BUILDING INFORMATION

GROUND FLOOR PITCHING HEIGHT(S): 2595mm FIRST FLOOR PITCHING HEIGHT(S): 2450mm FRAMES AND TRUSSES: **STEEL** ROOF PITCH (U.N.O.): 22.5° ELECTRICITY SUPPLY: 3-PHASE

GAS SUPPLY: RETICULATED SUPPLY

ROOF MATERIAL: CONCRETE TILES ROOF COLOUR: DARK

WIND DRIVEN ROOF VENTILATORS:

WALL MATERIAL BRICK VENEER, CLADDING

WALL COLOUR: N/A

INSULATION

INSULATION TO BE INSTALLED IN ACCORDANCE WITH N.C.C. AND RELEVANT **AUSTRALIAN STANDARDS**

SARKING LINDER ROOFING

R5.0 BATTS TO CEILING (EXCL. GARAGE)

R2.0 BATTS TO EXTERIOR WALLS (EXCL. GARAGE)

WALL WRAP TO ENTIRE HOUSE

SITE & ENGINEERING INFORMATION

DESIGN WIND CLASSIFICATION: SITE CLASSIFICATION: P-M SLAB CLASSIFICATION:

SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS SPECIFICATIONS & DETAILS OVER A 200 µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C. & AS 3700

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-1998 OR AS/NZS 4600-2018

BASIX AREAS

CONDITIONED 166.89 UNCONDITIONED 14.87

TOTAL FLOOR AREAS

ALFRESCO 10.35 **BALCONY** 4.95 **GARAGE** 33.18 LIVING (FIRST FLOOR) 115.28 LIVING (GROUND FLOOR) 102.20 **PATIO** 5.00 270.96 m²

SUSTAINABILITY COMMITMENTS

AGGRESSIVE SOIL REQUIREMENTS

FOLLOWING

OF STANDARD

FLOOR STRUCTURE.

LIEU OF STANDARD.

BAL 12.5 BUSHFIRE REQUIREMENTS

BELOW THE DAMP PROOF COURSE.

FRAMED CONSTRUCTION IN BUSHFIRE AREAS 2014

FOLD/FRENCH/SLIDING/STACKER DOORS)

GLASS SLIDING/STACKER DOORS

WITHOUT SCREENS TO FIXED PANELS

EXTERNAL TIMBER POSTS TO BE FIRE RETARDANT

PROVIDE SEAL TO GARAGE DOOR

AS1530.8.1 WITHOUT SCREENS

PROVIDE ADDITIONAL STRUCTURAL REQUIREMENTS, DUE TO BUILDING IN

PROVIDE HIGH IMPACT MEMBRANE BELOW THE FLOOR SLAB.

PROVIDE 25MPa CONCRETE TO THE PIERS AND FLOOR SLABS IN LIEU

PROVIDE A MIN. 50mm BLINDING LAYER OF SAND UNDERNEATH THE

PROVIDE POLYETHYLENE DAMP PROOF COURSE TO THE EXTERNAL WALLS IN LIEU OF STANDARD.

USE EXPOSURE GRADE MORTAR BELOW DAMP PROOF COURSE IN

USE EXPOSURE GRADE BRICKWORK FROM OUR STANDARD RANGE

THE BUILDER USES MATERIALS THAT HAVE BEEN TESTED TO AS1530.8.1 IN

ACCORDANCE WITH AS3959-2018 (CLAUSE 3.8) AND NASH STANDARD STEEL

PROVIDE SARKING TO TILED ROOF WITH PRESTITE TO VALLEYS

OPERABLE WINDOW SASHES (NO REQUIREMENT TO SCREEN BI-

PROVIDE BAL 12.5 RATED ALUMINIUM WINDOWS AND EXTERNAL

SPECIFIED ALUMINIUM FRENCH DOORS HAVE BEEN TESTED TO

SPECIFIED ALUMINIUM WINDOWS HAVE BEEN TESTED TO AS1530.8.1

PROVIDE MERBAU DOOR JAMBS TO ALL EXTERNAL TIMBER DOORS
PROVIDE SPARK ARRESTORS TO EXTERNAL BRICKWORK

PROVIDE COPPER WATER PIPES FROM WATER TANK TO HOUSE

PROVIDE MERBAU TIMBER POSTS AND EXPOSED BEAMS TO PATIO

PROVIDE FLYSCREENS WITH CORROSION RESISTANT MESH TO ALL

AN 'AGGRESSIVE SOIL ENVIRONMENT'. THIS SHALL INCLUDE THE

WATER COMMITMENTS

3 STAR (> 7.5 BUT <= 9 L/MIN) SHOWER HEADS

4 STAR TOILET SUITES 5 STAR KITCHEN TAPS

5 STAR BATHROOM TAPS 185.08 m² TOTAL ROOF AREA

3000 L WATER TANK(S) MINIMUM CAPACITY 158.20 m² MINIMUM ROOF AREA TO TANK(S)

RAINWATER TANK(S) TO BE CONNECTED TO:

