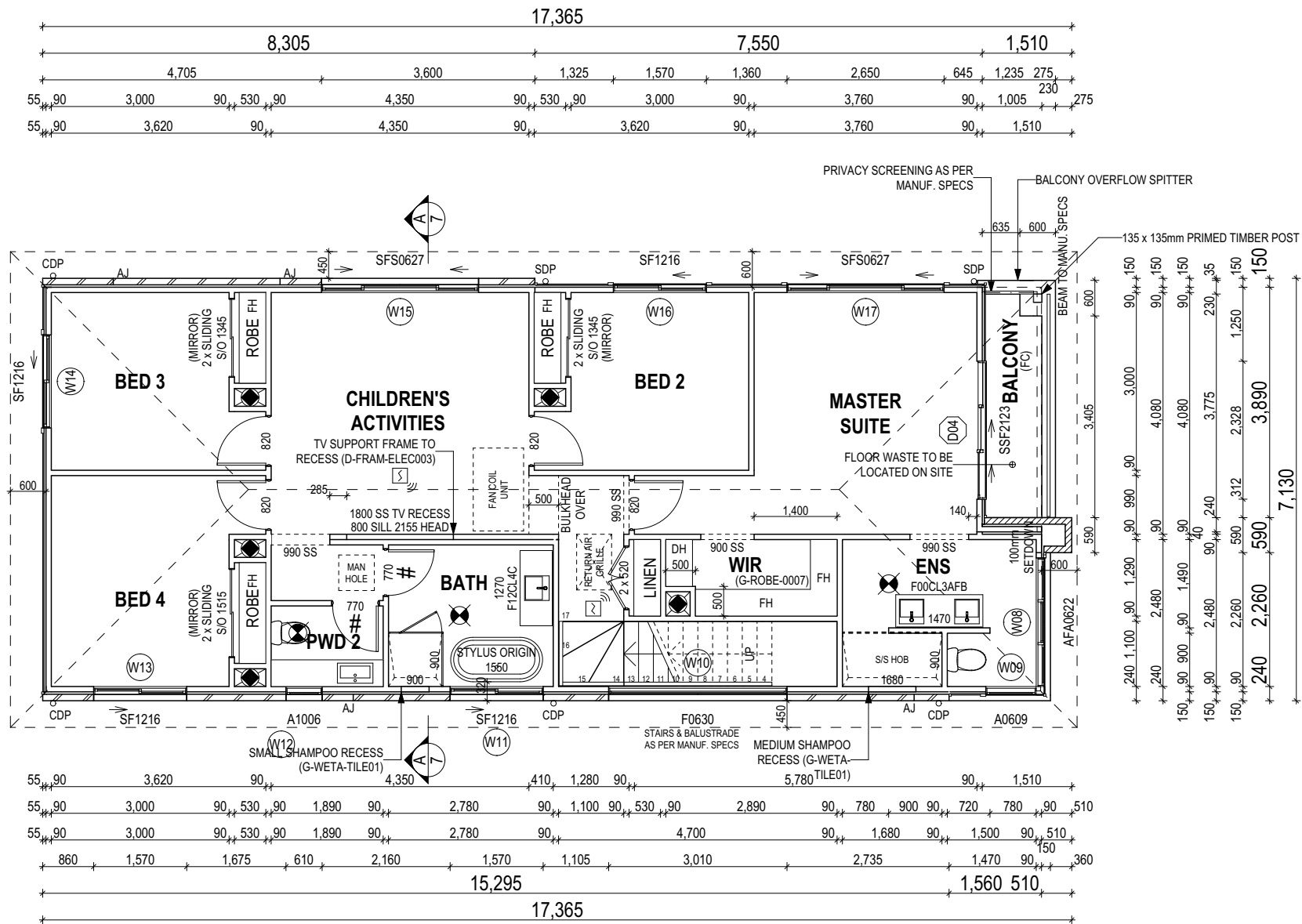
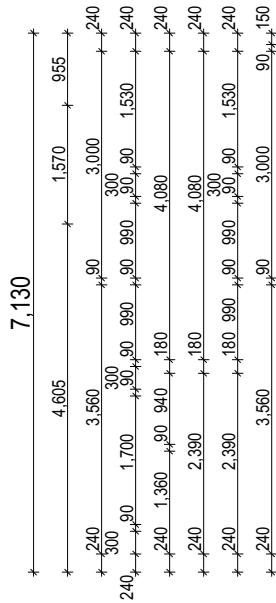
A diagram of a diamond-shaped room, which is a square rotated 45 degrees. The vertices are labeled with letters: 'A' at the top point, 'B' at the right point, 'C' at the bottom point, and 'D' at the left point. The interior of the diamond is white, and the boundary is a solid black line.

