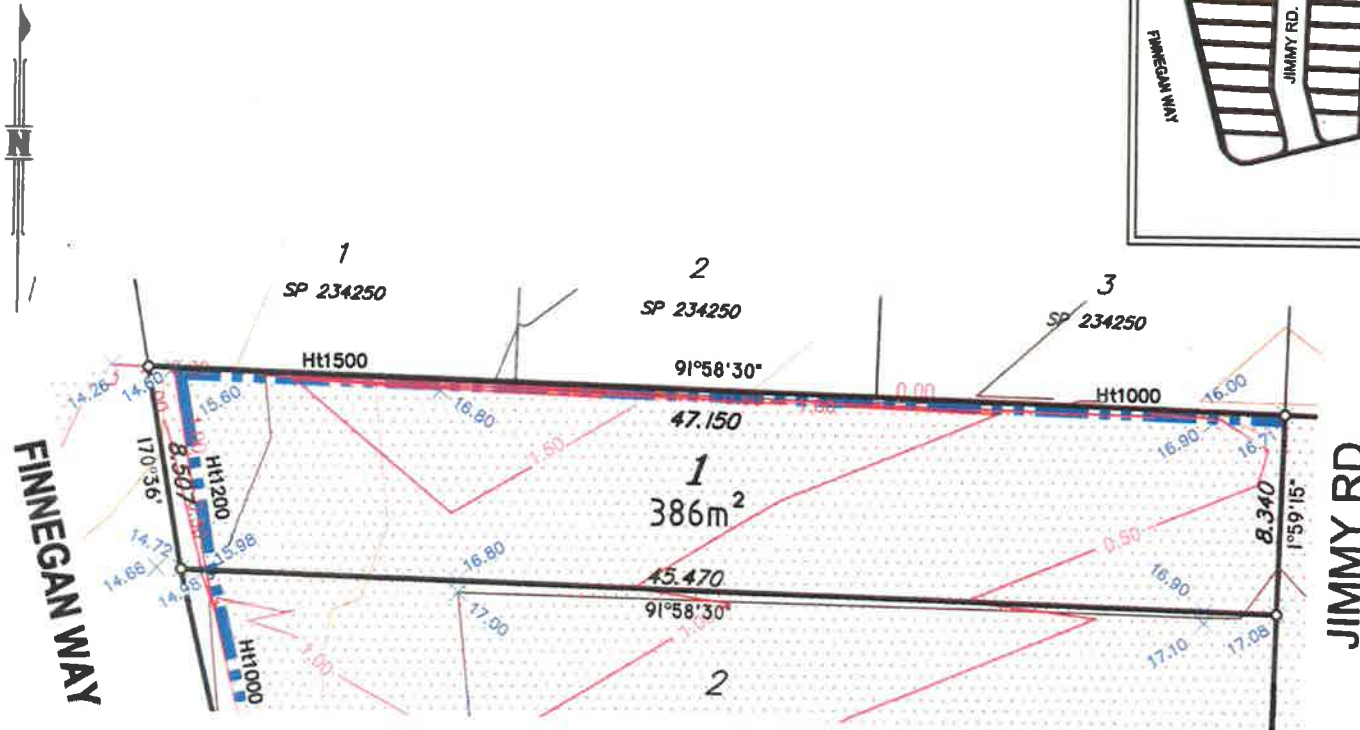
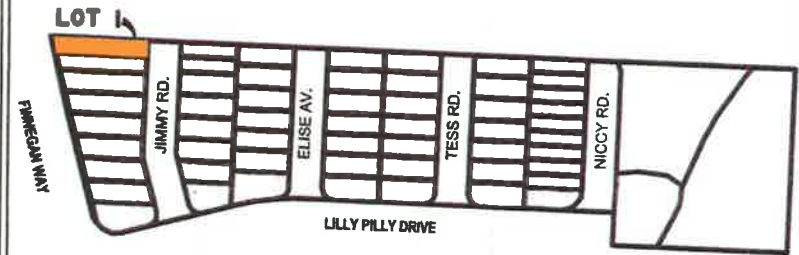


Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP (Not to Scale)



FEATURE LEGEND

- 1.5 — Fill Depth (0.5m interval)
- 1.0 — Final Contours (0.5m interval)
- Retaining wall (Indicative position only)
- Fill
- +76.50 — Design levels
- Ht2000 — Wall heights (mm)

NOTES:

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF ACCOMPANYING A SALES CONTRACT AND MUST NOT BE USED FOR ANY OTHER PURPOSE.

0 5 10 15 20 25m



Email: 'mail@adcoqld.com.au' Web: adcoqld.com.au

Brisbane: Level 1/55 Douglas Street, Milton
Phone: (07) 3333 1985, Facsimile: (07) 3333 1986

Gold Coast: Suite 212 Lakeside Corporate Space
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Rockhampton: 7/87 East Street, Rockhampton
Phone: (07) 4199 6317, Facsimile: (07) 4922 6608

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2776

Disclosure Statement

1. This plan shows details of Proposed Lot 1 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

30.5.2019

DISCLOSURE PLAN

PROJECT Lot 1,
#43 Finnegan Way, Coomera, Stage 1
Proposed Subdivision of Lot 1 on
SP250201 & Lot 900 on SP250193

REVISION

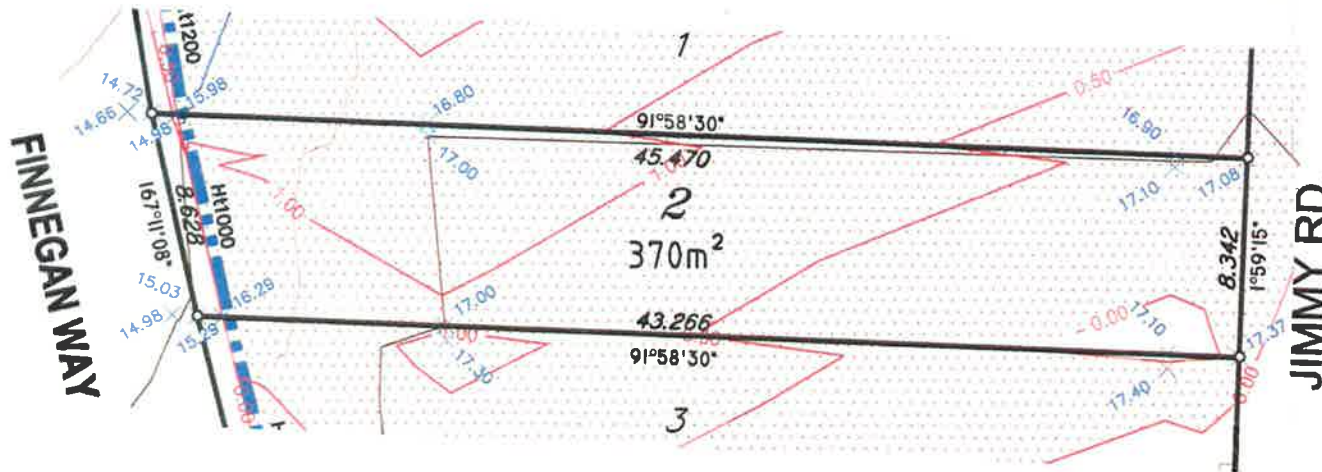
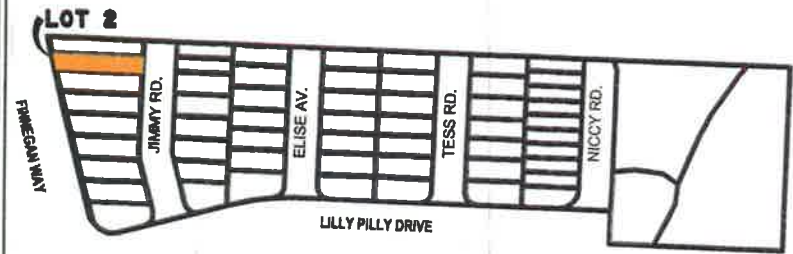
PROJECT No. 7040.36_DIS	SCALE 1:300@A4	SHEET 1 of 55	DATE 30/05/2019
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Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP (Not to Scale)



FEATURE LEGEND

- 1.5 Fill Depth (0.5m Interval)
- 1.0 Final Contours (0.5m Interval)
- Retaining wall (Indicative position only)
- Fill
- Design levels
- Ht2000 Well heights (mm)

NOTES:

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF ACCOMPANYING A SALES CONTRACT AND MUST NOT BE USED FOR ANY OTHER PURPOSE.

0 5 10 15 20 25m



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Gold Coast: Suite 212 Lakeside Corporate Space
Phone: (07) 5593 4099, Facsimile: (07) 5593 8066

Rockhampton: 7/67 East Street, Rockhampton
Phone: (07) 4199 6317, Facsimile: (07) 4922 6906

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2776

Disclosure Statement

1. This plan shows details of Proposed Lot 2 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

30-5-2019

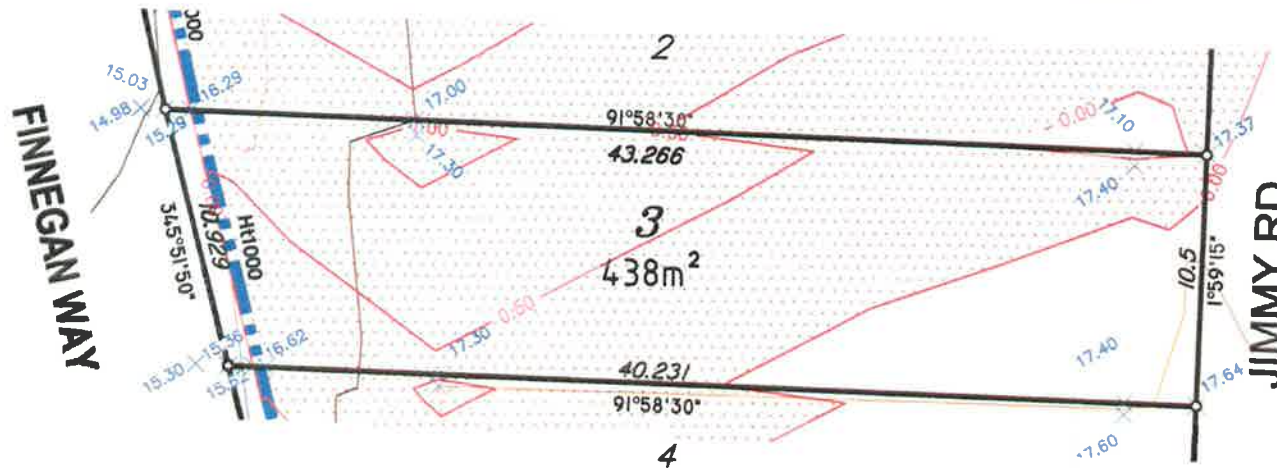
DISCLOSURE PLAN

PROJECT		Lot 2, #43 Finnegan Way, Coomera, Stage 1 Proposed Subdivision of Lot 1 on SP250201 & Lot 900 on SP250193		REVISION
PROJECT No.	SCALE	SHEET	DATE	
7040.36_DIS	1:300@A4	2 of 55	30/05/2019	

Compaction Statement

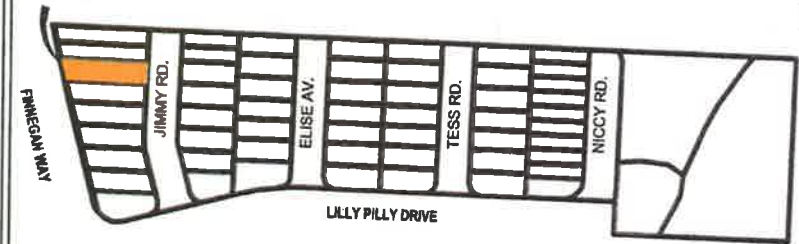
The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.