- AT LEAST ONE OUTDOOR TAP
- ALL TOILETS
- WASHING MACHINE

NO RETICULATED RECYCLED WATER SUPPLY

190 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

HOT WATER SYSTEM

- GAS CONTINUOUS FLOW - 6 STAR

HEATING SYSTEM

- 1-PHASE REVERSE CYCLE AIR CONDITIONING

EER 3.0 - 3.5 **COOLING SYSTEM**

- 1-PHASE REVERSE CYCLE AIR CONDITIONING

FFR 30 - 35

VENTILATION (EXHAUST FANS)

- AT LEAST ONE BATHROOM:
- DUCTED TO OUTSIDE AIR, MANUAL SWITCH ON/OFF
- KITCHEN RANGEHOOD:
- DUCTED TO OUTSIDE AIR, MANUAL SWITCH ON/OFF
- LAUNDRY:
- DUCTED TO OUTSIDE AIR, MANUAL SWITCH ON/OFF

PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER

- 5 BEDROOMS/STUDY, DEDICATED
- 4 LIVING/DINING AREAS, DEDICATED - KITCHEN, DEDICATED
- ALL BATHROOMS/TOILETS, DEDICATED
- LAUNDRY, DEDICATED
- ALL HALLWAYS, DEDICATED

NATURAL LIGHTING TO

- 3 BATHROOM(S)/TOILET(S)

ALTERNATIVE ENERGY

OTHER

- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY BUILDER
- NO FIXED INDOOR CLOTHESLINE

BASIX CERTIFICATE:

- 1063947S_03 (2020.04.09)

GROSS FLOOR AREA (GREENFIELD / SIMPLIFIED HOUSING CODE)

GROSS FLOOR AREA 209 74

209.74 m²

APPLICATION TO BE ASSESSED IN ACCORDANCE WITH THE NSW HOUSING CODE

88B CHECKED AND ACKNOWLEDGED APPLICABLE CLAUSE(S): 7, 8, 10, 11, 12, 13, 15

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JNO 2020.08.09

UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF MCDONALD JONES COMMUNITIES PTY LT DRAWN 4781 COMPLETE BY MCDONALD JONES 3 CONCRETE TILES TO ROOF JNO 2020.04.07 ADDRESS DP No

SUBURB

_			
	HOUSE DESIGN:	HOUSE CODE:	
	ANGASTON 28	H-CCHANG20DA	
	FACADE DESIGN:	FACADE CODE:	
	COOPER	F-CCHANG20COF	RA
	SHEET TITLE:	SCALES:	SHEET No.:
	COVER SHEET		1 / 19

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951479

4764 4765 4766 4767 4768 4769 4779 4778 RIVERINA 151,547 STREET 4782 4783 4784 4785 4786 4795 4793 4794 300.8m² 4797 RAINE 32.34.805 AVENUE AVENUE RAINE 3*54'20* Pt.1 D.P.1202472 D.P.1202472 –APPROX. LOCATION OF SITE **LOCATION MAP**

PROVIDE SAFETY SCREENS WITH CORROSION RESISTANT MESH AND DIAMOND GRILLE TO EXTERNAL HUNG DOORS

Scomplete

4 BASIX CERTIFICATE JNO 2020.04.09 5 REG. SURVEY + BAL 12.5 JNO 2020.04.24 6 CONSTRUCTION PLANS JNO 2020.06.12

7 INCLUSION UPGRADES

RIVERINA STREET 1240130 POSTCODE: COUNCIL: SECTION No : MARSDEN PARK 2765 **BLACKTOWN CITY** N/A

DRAFTING OFFICE:

ESTIMATOR:

MKL

CONSTRUCTION PLANS

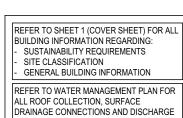
DATE:

JNO

12/06/2020

DRAFTER:

SYDNEY



REFER TO WATER MANAGEMENT PLAN FOR DRAINAGE CONNECTIONS AND DISCHARGE

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS, ALL SURFACE WATER DRAINAGE BY BUILDER

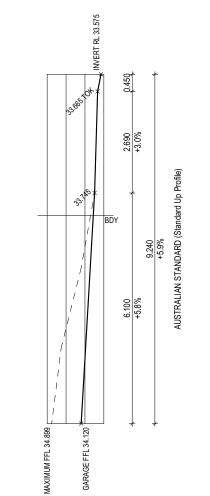
CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. CUSTOME IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'COP' ON PLAN. THE BUILDER PROVIDES CAPACIT FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF CUSTOMER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