FLOOR PLAN LEGEND

HS / WS	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
3D	DENOTES DRAWER SIDE
	EXHAUST FAN
L.B.W	LOAD BEARING WALL
	THIS DOOR OPENS FIRST
	SMOKE ALARM
#	LIFT OFF HINGE
+	WATER POINT
WP	FRIDGE WATER POINT
GAS	GAS BAYONET



complete
BY MCDONALD JONES



PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.7.1.7(c) OF THE NCC.

ALL ALFRESCO SLABS TO BE GRADED BY
CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO
OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm
OVER ENTIRE SLAB (DOES NOT APPLY TO VERANDAH
/ PATIO / PORCH SLABS).

BAL 12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

CONSTRUCTION PLANS

DATE:

12/06/2020

DRAFTER:

ESTIMATOR:

JNO

MKL

DRAFTING OFFICE:

SYDNEY

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ADDRESS: RIVERINA STREET			DP No.: 1240130
SUBURB: MARSDEN PARK	POSTCODE: 2765	COUNCIL: BLACKTOWN CITY	SECTION No.: N/A

HOUSE DESIGN:
ANGASTON 28

FACADE DESIGN:
COOPER

SHEET TITLE:
FIRST FLOOR PLAN

HOUSE CODE: H-CCHANG20DA	
FACADE CODE: F-CCHANG20COPRA	
SCALES: 1:100	SHEET No.: 5 / 19

WINDOW SCHEDULE

0, 3 ASSUME LOOKING FROM OUTSIDE

1, 2 ASSUME LOOKING FROM INSIDE

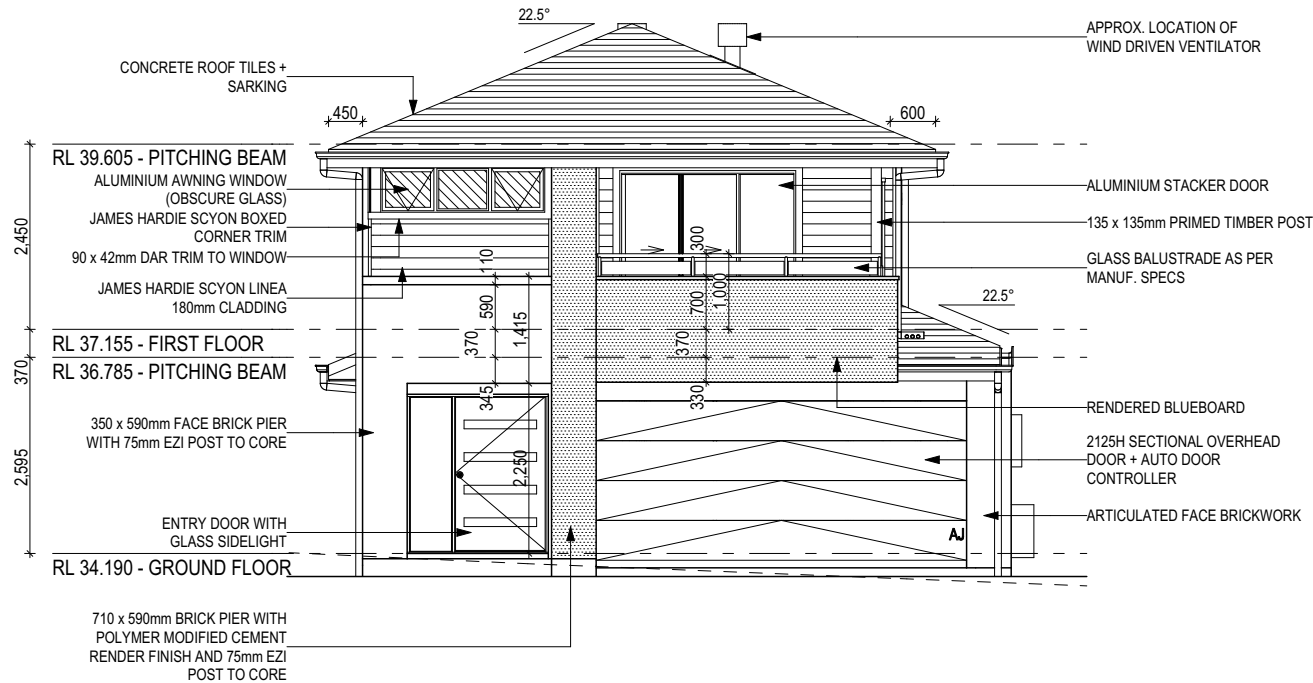
ID	CODE ⁰	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE	ADDITIONAL INFORMATION ³
W01	SF/F1809	RETREAT	1,800	850	5,300	1.53	ALUMINIUM	N/A	SNAP HEADER	S	1.24	CLEAR	BP 600
W02	A0609	RETREAT	600	850	2,900	0.51	ALUMINIUM	N/A	SNAP HEADER	S	0.34	CLEAR	