LOCALITY MAP (Not to Scale)

LOT 3



FEATURE LEGEND

- 1.5 ——— Fill Depth (0.5m Interval)
- 1.0 ——— Final Contours (0.5m Interval)
- — — — — Retaining wall (Indicative position only)
- Fill
- +76.50 Design levels
- Ht2000 Wall heights (mm)

NOTES:

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF ACCOMPANYING A SALES CONTRACT AND MUST NOT BE USED FOR ANY OTHER PURPOSE.



Email: 'mail@adocqld.com.au' Web: adocqld.com.au

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Rockhampton: 7/67 East Street, Rockhampton
Phone: (07) 4199 6317, Facsimile: (07) 4922 6908

Gold Coast: Suite 212 Lakeside Corporate Space
Phone: (07) 5583 4099, Facsimile: (07) 5593 8066

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 3 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

 30.5.2019

DISCLOSURE PLAN

PROJECT Lot 3, #43 Finnegan Way, Coomera, Stage 1 Proposed Subdivision of Lot 1 on SP250201 & Lot 900 on SP250193			
PROJECT No. 7040.36_DIS	SCALE 1:300@A4	SHEET 3 of 55	DATE 30/05/2019

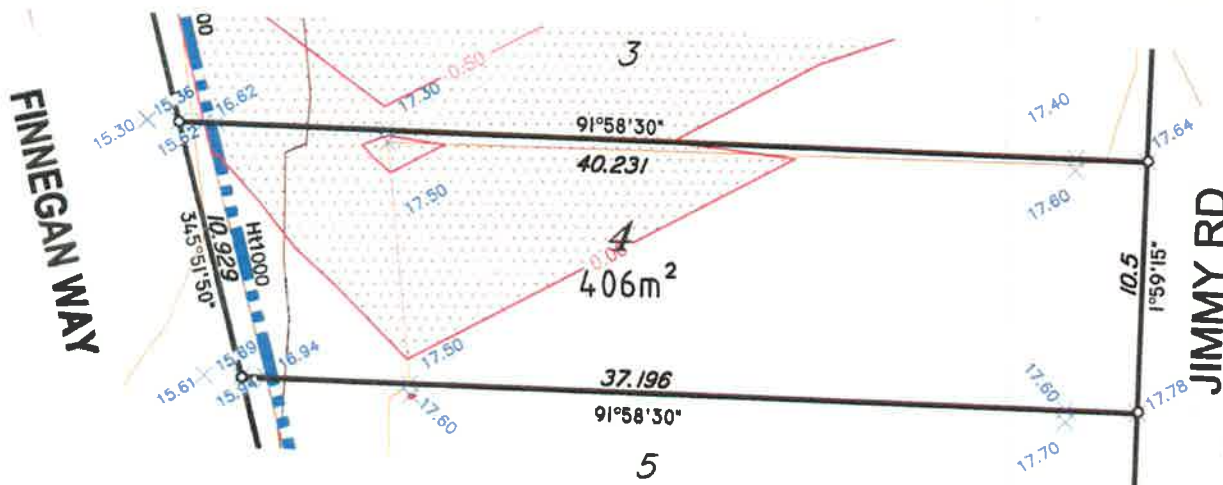
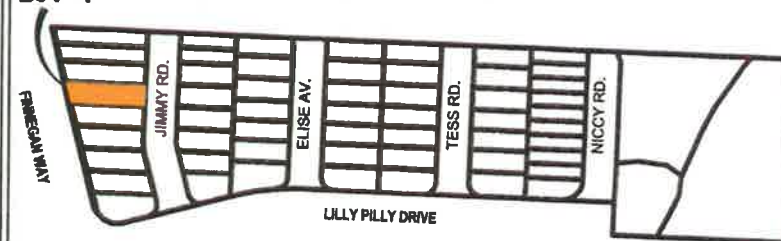
Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP (Not to Scale)

LOT 4



FEATURE LEGEND

- 1.5 ——— Fill Depth (0.5m Interval)
- 1.0 ——— Final Contours (0.5m Interval)
- — — Retaining wall (Indicative position only)
- Fill
- + 76.50 Design levels
- Ht2000 Well heights (mm)

NOTES:

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF ACCOMPANYING A SALES CONTRACT AND MUST NOT BE USED FOR ANY OTHER PURPOSE.



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Gold Coast: Suite 212 Lakeside Corporate Spaze
Phone: (07) 5593 4099, Facsimile: (07) 5593 6006

Rockhampton: 7/67 East Street, Rockhampton
Phone: (07) 4199 8317, Facsimile: (07) 4922 8908

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 4 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

30.5.2019

DISCLOSURE PLAN

PROJECT Lot 4,
#43 Finnegan Way, Coomera, Stage 1
Proposed Subdivision of Lot 1 on
SP250201 & Lot 900 on SP250193

REVISION

PROJECT No.	SCALE	SHEET	DATE
7040.36_DIS	1:300@A4	4 of 55	30/05/2019

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

1.5

1.0

Fill Depth (0.5m interval)

Final Contours (0.5m interval)

Retaining wall (Indicative position only)

FIN

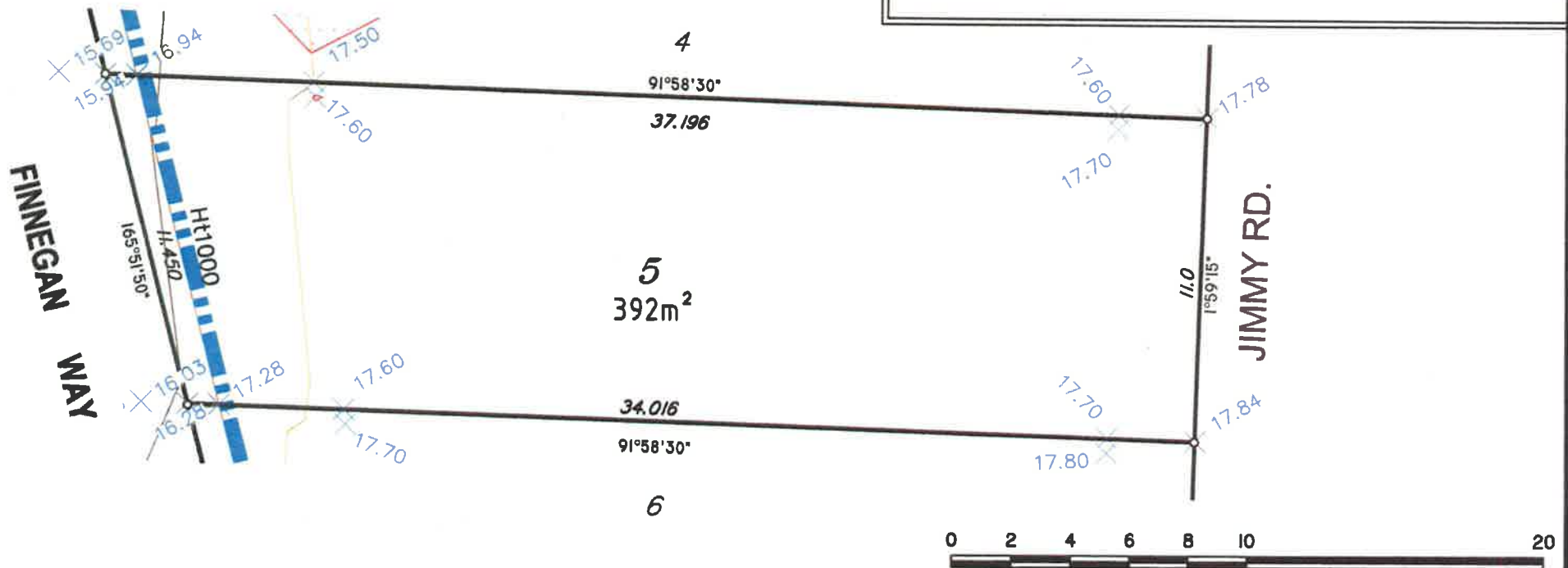
+76.50

Ht2000

Design levels

Wall heights (mm)

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF ACCOMPANYING A SALES CONTRACT AND MUST NOT BE USED FOR ANY OTHER PURPOSE.



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DEVELOPMENT
CONSULTANTS

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

1. This plan shows details of Proposed Lot 5 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

Editor:

30.5.2019

PROJECT	Lot 5, #43 Finnegan Way, Coomera, Stage 1 Proposed Subdivision of Lot 1 on SP250201 & Lot 900 on SP250193	REVISION
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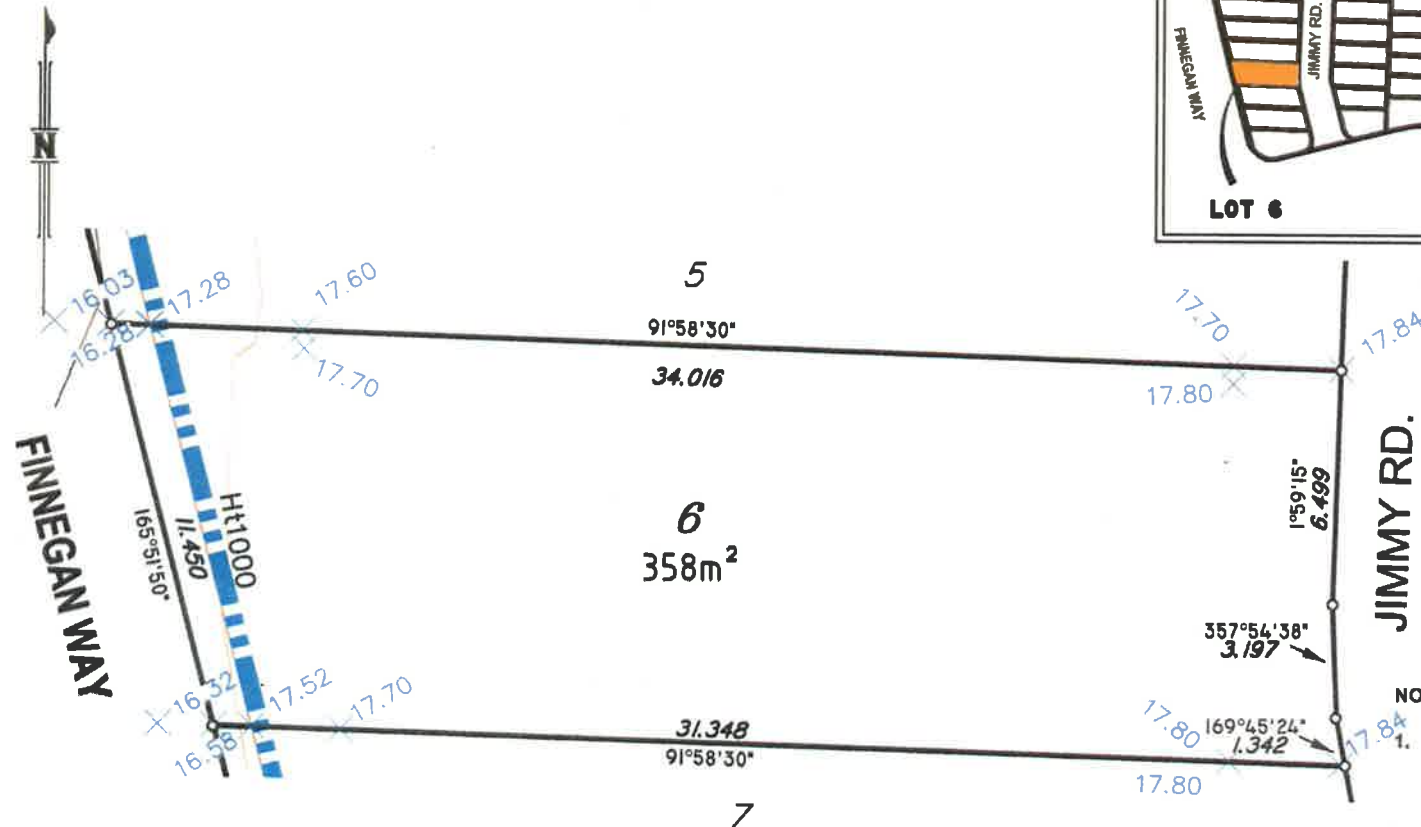
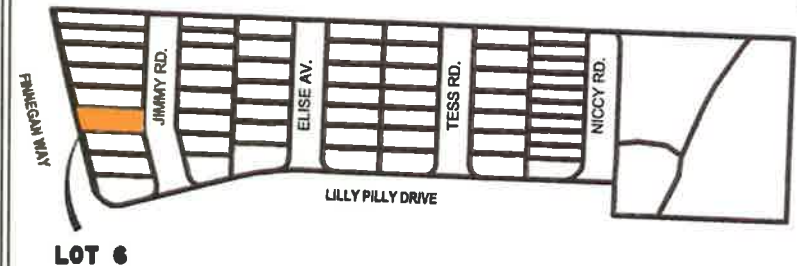
PROJECT No. 7040.36 DIS	SCALE 1:200@A4	SHEET 5 of 55	DATE 30/05/2019
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Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP (Not to Scale)



FEATURE LEGEND

- 1.5 Fill Depth (0.5m Interval)
- 1.0 Final Contours (0.5m Interval)
- Retaining wall (Indicative position only)
- Fill
- Design levels
- Wall heights (mm)

NOTES:

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Phone: (07) 5593 4000, Facsimile: (07) 5593 6006

Rockhampton: 7/67 East Street, Rockhampton
Phone: (07) 4199 8317, Facsimile: (07) 4922 6906

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

- This plan shows details of Proposed Lot 6 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
- For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

DISCLOSURE PLAN

PROJECT Lot 6,
#43 Finnegan Way, Coomera, Stage 1
Proposed Subdivision of Lot 1 on
SP250201 & Lot 900 on SP250193

REVISION

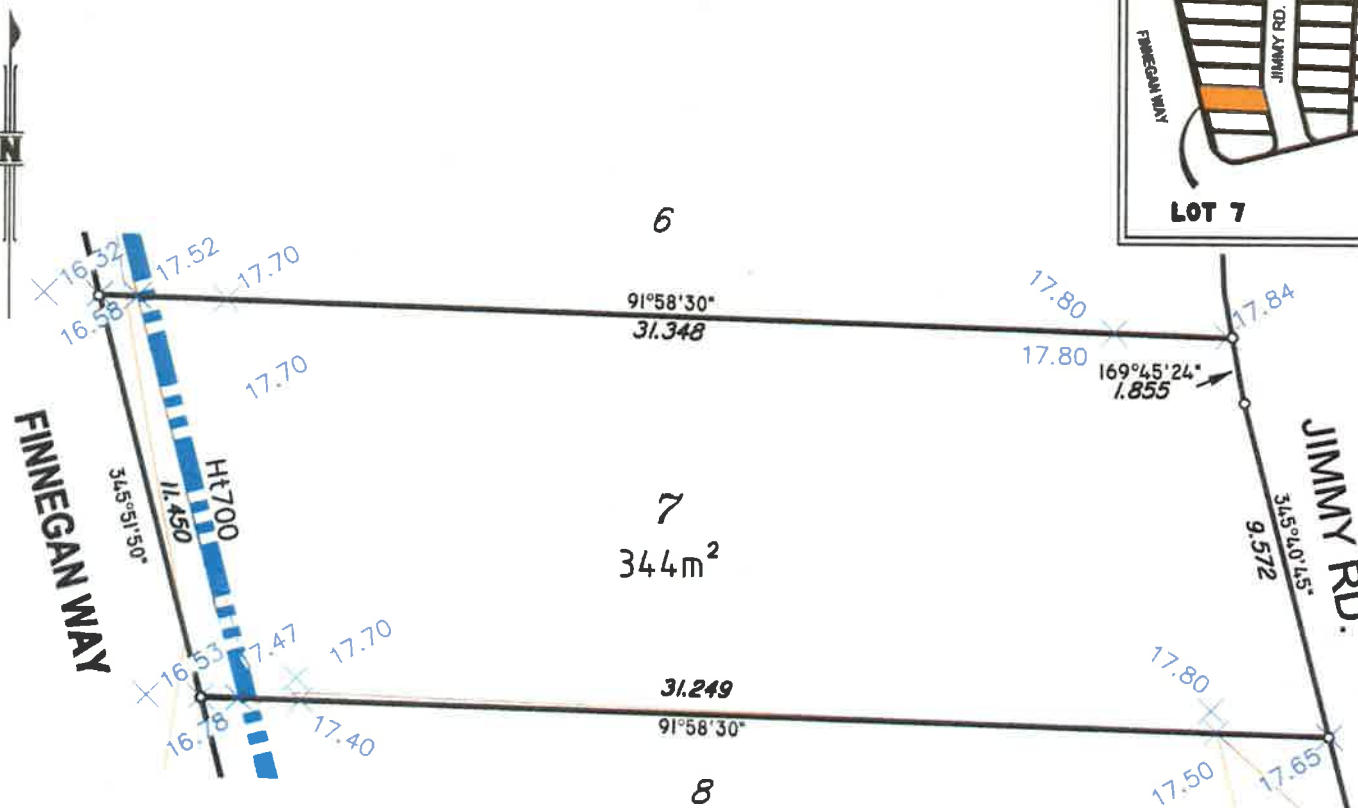
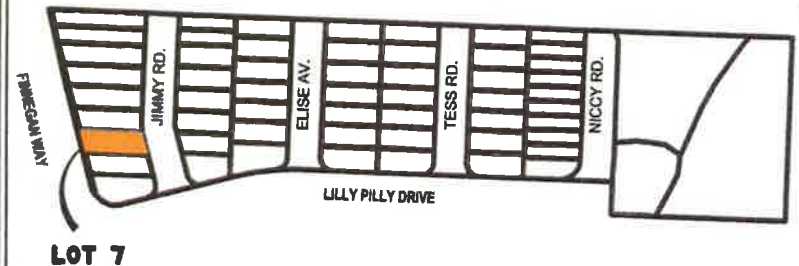
PROJECT No. 7040.36_DIS	SCALE 1:200@A4	SHEET 6 of 55	DATE 30/05/2019
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Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP (Not to Scale)



FEATURE LEGEND

- 1.5 Fill Depth (0.5m Interval)
- 1.0 Final Contours (0.5m Interval)
- Retaining wall (Indicative position only)
- Fill
- Design levels
- Wall heights (mm)

NOTES:

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Phone: (07) 5593 4089, Facsimile: (07) 5593 8086

Rockhampton: 7/87 East Street, Rockhampton
Phone: (07) 4198 6317, Facsimile: (07) 4822 6908

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 7 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

 30.5.2019

DISCLOSURE PLAN

PROJECT Lot 7,
#43 Finnegan Way, Coomera, Stage 1
Proposed Subdivision of Lot 1 on SP250201 & Lot 900 on SP250193