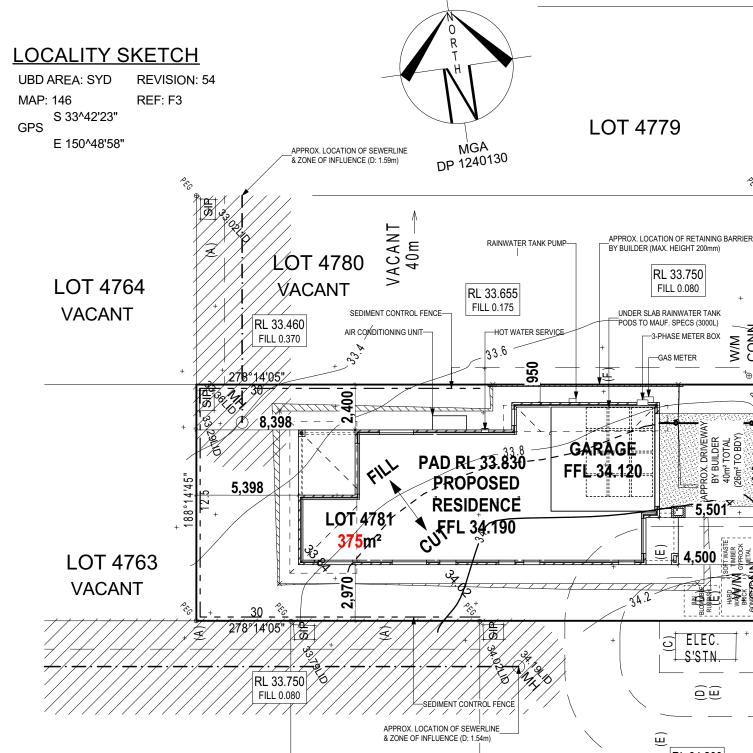
WIND CLASSIFICATION	N2
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO
SURVEY AREA	NEW
LATITUDE	33° 42' 23" S
LONGITUDE	150° 48' 58" E

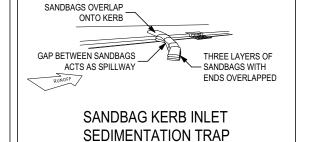
	APPROX. IMPORT/EX	(PORT FILL
ı	CUT VOLUME	16.48m³
	FILL VOLUME	11.58m³
	DIFFERENCE	4.90m³
	TONNAGE: 4 90m3 v 3	25 = 11 03t

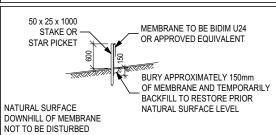
11 TONNES OF EXPORT FILL



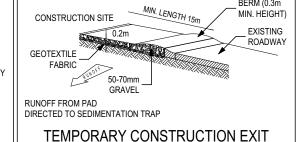








SILT FENCING DETAIL



(A) EASEMENT TO DRAIN WATER 1.5 WIDE (D) RESTRICTION ON THE USE OF LAND No.7 (E) RESTRICTION ON THE USE OF LAND No.8

LOT 4760

VACANT

(C) EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE

LOT 4759

(F) EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE

SEE SHEET 1 (COVER SHEET) FOR DETAILS **CONSTRUCTION PLANS**

AGGRESSIVE SOIL REQUIREMENTS

BAL 12.5 BUSHFIRE REQUIREMENTS

SEE SHEET 1 (COVER SHEET) FOR DETAILS

Cut Volume (m³)

16.48

FOOTPATH TO REMAIN DURING

RL 33.795

RL 33.665

RL 33.745

10P

KERB

BM 4781 ^k RL 33.60 (AHD)

DRIVEWAY CONSTRUCTION

Ш

Ш

S

Pro

CONN. L.158567

ROOM OF THE PARTY OF THE PARTY

ELEC. S'STN.

RL 34.200

CUT 0.370

LOT 4758

VACANT

CONCRETE

Fill Volume (m³)

11.58

DATE:

12/06/2020

ESTIMATOR: DRAFTER: MKL

DRAFTING OFFICE:

SYDNEY

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Ì		DRAWING	ı	DRAWN
ı	3	CONCRETE TILES TO ROOF	JNO	2020.04.07
ı	4	BASIX CERTIFICATE	JNO	2020.04.09
ı	5	REG. SURVEY + BAL 12.5	JNO	2020.04.24
ı	6	CONSTRUCTION PLANS	JNO	2020.06.12
ı	7	INCLUSION UPGRADES	JNO	2020.08.09

_						
ı	CLIENT:			LOT No.:		
7	COMPLETE BY MCDONALD	4781				
9	ADDRESS:			DP No.:		
4	RIVERINA STREET			1240130		
2	SUBURB:	POSTCODE:	COUNCIL:	SECTION No.:		
9	MARSDEN PARK	2765	BLACKTOWN CITY	N/A		

HOUSE DESIGN:	HOUSE CODE:	ı
ANGASTON 28	H-CCHANG20DA	
FACADE DESIGN:	FACADE CODE:	
COOPER	F-CCHANG20COPRA	
SHEET TITLE:	SCALES:	SHEET No.:
SITE PLAN	1:200	2 / 19

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REFER TO SHEET 1 (COVER SHEET) FOR ALL PATIO CEILING HEIGHT TO MATCH BUILDING INFORMATION REGARDING: SUSTAINABILITY REQUIREMENTS ALFRESCO CEILING HEIGHT TO SITE CLASSIFICATION GENERAL BUILDING INFORMATION MATCH DWELLING INTERNAL CDP CHARGED DOWNPIPE DIRECTED TO TANK WET AREAS TO BE SETDOWN 0mm FROM MAIN HOUSE SLAB SDP STANDARD DOWNPIPE DIRECTED TO STOPMMATER STANDARD TO STORMWATER DISCHARGE FIRE RESISTANT PLASTERBOARD TO BE

(W07)

FSSF/FFF1818

 $\square_{\mathscr{J}}$

>⊙•€

STRUCTURAL POST TO SUPPORT BEAM

180, 530, 90

PROVIDE CONDUIT

-PLUMBING STACK

GUEST BED

FRAMED BUI KHEAD TO KITCHEN

FROM WALL (D-FRAM-BULK008)

CUPBOARDS 2287 OFF FFL AND 630

SF/F1809

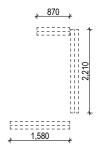
(W04)

PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.7.1.7(c) OF THE NCC.