W03	SF/F1809	FAMILY / LIVING	1,800	850	5,300	1.53	ALUMINIUM	N/A	SNAP HEADER	S	1.24	CLEAR	BP 600
W04	SF/F1809	FAMILY / LIVING	1,800	850	5,300	1.53	ALUMINIUM	N/A	SNAP HEADER	S	1.24	CLEAR	BP 600
W05	SF1218	GUEST BED	1,200	1,810	6,020	2.17	ALUMINIUM	N/A	SNAP HEADER	S	1.91	CLEAR	
W06	FSSF/FFF1818	HOME THEATRE	1,800	1,810	7,220	3.26	ALUMINIUM	N/A	SNAP HEADER	S	2.66	CLEAR	BP 600, MP 453-905/0
W07	FSSF/FFF1818	DINING	1,800	1,810	7,220	3.26	ALUMINIUM	N/A	SNAP HEADER	N	2.66	CLEAR	BP 600, MP 453-905/0
W08	AFA0622	ENS	600	2,170	5,540	1.30	ALUMINIUM	N/A	NONE	E	0.91	OBSCURE, TOUGHENED	MP 723-723, CORNER JOINING (POST & COVERPLATE)
W09	A0609	ENS	600	850	2,900	0.51	ALUMINIUM	N/A	NONE	S	0.34	OBSCURE, TOUGHENED	CORNER JOINING (POST & COVERPLATE)
W10	F0630	STAIRWELL	600	3,010	7,220	1.81	ALUMINIUM	N/A	SNAP HEADER	S	1.55	CLEAR	
W11	SF1216	BATH	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	SNAP HEADER	S	1.64	OBSCURE, TOUGHENED	
W12	A1006	PWD 2	1,030	610	3,280	0.63	ALUMINIUM	N/A	SNAP HEADER	S	0.44	OBSCURE, TOUGHENED	
W13	SF1216	BED 4	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	SNAP HEADER	S	1.64	CLEAR	
W14	SF1216	BED 3	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	NONE	W	1.64	CLEAR	
W15	SFS0627	CHILDREN'S ACTIVITIES	600	2,650	6,500	1.59	ALUMINIUM	N/A	SNAP HEADER	N	1.32	CLEAR	
W16	SF1216	BED 2	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	NONE	N	1.64	CLEAR	
W17	SFS0627	MASTER SUITE	600	2,650	6,500	1.59	ALUMINIUM	N/A	NONE	N	1.32	CLEAR	
						28.74							
							</						