REVISION

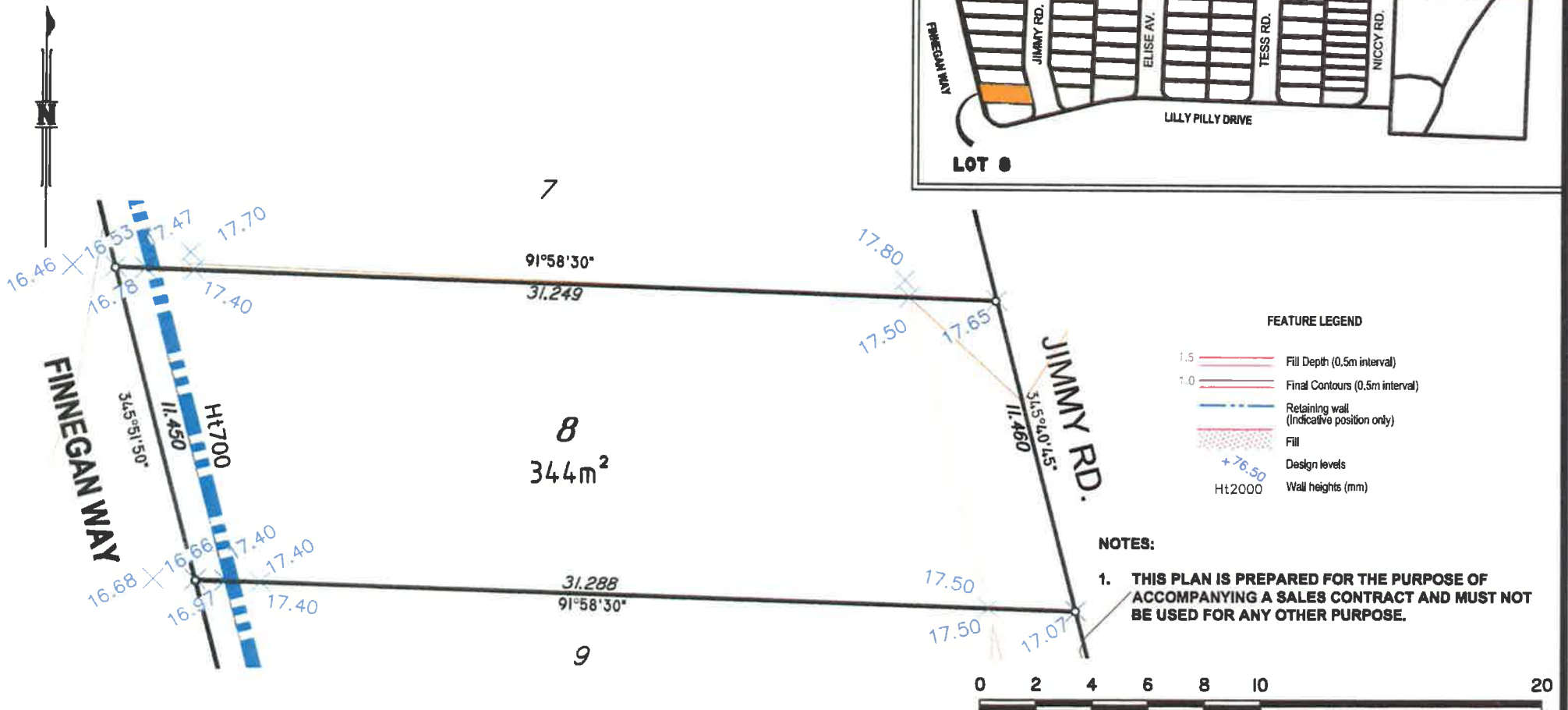
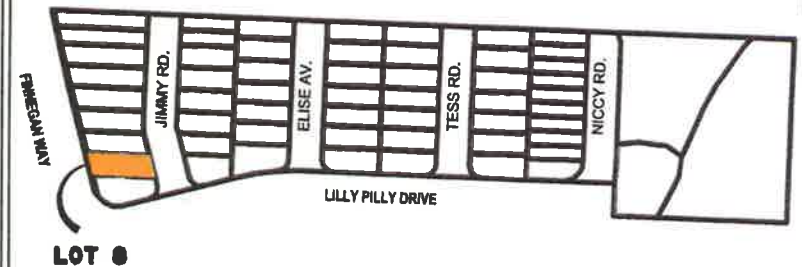
PROJECT No.	SCALE	SHEET	DATE
7040.36_DIS	1:200@A4	7 of 55	30/05/2019

Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP (Not to Scale)



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Phone: (07) 5593 4099, Facsimile: (07) 5593 8086

Rockhampton: 7/67 East Street, Rockhampton
Phone: (07) 4199 8317, Facsimile: (07) 4922 6908

Townsville: Level 1/28 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 8 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

30.5.2019

DISCLOSURE PLAN

PROJECT Lot 8,
#43 Finnegan Way, Coomera, Stage 1
Proposed Subdivision of Lot 1 on
SP250201 & Lot 900 on SP250193

REVISION

PROJECT No.
7040.36_DIS

SCALE
1:200@A4

SHEET
8 of 55

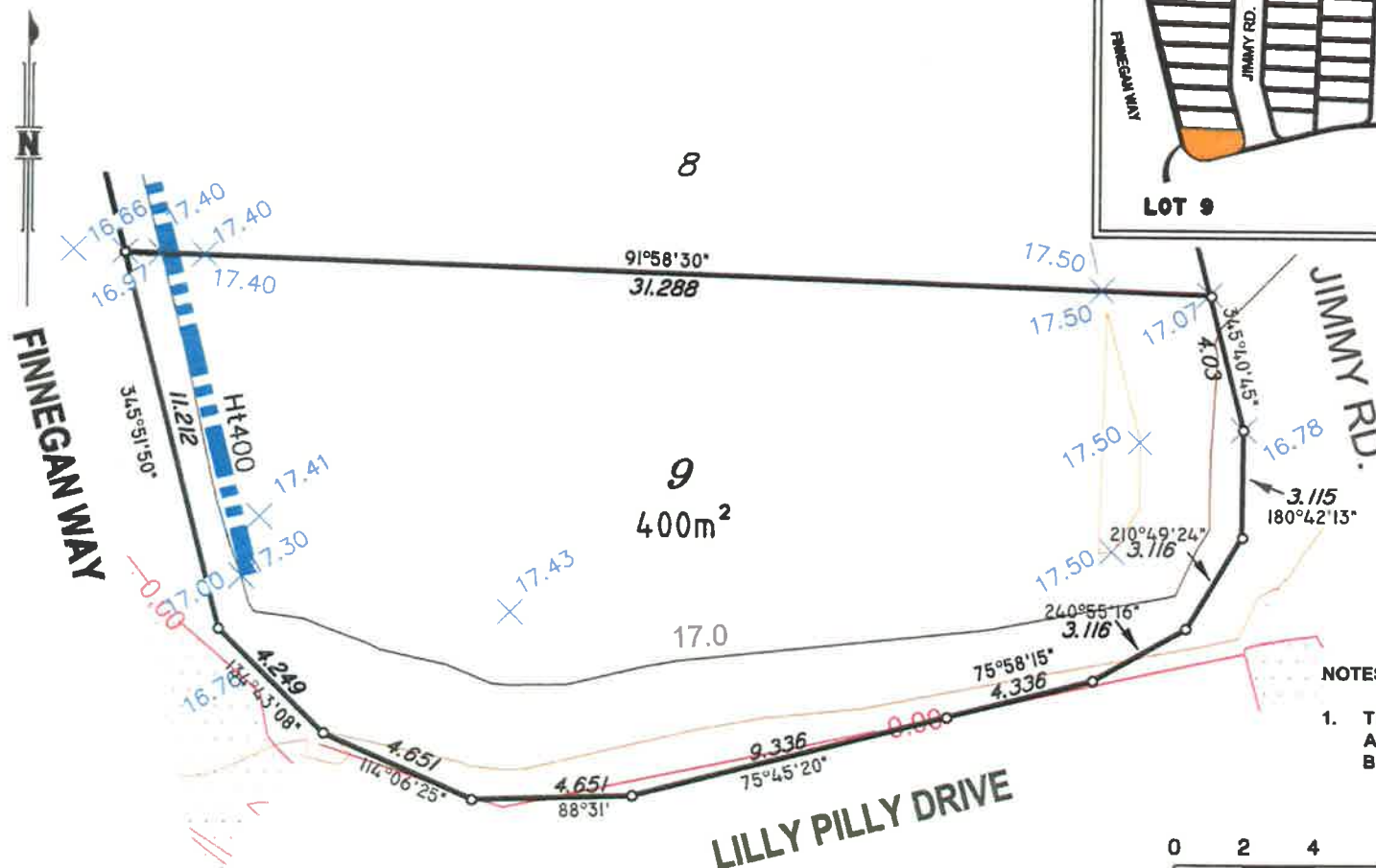
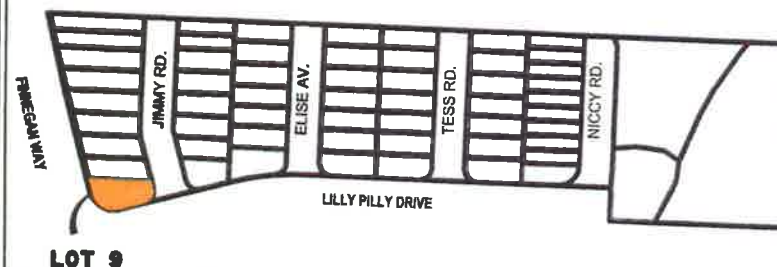
DATE
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Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP (Not to Scale)



FEATURE LEGEND

- 1.5 Fill Depth (0.5m Interval)
- 1.0 Final Contours (0.5m Interval)
- Retaining wall (Indicative position only)
- Fill
- Design levels
- Wall heights (mm)

NOTES:

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ARNOLD
DEVELOPMENT
CONSULTANTS

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Phone: (07) 5593 4099, Facsimile: (07) 5593 8066

Rockhampton: 7/87 East Street, Rockhampton
Phone: (07) 4199 6317, Facsimile: (07) 4922 8808

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 9 and New road which cancel Lot 1 on SP 250201 and Lot 900 on SP250193 situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

30.5.2019

DISCLOSURE PLAN

PROJECT Lot 9,
#43 Finnegan Way, Coomera, Stage 1
Proposed Subdivision of Lot 1 on
SP250201 & Lot 900 on SP250193

REVISION

PROJECT No.	SCALE	SHEET	DATE
7040.36_DIS	1:200@A4	9 of 55	30/05/2019

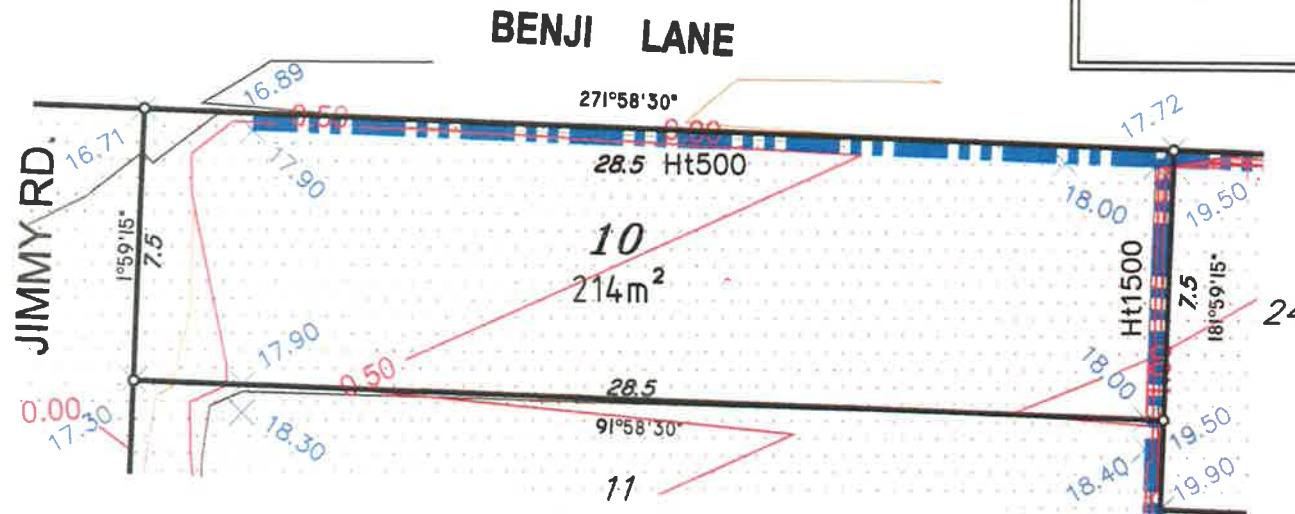
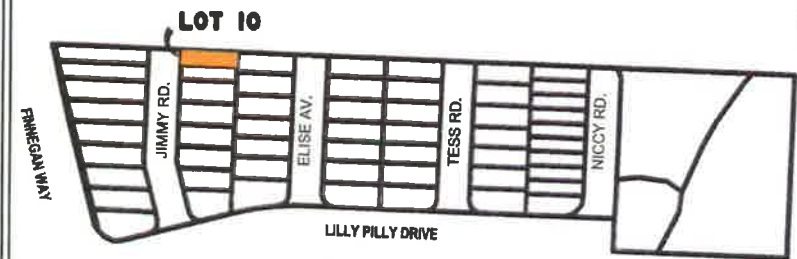
Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP

(Not to Scale)



FEATURE LEGEND

- 1.5 Fill Depth (0.5m interval)
- 1.0 Final Contours (0.5m interval)
- Retaining wall (Indicative position only)
- Fill
- Design levels
- Wall heights (mm)

NOTES:

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Gold Coast: Suite 212 Lakeside Corporate Space
Phone: (07) 5593 4099, Facsimile: (07) 5593 8066

Rockhampton: 7/67 East Street, Rockhampton
Phone: (07) 4199 6317, Facsimile: (07) 4322 6908

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 10 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

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Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

30.5.2019

DISCLOSURE PLAN

PROJECT Lot 10,
#43 Finnegan Way, Coomera, Stage 1
Proposed Subdivision of Lot 1 on
SP250201 & Lot 900 on SP250193

REVISION

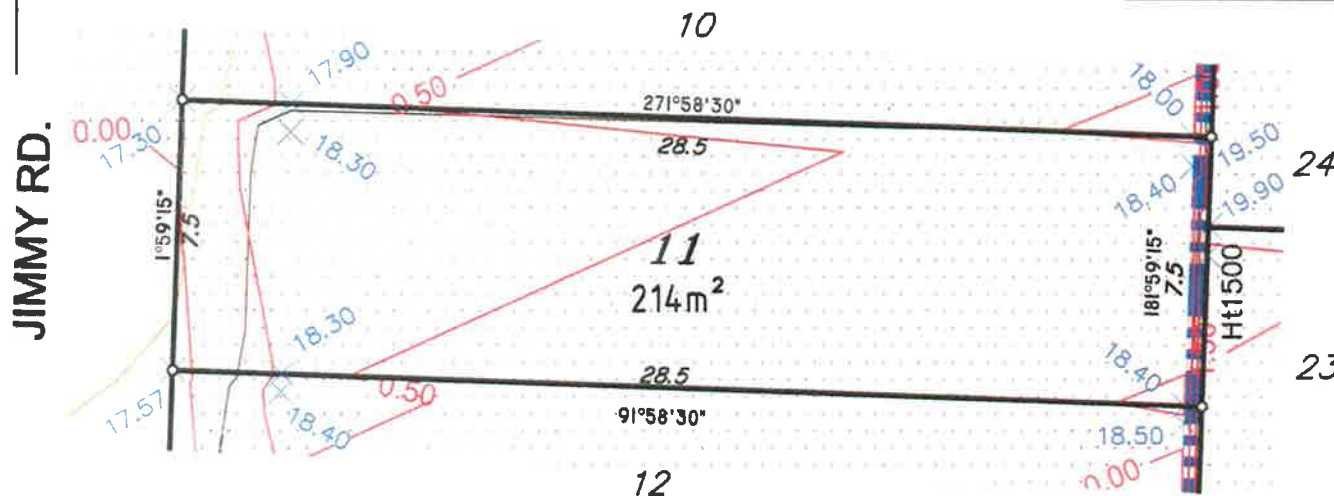
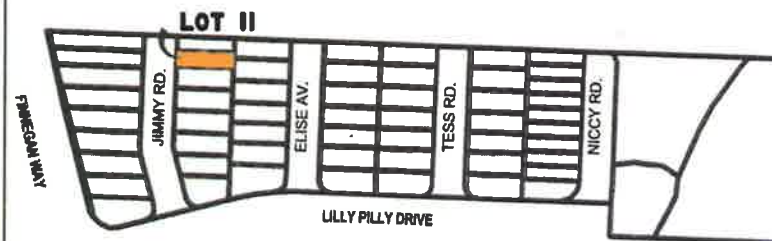
PROJECT No.	SCALE	SHEET	DATE
7040.36_DIS	1:200@A4	10 of 55	30/05/2019



Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.
Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP (Not to Scale)

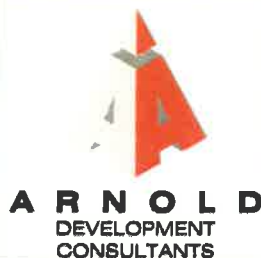
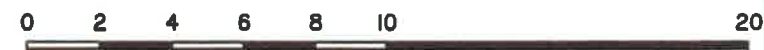


FEATURE LEGEND

- 1.5 Fill Depth (0.5m Interval)
- 1.0 Final Contours (0.5m Interval)
- Retaining wall (Indicative position only)
- Fill
- +76.50 Design levels
- Ht2000 Wall heights (mm)

NOTES:

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Phone: (07) 3333 1886, Facsimile: (07) 3333 1886

Gold Coast: Suite 212 Lakeside Corporate Space
Phone: (07) 5693 4096, Facsimile: (07) 5693 8066

Rockhampton: 7/67 East Street, Rockhampton
Phone: (07) 4198 6317, Facsimile: (07) 4922 8908

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 11 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

30.5.2019

DISCLOSURE PLAN

PROJECT Lot 11,
#43 Finnegan Way, Coomera, Stage 1
Proposed Subdivision of Lot 1 on
SP250201 & Lot 900 on SP250193

REVISION

PROJECT No.	SCALE	SHEET	DATE
7040.36_DIS	1:200@A4	11 of 55	30/05/2019

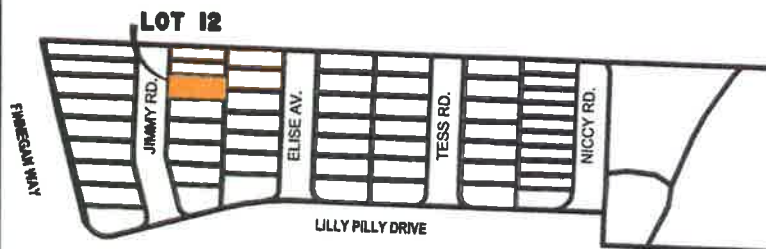
Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.

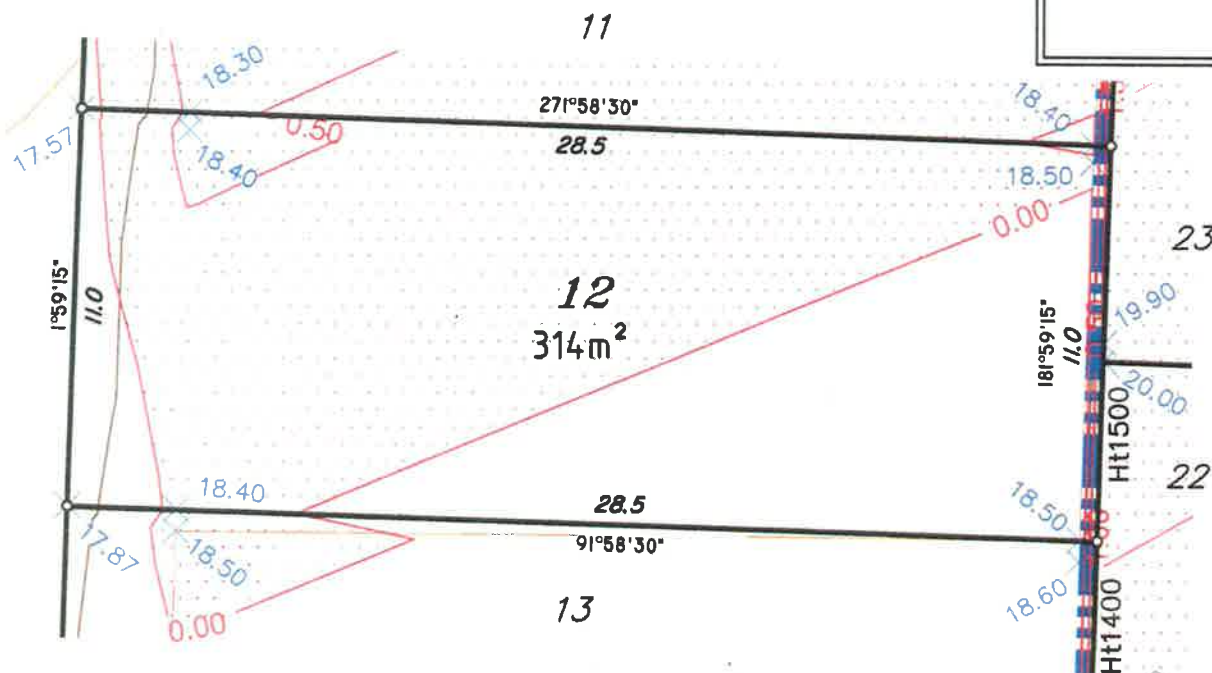
Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP

(Not to Scale)



JIMMY RD.



FEATURE LEGEND

- 1.5 ——— Fill Depth (0.5m Interval)
- 1.0 ——— Final Contours (0.5m Interval)
- Retaining wall (Indicative position only)
- Fill
- +76.50 Design levels
- Ht2000 Wall heights (mm)

NOTES:

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF ACCOMPANYING A SALES CONTRACT AND MUST NOT BE USED FOR ANY OTHER PURPOSE.



ARNOLD
DEVELOPMENT
CONSULTANTS

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Rockhampton: 7/67 East Street, Rockhampton
Phone: (07) 4190 6317, Facsimile: (07) 4922 6906

Townsville: Level 1/25 Burt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 12 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed

Date:

 30.5.2019

DISCLOSURE PLAN

PROJECT Lot 12,
#43 Finnegan Way, Coomera, Stage 1
Proposed Subdivision of Lot 1 on
SP250201 & Lot 900 on SP250193

REVISION

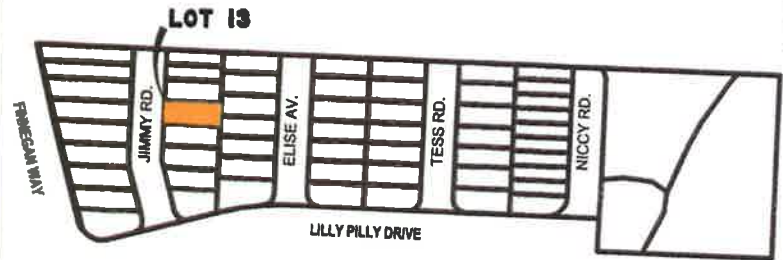
PROJECT No.	SCALE	SHEET	DATE
7040.36_DIS	1:200@A4	12 of 55	30/05/2019