ALL ALFRESCO SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mn OVER ENTIRE SLAB (DOES NOT APPLY TO VERANDAH / PATIO / PORCH SLABS).



T-BAR DETAIL Scale: 1:100

BAL 12.5 BUSHFIRE REQUIREMENTS SEE SHEET 1 (COVER SHEET) FOR DETAILS

AGGRESSIVE SOIL REQUIREMENTS SEE SHEET 1 (COVER SHEET) FOR DETAILS

CONSTRUCTION PLANS

DATE: 12/06/2020

DRAFTER:

ESTIMATOR:

DRAFTING OFFICE:

SYDNEY

20,460 7,810 1,360 1,360 3,000 ALFRESCO 230, 1,360 1,660 180, 1,360 5,500 230, + 7.710 3.000 240, 90, 1,020 90, 1,040 , 180 1,360

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS: EXHAUST FANS TO BE DUCTED TO EXTERNAL AIRSPACE VIA FACADE OR ROOF IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.8.7 OF THE NCC.

INSTALLED BEHIND COOKTOP

OF GARAGE VENEER WALLS

ENSURE VERTICAL DPC FLASHING TO END

ALL EXTERIOR STEPS AND LANDINGS BY

BUILDER UNLESS NOTED OTHERWISE

SQUARE SET OPENING FRAMES TO BE 2155

ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW & DOOR SCHEDULES

FOR FULL DETAILS OF ALL WINDOWS AND

ALL STAIR TREADS TO PROVIDE A MINIMUM

SLIP RESISTANCE TO MEET NCC 3.9.1

REQUIREMENTS

350 x 350mm BRICK PIER WITH

EZI POST TO CORE

EDGE OF RAISED CEILING OVER

ALFRÈSCO

HOME

THEATRE

STRUCTURAL POST TO SUPPORT BEAM

RECESS (D-FRAM-ELEC003)

TANK WATER

FSSF/FFF1818_

FACE BRICK FINISH AND 75 x 75mn

3,450

3,680

ALL GROUND FLOOR BULKHEAD AND

KORDAN TERMITE BARRIER TO BE INSTALLED TO ALL EXTERNAL WALLS IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.1.4 OF THE NCC.

FLOOR PLAN LEGEND

HOB SPOUT / WALL SPOUT FACE BRICK / COMMON BRICK

HEBEL

SOUND INSULATION BRICK ARTICULATION JOINT

DENOTES DRAWER SIDE EXHAUST FAN

LOAD BEARING WALL L.B.W

> THIS DOOR OPENS FIRST SMOKE ALARM

LIFT OFF HINGE

WATER POINT FRIDGE WATER POINT

GAS BAYONET

ALL DIMENSIONS ARE FRAME DIMENSIONS

20,460

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	3	CONCRETE TILES TO ROOF	JNO	2020.04.07
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ſ	5	REG. SURVEY + BAL 12.5	JNO	2020.04.24
ſ	6	CONSTRUCTION PLANS	JNO	2020.06.12
ſ	7	INCLUSION UPGRADES	JNO	2020.08.09

	CLIENT:			LOT No.:
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9	MARSDEN PARK	2765	BLACKTOWN CITY	N/A

HOUSE DESIGN:	HOUSE CODE:	
ANGASTON 28	H-CCHANG20DA	
FACADE DESIGN:	FACADE CODE:	
COOPER	F-CCHANG20COPRA	
SHEET TITLE:	SCALES:	SHEET No.:
GROUND FLOOR PLAN	1:100	4 / 19

350 x 590mm FACE BRICK PIER

WITH 75mm EZI POST TO CORE STRUCTURAL POST

891

★ GAS METER

S SETDOWN

230,

90, 1,560 240, 1,710 360,

240, 710 , 1,360

590 , 1,710 PATIO 360,

1,710 360

(W01)

YARD TAP

3-PHASE METER BOX-UNDER SLAB RAINWATER TANK_____3

PODS TO MANUF. SPECS (3000L)

GARAGE

PROVIDE ADDITIONAL WALL

DRYER (D-FRAM-ELEC006)

FRIDGE WATER POINT

---(-) RETREAT

6.530

GOINGS = 16 @ 250

-PLUMBING STACK

1000 SILL 2155 HEAD 1,500

TANK PLIME

TO SUPPORT BEAM

<u>LDRY</u>

SF/F1809 CDP A0609

180, 1,390 180,

180, 1,100 90,

850 ,470 , 850 ,

(W03)

KITCHEN G-CABI-KIT010

KITCHEN 2287 BULKHEAD TO

TO SUPPORT BEAM FAMILY/

LIVING

4.300

2,270

18,390

18,390

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REFER TO SHEET 1 (COVER SHEET) FOR ALL | BALCONY CEILING HEIGHT TO BUILDING INFORMATION REGARDING:

SUSTAINABILITY REQUIREMENTS SITE CLASSIFICATION GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPIPE DIRECTED TO TANK

STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ENSURE VERTICAL DPC FLASHING TO END OF GARAGE VENEER WALLS

ALL EXTERIOR STEPS AND LANDINGS BY BUILDER UNLESS NOTED OTHERWISE

ALL FIRST FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW & DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND

ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC 3.9.1 REQUIREMENTS

FIRST FLOOR WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY NCC D2.24 (VOLUME ONE) AND/OR NCC 3.9.2.5 (VOLUM

PROVIDE FLOOR WASTE AND OVERFLOW SPITTERS TO UPPER FLOOR TANKED BALCONIES WHERE APPLICABLE AS PER:

G-FACA-BALC02 (PFC/BRICKWORK) G-FRAM-BALC001 (LIGHTWEIGHT CLADDING)

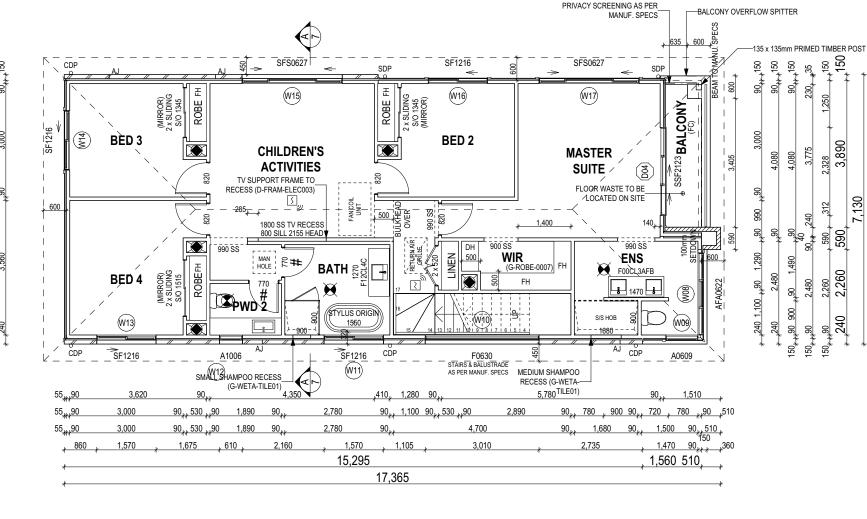
UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



300

1,360

17,365 7,550 1,510 * 645 * 1,235 275 230 4,705 1,325 90 1,005 200 275 90,, 530,,90 90,, 530,,90 1,510



BAL 12.5 BUSHFIRE REQUIREMENTS SEE SHEET 1 (COVER SHEET) FOR DETAILS

PROVIDE AND INSTALL SINGLE PHASE REVERSE

CYCLE AIR CONDITIONING SYSTEM. NUMBER AND

SUBJECT TO TRUSS LAYOUT AND ANY OTHER

CONSTRUCTION CONSTRAINTS.

POSITIONING OF OUTLETS AND THE FINAL LOCATION

OF THE RETURN AIR GRILLE WILL BE DETERMINED ON

SITE BY THE AIR CONDITIONING CONTRACTOR AND IS

FRAME MANUFACTURER TO PROVIDE CLEARANCE

FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE

THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE

NON-COMBUSTIBLE IN ACCORDANCE WITH THE

REQUIREMENTS OF PART 3.7.1.7(c) OF THE NCC.

CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO

OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mn

OVER ENTIRE SLAB (DOES NOT APPLY TO VERANDAH / PATIO / PORCH SLABS).

ALL ALFRESCO SLABS TO BE GRADED BY

CONSTRUCTION PLANS

DATE: 12/06/2020

DRAFTER:

ESTIMATOR: MKL

DRAFTING OFFICE:

SYDNEY

ALL DIMENSIONS ARE FRAME DIMENSIONS

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_			
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	ANGASTON 28	H-CCHANG20DA	
ı	FACADE DESIGN:	FACADE CODE:	
	COOPER	F-CCHANG20COPRA	
	SHEET TITLE:	SCALES:	SHEET No.:
	FIRST FLOOR PLAN	1:100	5 / 19