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

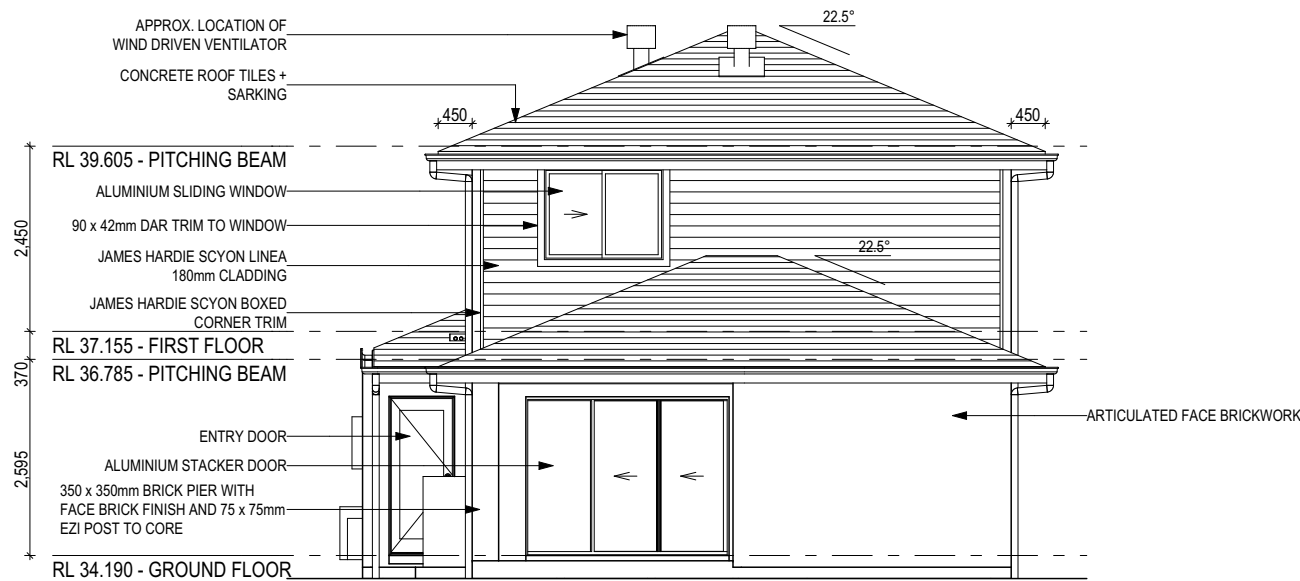
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL

FIRST FLOOR WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY NCC D2.24 (VOLUME ONE) AND/OR NCC 3.9.2.5 (VOLUME TWO)