Compaction Statement

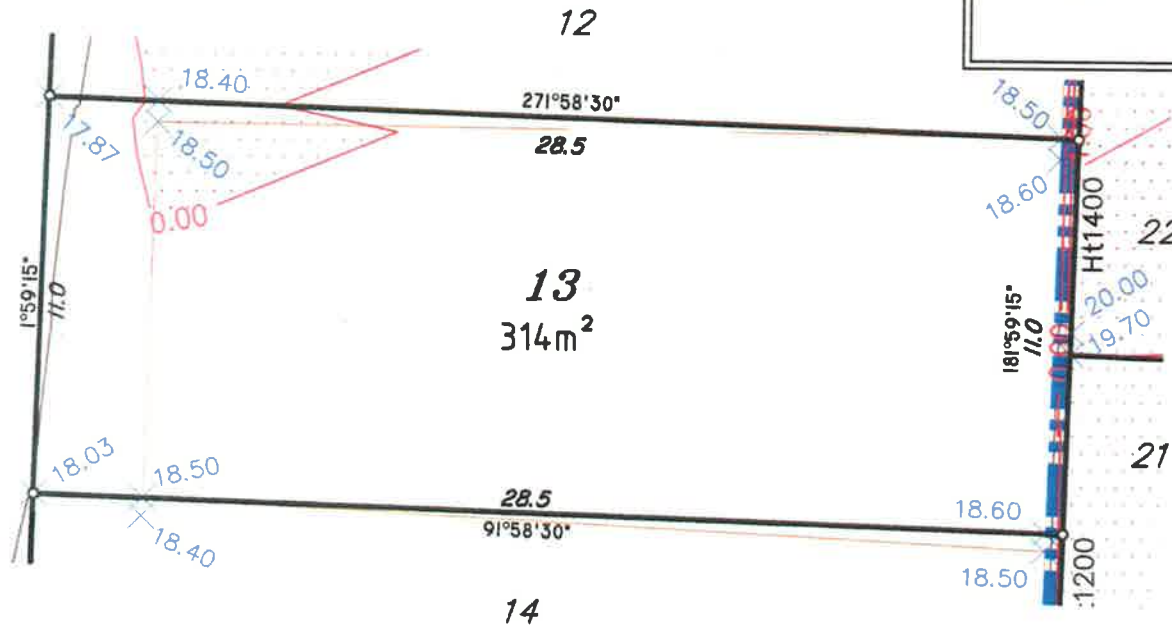
The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP (Not to Scale)



JIMMY RD.



FEATURE LEGEND

- 1.5 ——— Fill Depth (0.5m interval)
- 1.0 ——— Final Contours (0.5m interval)
- - - - - Retaining wall (indicative position only)
- Fill
- +76.50 Design levels
- Ht2000 Wall heights (mm)

NOTES:

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF ACCOMPANYING A SALES CONTRACT AND MUST NOT BE USED FOR ANY OTHER PURPOSE.



Email: 'mail@adcoqld.com.au' Web: adcoqld.com.au

Brisbane: Level 1/55 Douglas Street, Milton
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Gold Coast: Suite 212 Lakeside Corporate Space
Phone: (07) 5593 4099, Facsimile: (07) 5593 8066

Rockhampton: 7167 East Street, Rockhampton
Phone: (07) 4198 6317, Facsimile: (07) 4922 6908

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 13 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

 30.5.2019

DISCLOSURE PLAN

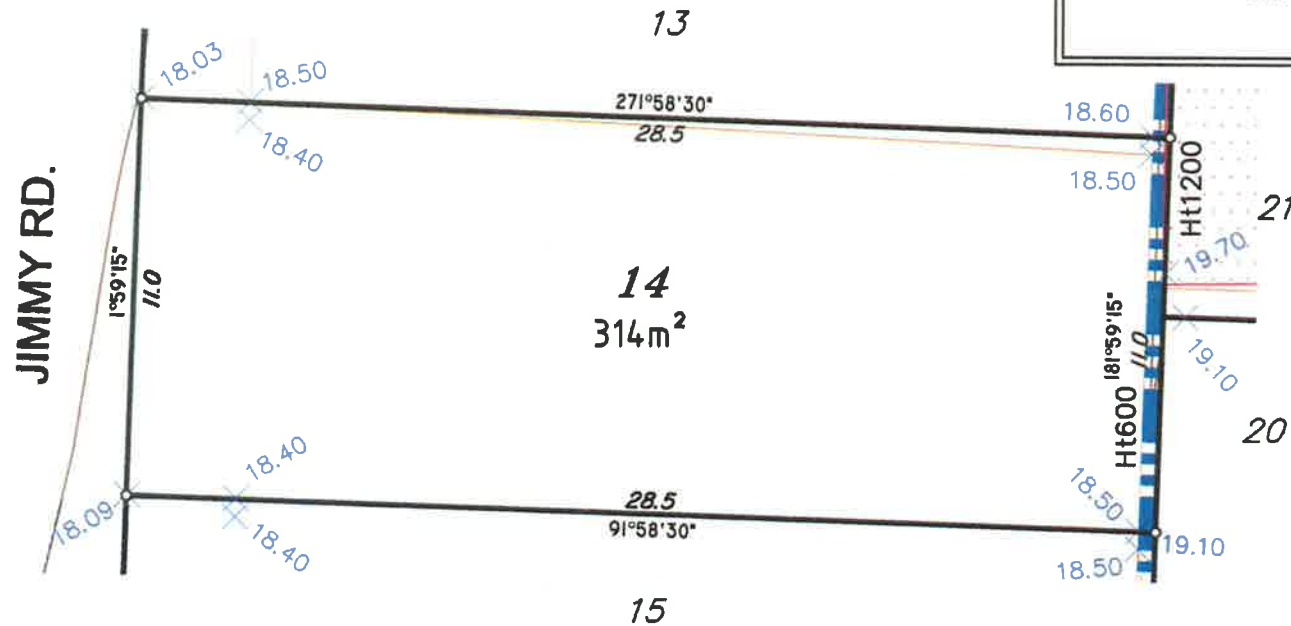
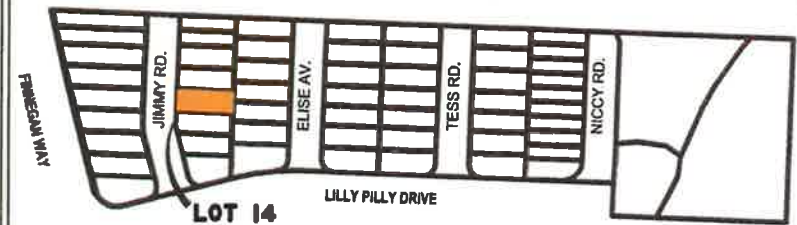
PROJECT		Lot 13, #43 Finnegan Way, Coomera, Stage 1 Proposed Subdivision of Lot 1 on SP250201 & Lot 900 on SP250193			REVISION
PROJECT No.	SCALE	SHEET	DATE		
7040.36_DIS	1:200@A4	13 of 55	30/05/2019		

Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP (Not to Scale)

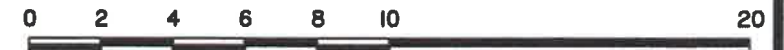


FEATURE LEGEND

- 1.5m Fill Depth (0.5m Interval)
- 1.0m Final Contours (0.5m Interval)
- Retaining wall (Indicative position only)
- Fill
- Design levels
- Wall heights (mm)

NOTES:

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF ACCOMPANYING A SALES CONTRACT AND MUST NOT BE USED FOR ANY OTHER PURPOSE.



Email: mail@adcojld.com.au Web: adcojld.com.au

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Gold Coast: Suite 212 Lakeside Corporate Space
Phone: (07) 5593 4099, Facsimile: (07) 5593 8066

Rockhampton: 7/87 East Street, Rockhampton
Phone: (07) 4199 8317, Facsimile: (07) 4922 6908

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 14 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

 30.5.2019

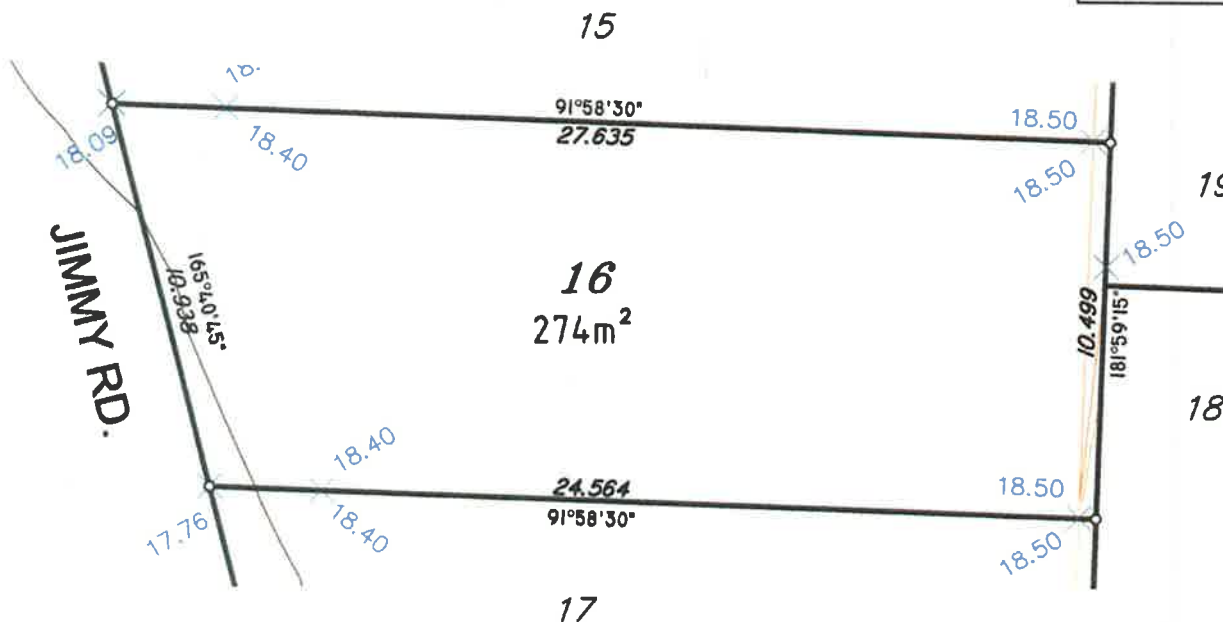
DISCLOSURE PLAN

PROJECT Lot 14,
#43 Finnegan Way, Coomera, Stage 1
Proposed Subdivision of Lot 1 on
SP250201 & Lot 900 on SP250193

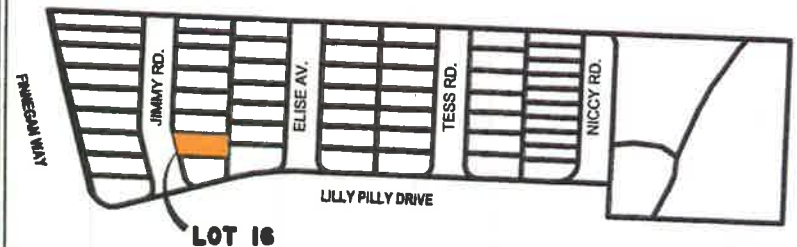
REVISION

PROJECT No.	SCALE	SHEET	DATE
7040.36_DIS	1:200@A4	14 of 55	30/05/2019

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.