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DENOTES DRAWER SIDE EXHAUST FAN LOAD BEARING WALL

FLOOR PLAN LEGEND

SOUND INSULATION

HOB SPOUT / WALL SPOUT

FACE BRICK / COMMON BRICK

BRICK ARTICULATION JOINT

#

L.B.W THIS DOOR OPENS FIRST

SMOKE ALARM

LIFT OFF HINGE

WATER POINT

FRIDGE WATER POINT GAS BAYONET

1, 2 ASSUME LOOKING FROM INSIDE

0,3 ASSUME LOOKING FROM OUTS	IDE 1, 2 ASSUME LOOKING	G FROM INSIDE									
ID CODE°	ROOM	HEIGHT	WIDTH PI	ERIMETER	AREA FRAME (m²) TYPE	BAL RATIN	IG SILL TYPE	ORIENT.	GLAZING AREA (m²)	ADDITIONAL INFORMATION ³	
W01 SF/F1809	RETREAT	1,800	850	5,300	1.53 ALUMINIUM	N/A	SNAP HEADER	S	1.24 CLEAR	BP 600	
W02 A0609	RETREAT	600	850	2,900	0.51 ALUMINIUM	N/A	SNAP HEADER	S	0.34 CLEAR		
W03 SF/F1809	FAMILY / LIVING	1,800	850	5,300	1.53 ALUMINIUM	N/A	SNAP HEADER	S	1.24 CLEAR	BP 600	
W04 SF/F1809	FAMILY / LIVING	1,800	850	5,300	1.53 ALUMINIUM	N/A	SNAP HEADER	S	1.24 CLEAR	BP 600	
W05 SF1218	GUEST BED	1,200	1,810	6,020	2.17 ALUMINIUM	N/A	SNAP HEADER	S	1.91 CLEAR		
W06 FSSF/FFF1818	HOME THEATRE	1,800	1,810	7,220	3.26 ALUMINIUM	N/A	SNAP HEADER	S	2.66 CLEAR	BP 600, MP 453-905/0	
W07 FSSF/FFF1818	DINING	1,800	1,810	7,220	3.26 ALUMINIUM	N/A	SNAP HEADER	N	2.66 CLEAR	BP 600, MP 453-905/0	
W08 AFA0622	ENS	600	2,170	5,540	1.30 ALUMINIUM	N/A	NONE	E	0.91 OBSCURE, TOUGHENED	MP 723-723, CORNER JOINING (POST & COVERPLATE)	
W09 A0609	ENS	600	850	2,900	0.51 ALUMINIUM	N/A	NONE	S	0.34 OBSCURE, TOUGHENED	CORNER JOINING (POST & COVERPLATE)	
W10 F0630	STAIRWELL	600	3,010	7,220	1.81 ALUMINIUM	N/A	SNAP HEADER	S	1.55 CLEAR		
W11 SF1216	BATH	1,200	1,570	5,540	1.88 ALUMINIUM	N/A	SNAP HEADER	S	1.64 OBSCURE, TOUGHENED		
W12 A1006	PWD 2	1,030	610	3,280	0.63 ALUMINIUM	N/A	SNAP HEADER	S	0.44 OBSCURE, TOUGHENED		
W13 SF1216	BED 4	1,200	1,570	5,540	1.88 ALUMINIUM	N/A	SNAP HEADER	S	1.64 CLEAR		
W14 SF1216	BED 3	1,200	1,570	5,540	1.88 ALUMINIUM	N/A	NONE	W	1.64 CLEAR		
W15 SFS0627	CHILDREN'S ACTIVITIES	600	2,650	6,500	1.59 ALUMINIUM	N/A	SNAP HEADER	N	1.32 CLEAR		
W16 SF1216	BED 2	1,200	1,570	5,540	1.88 ALUMINIUM	N/A	NONE	N	1.64 CLEAR		
W17 SFS0627	MASTER SUITE	600	2,650	6,500	1.59 ALUMINIUM	N/A	NONE	N	1.32 CLEAR		
					28.74				23.73		

EXTERIOR DOOR SCHEDULE

0,1 ASSUME LOOKING FROM OUTSIDE

ID CODE°	ROOM	HEIGHT WIDTH	AREA FRAME (m²) TYPE	BAL RATING SILL	YPE OR	ENT. GLAZING	DOOR TYPE ADDITIONAL INFORMATION ¹
D01 1200	RETREAT	2,106 1,867	3.93 TIMBER	N/A SNAP	HEADER	E DOOR(S): CLEAR - SIDELIGHT(S): CLEAR	SWINGING
D02 FSS2127	DINING	2,100 2,688	5.64 ALUMINIUM	N/A SNAP	HEADER	W CLEAR, TOUGHENED	STACKER
D03 820	LDRY	2,106 867	1.83 TIMBER	N/A SNAP	HEADER	W DOOR(S): CLEAR, TOUGHENED - SIDELIGHT(S): N/A	SWINGING
D04 SSF2123	MASTER SUITE	2 100 2 328	4 89 ALUMINIUM	N/A SNAP		E CLEAR, TOUGHENED	STACKER

16.29 m²

INTERIOR DOOR SCHEDULE

QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING	ADDITIONAL INFORMATION
1	1040 SS	SQUARE SET OPENING	2,155	1,040	N/A	
2	1100 SS	SQUARE SET OPENING	2,155	1,100	N/A	
1	1220 SS	SQUARE SET OPENING	2,155	1,220	N/A	
1	2 x 520	SWINGING	2,040	1,040	N/A	
1	2 x SLIDING	SLIDING	2,040	1,630	N/A	SELECT
2	2 x SLIDING	SLIDING	2,040	1,330	N/A	SELECT
1	2 x SLIDING	SLIDING	2,040	1,500	N/A	SELECT
1	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES
2	770	SWINGING	2,040	770	N/A	LIFT-OFF HINGES
7	820	SWINGING	2,040	820	N/A	
1	820	SWINGING	2,040	820	TRANSLUCENT	SELECT
1	900 SS	SQUARE SET OPENING	2,155	900	N/A	
3	990 SS	SQUARE SET OPENING	2,155	990	N/A	

PICTURE / TV RECESS & SQUARE SET WINDOW SCHEDULE

QIT	ITPE	HEIGHT	WIDIH	AREA (M²)
1	PICT RECESS	1,155	1,500	1.73
1	TV RECESS	1,355	1,800	2.44
1	TV RECESS	1,355	1,500	2.03

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING: SUSTAINABILITY REQUIREMENTS - SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

CONSTRUCTION PLANS

DATE: 12/06/2020

DRAFTER:

ESTIMATOR:

DRAFTING OFFICE: SYDNEY

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Ì		DRAWING		DRAWN
ı	3	CONCRETE TILES TO ROOF	JNO	2020.04.07
	4	BASIX CERTIFICATE	JNO	2020.04.09
	5	REG. SURVEY + BAL 12.5	JNO	2020.04.24
	6	CONSTRUCTION PLANS	JNO	2020.06.12
ı	7	INCLUSION LIDORADES	INIO	2020 00 00

	CLIENT:	LOT No.:						
.07	COMPLETE BY MCDONALD	4781						
.09	ADDRESS:	DP No.:						
.24	RIVERINA STREET							
.12	SUBURB:	POSTCODE:	COUNCIL:	SECTION No.:				
.09	MARSDEN PARK	N/A						

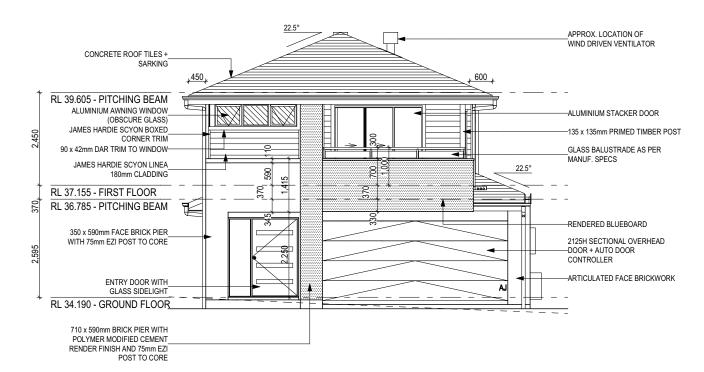
HOUSE DESIGN:	HOUSE CODE:		
ANGASTON 28	H-CCHANG20DA		
FACADE DESIGN: FACADE CODE:			
COOPER	F-CCHANG20COPRA		
SHEET TITLE:	SCALES:	SHEET No.:	
WINDOW & DOOR SCHEDULES		6 / 19	

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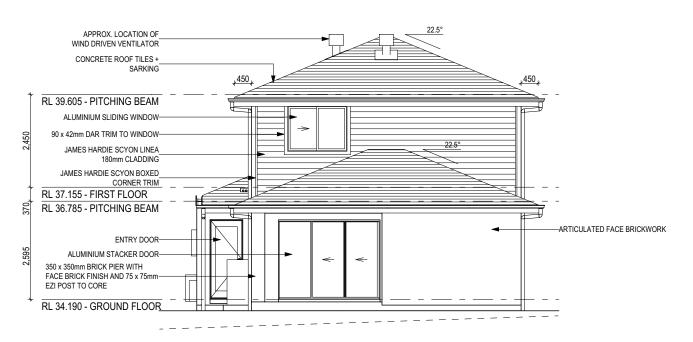
951479

SH = SNAP HEADER SILL

FIRST FLOOR WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY NCC D2.24 (VOLUME ONE) AND/OR NCC 3.9.2.5 (VOLUME TWO)



FRONT ELEVATION - BAL 12.5 Scale: 1:100



REAR ELEVATION - BAL 12.5 Scale: 1:100

GLASS TYPE LEGEND

GLASS TYPE LEGEND

CLEAR OBSCURE ACOUSTIC LOW-E TONED

WINDOW TYPE LEGEND

AWNING DOUBLE FIXED LOUVRE SLIDING

R5.0 CEILING BATTS (EXCLUDING GARAGE)
R2.0 BATTS TO FLOOR JOISTS SPACE ABOVE GARAGE REFLECTIVE WALL WRAP TO EXTERNAL WALLS SARKING UNDER ROOFING -STEEL FRAME & TRUSSES R2.0 BATTS TO INTERNAL WALLS OF LDRY / PWD / BATH CONCRETE ROOF TILES + RL 39.605 - PITCHING BEAM FC SHEETING-CHILDREN'S ACTIVITIES **BATH** RL 37.155 - FIRST FLOOR RL 36.785 - PITCHING BEAM PLASTERBOARD CEILING LININGS **FAMILY/LIVING KITCHEN** PLASTERBOARD INTERNAL WALL RL 34.190 - GROUND FLOOR SEE ENGINEERING PLANS FOR SLAB AND FOOTINGS DETAILS

SECTION A-A

Scale: 1:100

INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC AND

RELEVANT AUSTRALIAN STANDARDS:
- R2.0 BATTS TO EXTERNAL WALLS (EXCLUDING GARAGE)

BAL 12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

AGGRESSIVE SOIL REQUIREMENTS

SEE SHEET 1 (COVER SHEET) FOR DETAILS

CONSTRUCTION PLANS

DATE:						
12/06/2020						
DRAFTER:	ESTIMATOR:					
JNO	MKL					
DRAFTING OFFICE:						
SYDNEY						

ALL CUT/FILL BATTERS ARE 1:1 MAX GRADIEN 2020 MCDONALD JONES COMMUNITIES PTY LTD (ACN 603 418 364). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). MCDONALD JONES COMMUNITIES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF MCDONALD JONES COMMUNITIES PTY LTD.