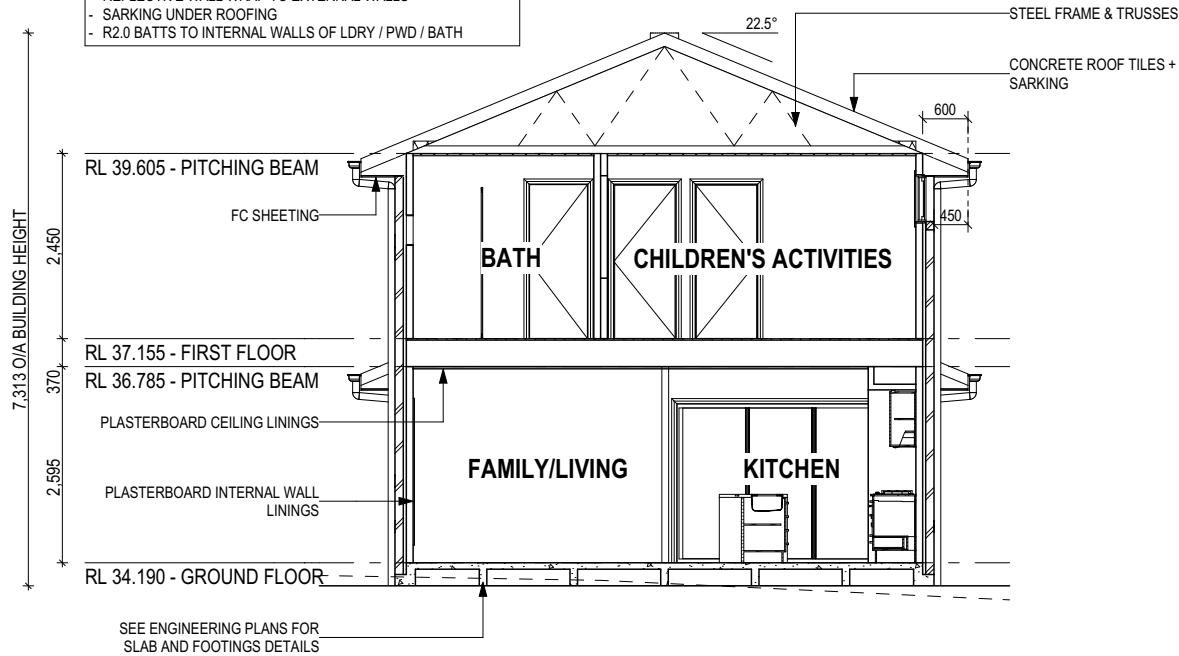
FRONT ELEVATION - BAL 12.5
Scale: 1:100



REAR ELEVATION - BAL 12.5
Scale: 1:100

INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS:

- R2.0 BATTS TO EXTERNAL WALLS (EXCLUDING GARAGE)
- R5.0 CEILING BATTS (EXCLUDING GARAGE)
- R2.0 BATTS TO FLOOR JOISTS SPACE ABOVE GARAGE
- REFLECTIVE WALL WRAP TO EXTERNAL WALLS
- SARKING UNDER ROOFING
- R2.0 BATTS TO INTERNAL WALLS OF LDRY / PWD / BATH



SECTION A-A
Scale: 1:100

BAL 12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

AGGRESSIVE SOIL REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

CONSTRUCTION PLANS

DATE:

12/06/2020

DRAFTER:

JNO

ESTIMATOR:

MKL

DRAFTING OFFICE:

SYDNEY

GLASS TYPE LEGEND				
CLEAR	OBSCURE	ACOUSTIC	LOW-E	TONED

WINDOW TYPE LEGEND				
AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

ALL CUT/FILL BATTERS ARE 1:1 MAX GRADIENT

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complete
BY MCDONALD JONES

	DRAWING	DRAWN
3	CONCRETE TILES TO ROOF	JNO 2020.04.07
4	BASIX CERTIFICATE	JNO 2020.04.09
5	REG. SURVEY + BAL 12.5	JNO 2020.04.24
6	CONSTRUCTION PLANS	JNO 2020.06.12
7	INCLUSION UPGRADES	JNO 2020.08.09

CLIENT:			LOT No.:	
COMPLETE BY MCDONALD JONES			4781	
ADDRESS:			DP No.:	
RIVERINA STREET			1240130	
SUBURB:		POSTCODE:	COUNCIL:	SECTION No.:
MARSDEN PARK		2765	BLACKTOWN CITY	N/A

HOUSE DESIGN:		HOUSE CODE:	
ANGASTON 28		H-CCHANG20DA	
FACADE DESIGN:		FACADE CODE:	
COOPER		F-CCHANG20COPRA	
SHEET TITLE:		SCALES:	SHEET No.:
ELEVATIONS / SECTION		1:100	7 / 19

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

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