(Not to Scale)



The diagram illustrates a retaining wall cross-section with the following components from top to bottom:

- Fill Depth (0.5m interval):** Indicated by a pink horizontal line at the top.
- Final Contours (0.5m Interval):** Indicated by a light blue horizontal line.
- Retaining wall (Indicative position only):** Represented by a dashed blue line.
- Fill:** The area below the retaining wall, filled with a pattern of small red and blue dots.
- Design levels:** A blue horizontal line with the text "+ 76.50" written above it.
- Wall heights (mm):** The text "Ht2000" is written in blue below the design level.

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF ACCOMPANYING A SALES CONTRACT AND MUST NOT BE USED FOR ANY OTHER PURPOSE.



ARNOLD
DEVELOPMENT
CONSULTANTS

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

1. This plan shows details of Proposed Lot 16 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

Signed:

Dates

PROJECT	Lot 16, #43 Finnegan Way, Coomera, Stage 1 Proposed Subdivision of Lot 1 on SP250201 & Lot 900 on SP250193	REVISION
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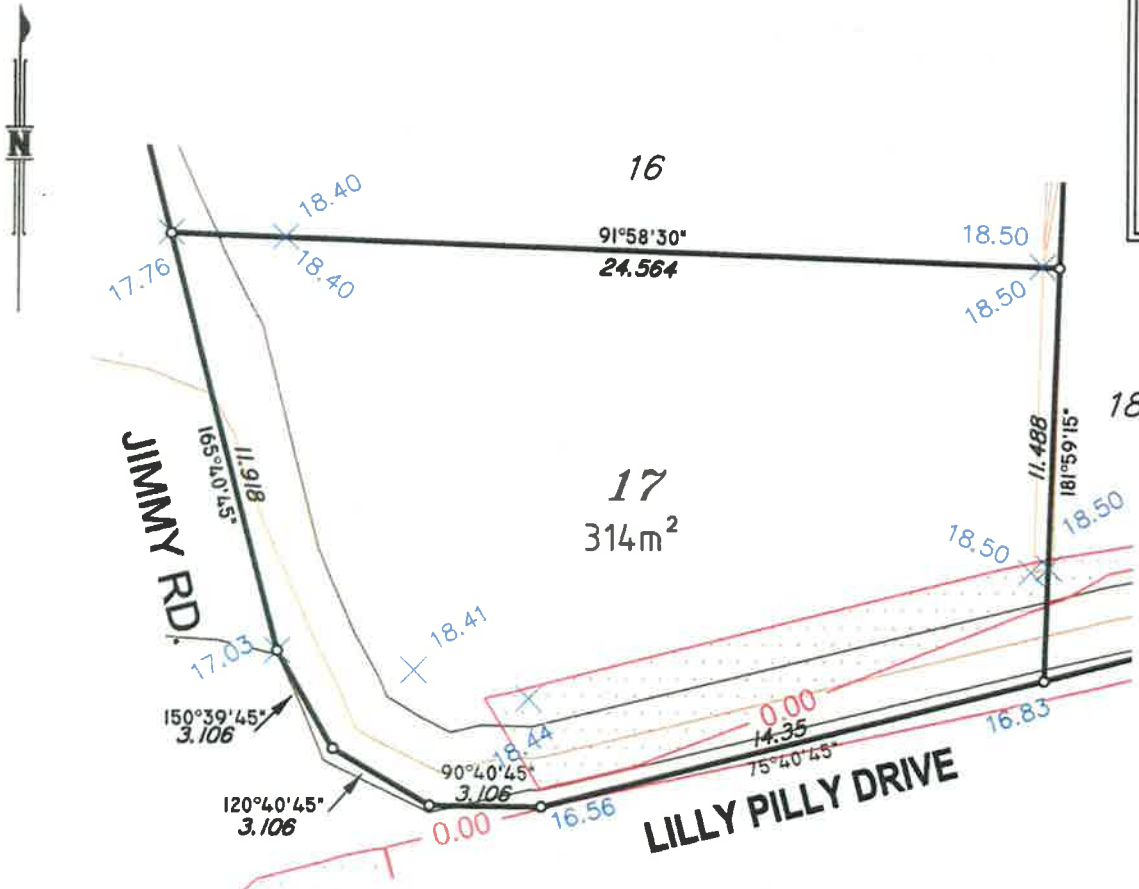
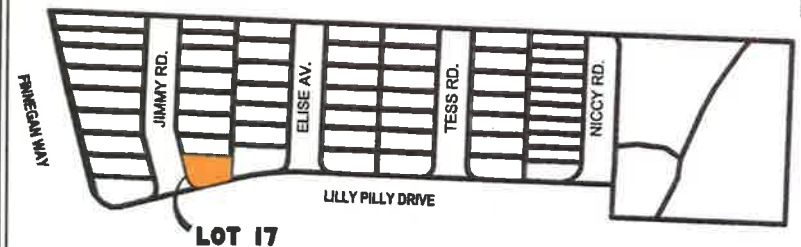
PROJECT No.	SCALE	SHEET	DATE
7040.36 DIS	1:200@A4	16 of 55	30/05/2019

Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007
Guidelines on earthworks for commercial and residential
developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of
field density testing must be in accordance with Table 8.1 of AS
3798-2007.

LOCALITY MAP (Not to Scale)



FEATURE LEGEND

- 1.5 ——— Fill Depth (0.5m interval)
- 1.0 ——— Final Contours (0.5m interval)
- — — Retaining wall (Indicative position only)
- Fill
- Design levels
- Wall heights (mm)

NOTES:

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF
ACCOMPANYING A SALES CONTRACT AND MUST NOT
BE USED FOR ANY OTHER PURPOSE.



Email: 'mail@adcqld.com.au' Web: adcqld.com.au

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Phone: (07) 5593 4099, Facsimile: (07) 5593 8066

Rockhampton: 7/67 East Street, Rockhampton
Phone: (07) 4199 6317, Facsimile: (07) 4922 8908

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 17 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

30.5.2019

DISCLOSURE PLAN

PROJECT		Lot 17, #43 Finnegan Way, Coomera, Stage 1	
Proposed Subdivision of Lot 1 on SP250201 & Lot 900 on SP250193		REVISION	
PROJECT No. 7040.36_DIS	SCALE 1:200@A4	SHEET 17 of 55	DATE 30/05/2019

Compaction Statement

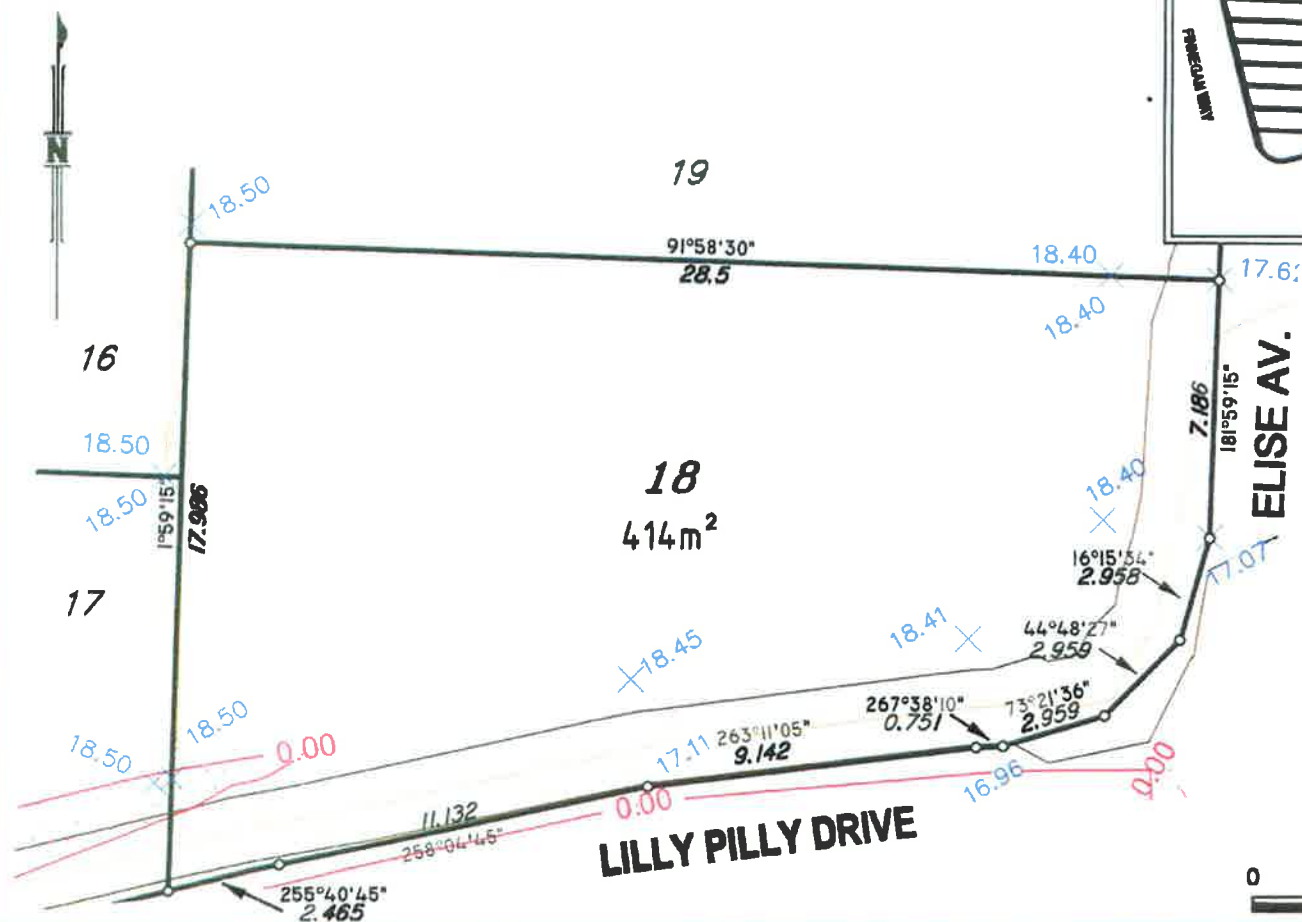
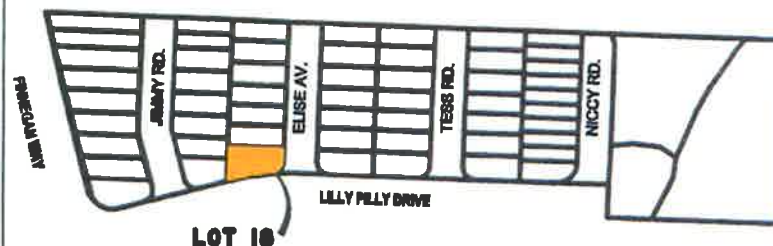
The earthworks must be carried out in accordance with AS 3798-2007

Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP

(Not to Scale)



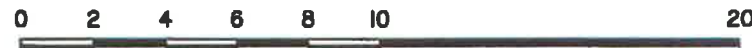
FEATURE LEGEND

- 1.5m Fill Depth (0.5m interval)
- 1.0m Final Contours (0.5m interval)
- Proposed wall (indicative position only)
- Fill
- Design levels
- Wall heights (mm)

NOTES:

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF ACCOMPANYING A SALES CONTRACT AND MUST NOT BE USED FOR ANY OTHER PURPOSE.