	ıΓ		DRAWING	ı	DRAWN
ı		3	CONCRETE TILES TO ROOF	JNO	2020.04.0
		4	BASIX CERTIFICATE	JNO	2020.04.0
		5	REG. SURVEY + BAL 12.5	JNO	2020.04.2
		6	CONSTRUCTION PLANS	JNO	2020.06.1
ı	ΙГ	7	INCLUSION UPGRADES	JNO	2020.08.0

T	CLIENT:	LOT No.:		
7	COMPLETE BY MCDONALD	4781		
19	ADDRESS:	DP No.:		
4	RIVERINA STREET	1240130		
2	SUBURB:	POSTCODE:	COUNCIL:	SECTION No.:
9	MARSDEN PARK	2765	BLACKTOWN CITY	N/A

HOUSE DESIGN:	HOUSE CODE:		
ANGASTON 28	H-CCHANG20DA		
FACADE DESIGN: FACADE CODE:			
COOPER	F-CCHANG20COPRA		
SHEET TITLE:	SCALES:	SHEET No.:	
ELEVATIONS / SECTION	1:100	7 / 19	

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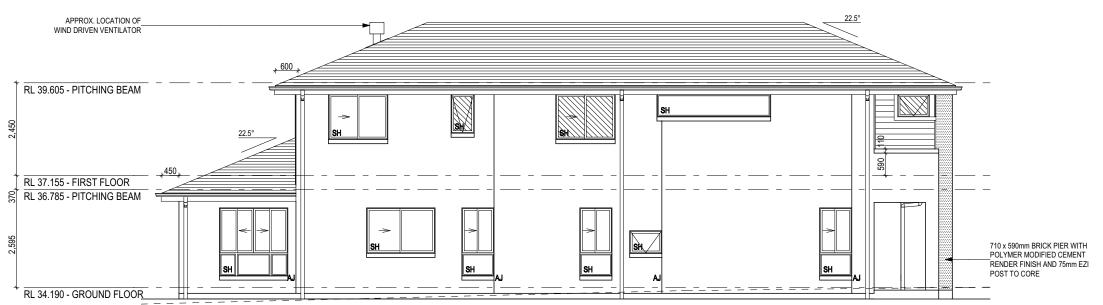
Template Version: 22.000

JT AS

REFER TO SHEET 1 (COVER SHEET) FOR ALL
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

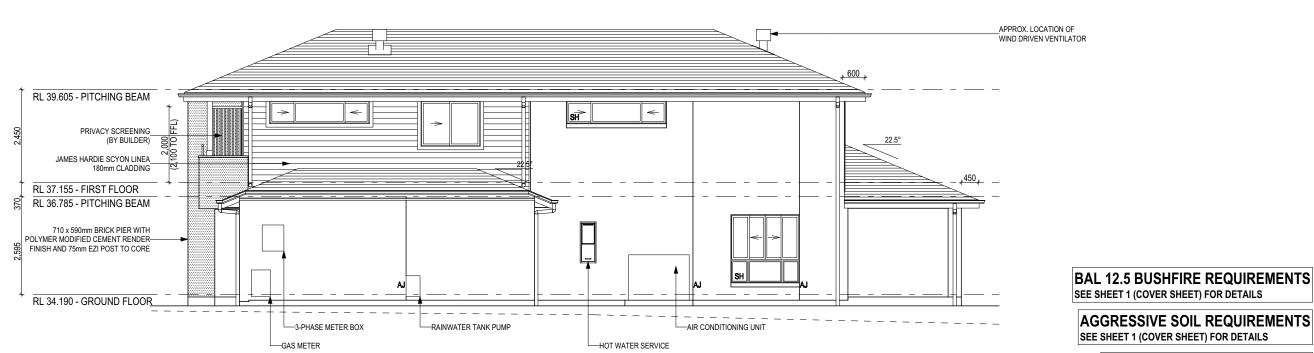
SH = SNAP HEADER SILL

FIRST FLOOR WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY NCC D2.24 (VOLUME ONE) AND/OR NCC 3.9.2.5 (VOLUME TWO)



LEFT ELEVATION - BAL 12.5

Scale: 1:100



RIGHT ELEVATION - BAL 12.5 Scale: 1:100

GLASS TYPE LEGEND

CLEAR OBSCURE ACOUSTIC LOW-E TONED

WINDOW TYPE LEGEND

WINDOW TYPE LEGEND

AWNING DOUBLE HUNG FIXED LOUVRE SLIDING

DATE:
12/06/2020
DRAFTER: ESTIMATOR:

JNO MKL
DRAFTING OFFICE:

SYDNEY

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	ı		DRAWING	ı	DRAWN
l		3	CONCRETE TILES TO ROOF	JNO	2020.04.0
		4	BASIX CERTIFICATE	JNO	2020.04.0
		5	REG. SURVEY + BAL 12.5	JNO	2020.04.2
		6	CONSTRUCTION PLANS	JNO	2020.06.1
		7	INCLUSION UPGRADES	JNO	2020.08.0

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3.12	SUBURB:	POSTCODE:	COUNCIL:	SECTION No.:
3.09	MARSDEN PARK	2765	BLACKTOWN CITY	N/A

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	SHEET TITLE:	SCALES:	SHEET No.:
	ELEVATIONS	1:100	8 / 19

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