REVISION A - AMENDMENT TO DIMENSION AND AREA.



DISCLAIMER

Areas and dimensions shown herein are subject to final survey. Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Bridges) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

31.5.2019

DISCLOSURE PLAN

PROJECT Lot 18, #43 Finnegan Way, Coomera, Stage 1 Proposed Subdivision of Lot 1 on SP250201 & Lot 900 on SP250193			
REVISION A			
PROJECT No. 7040.36_DIS	SCALE 1:200@A4	SHEET 18 of 55	DATE 31/05/2019

Email: info@adcdi.com.au Web: adcdi.com.au

Brisbane: Level 1/68 Douglas Street, Milton
Phone: (07) 3333 1995, Facsimile: (07) 3333 1995

Gold Coast: Suite 212 Lakeside Corporate Space
Phone: (07) 5583 4008, Facsimile: (07) 5583 8008

Rockhampton: 7/87 East Street, Rockhampton
Phone: (07) 4188 8917, Facsimile: (07) 4822 8868

Townsville: Level 1/38 Short Street, Townsville
Phone: (07) 4723 2721, Facsimile: (07) 4723 2779

Disclaimer Statement

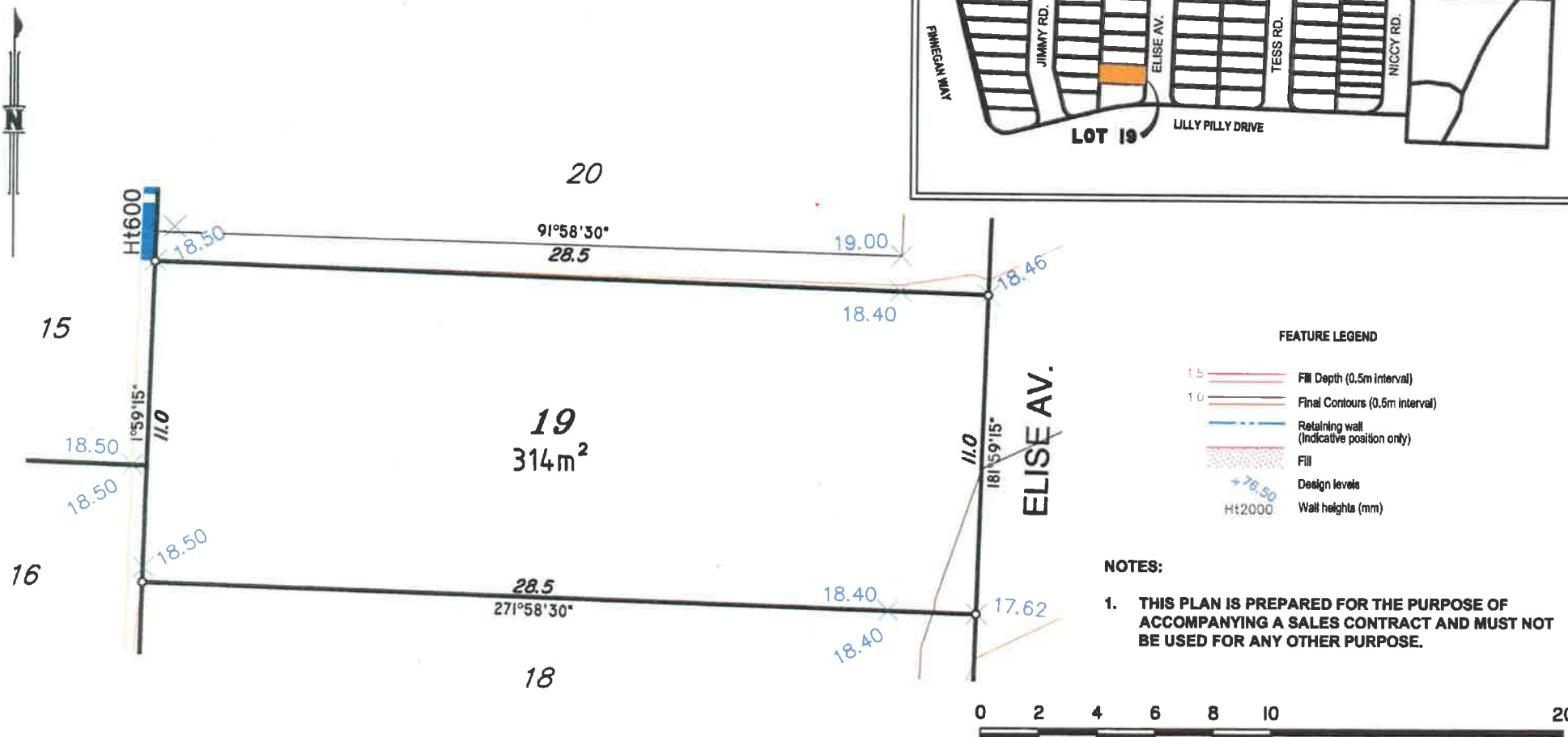
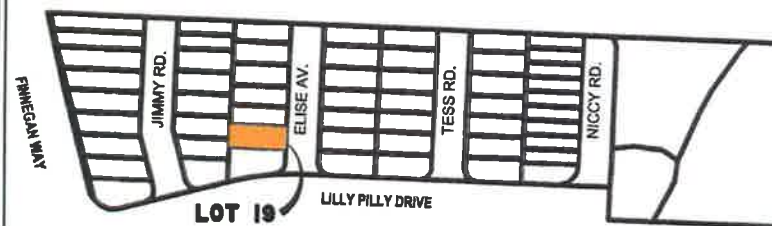
1. This plan shows details of Proposed Lot 18 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP (Not to Scale)



Email: 'mail@edcgld.com.au' Web: edcgld.com.au

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Phone: (07) 3333 1985, Facsimile: (07) 3333 1988

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Phone: (07) 4190 6317, Facsimile: (07) 4922 6908

Gold Coast: Suite 212 Lakeside Corporate Space
Phone: (07) 5593 4090, Facsimile: (07) 5593 8086

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

- This plan shows details of Proposed Lot 19 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
- For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

30.5.2019

DISCLOSURE PLAN

PROJECT Lot 19,
#43 Finnegan Way, Coomera, Stage 1
Proposed Subdivision of Lot 1 on
SP250201 & Lot 900 on SP250193

REVISION

PROJECT No.	SCALE	SHEET	DATE
7040.36_DIS	1:200@A4	19 of 55	30/05/2019

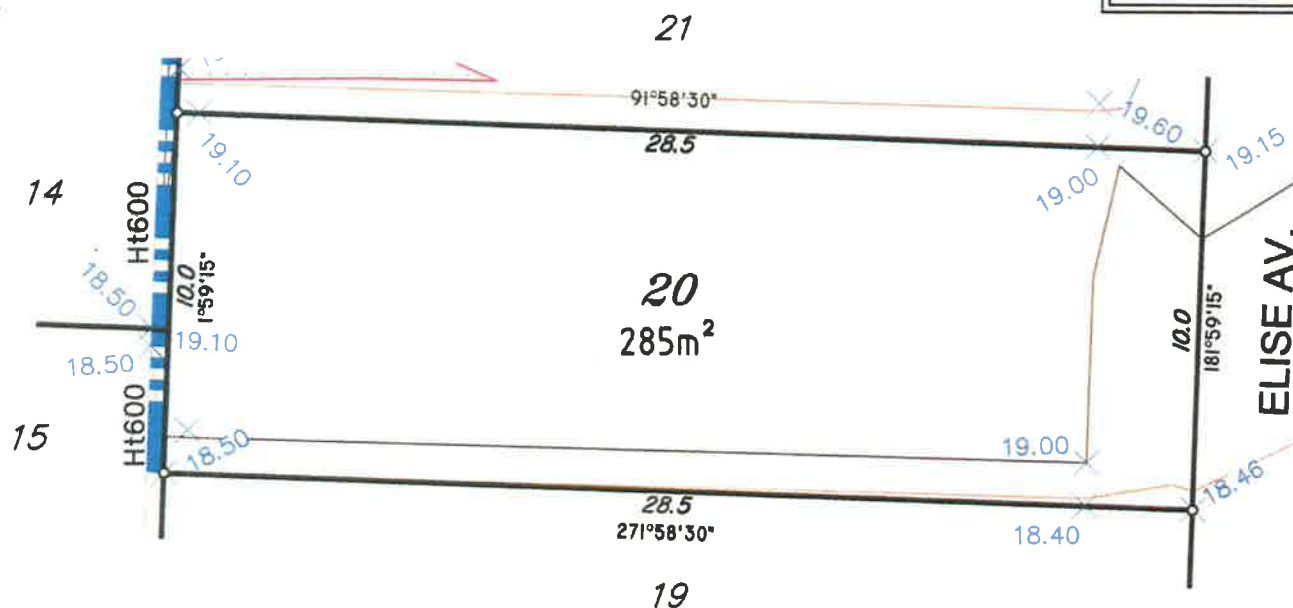
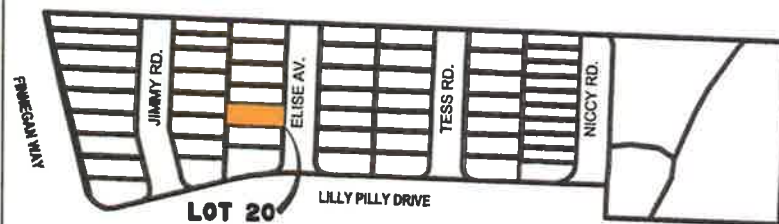
Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP

(Not to Scale)

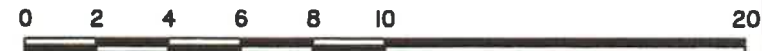


FEATURE LEGEND

- 1.5 Fill Depth (0.5m interval)
- 1.0 Final Contours (0.5m interval)
- Retaining wall (indicative position only)
- Fill
- Design levels
- Wall heights (mm)

NOTES:

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF ACCOMPANYING A SALES CONTRACT AND MUST NOT BE USED FOR ANY OTHER PURPOSE.



Email: mail@adcoqd.com.au Web: adcoqd.com.au

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Phone: (07) 4199 6317, Facsimile: (07) 4922 6908

Gold Coast: Suite 212 Lakeside Corporate Space
Phone: (07) 5593 4090, Facsimile: (07) 5593 8086

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 20 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

30.5.2019

DISCLOSURE PLAN

PROJECT Lot 20,
#43 Finnegan Way, Coomera, Stage 1
Proposed Subdivision of Lot 1 on SP250201 & Lot 900 on SP250193

REVISION

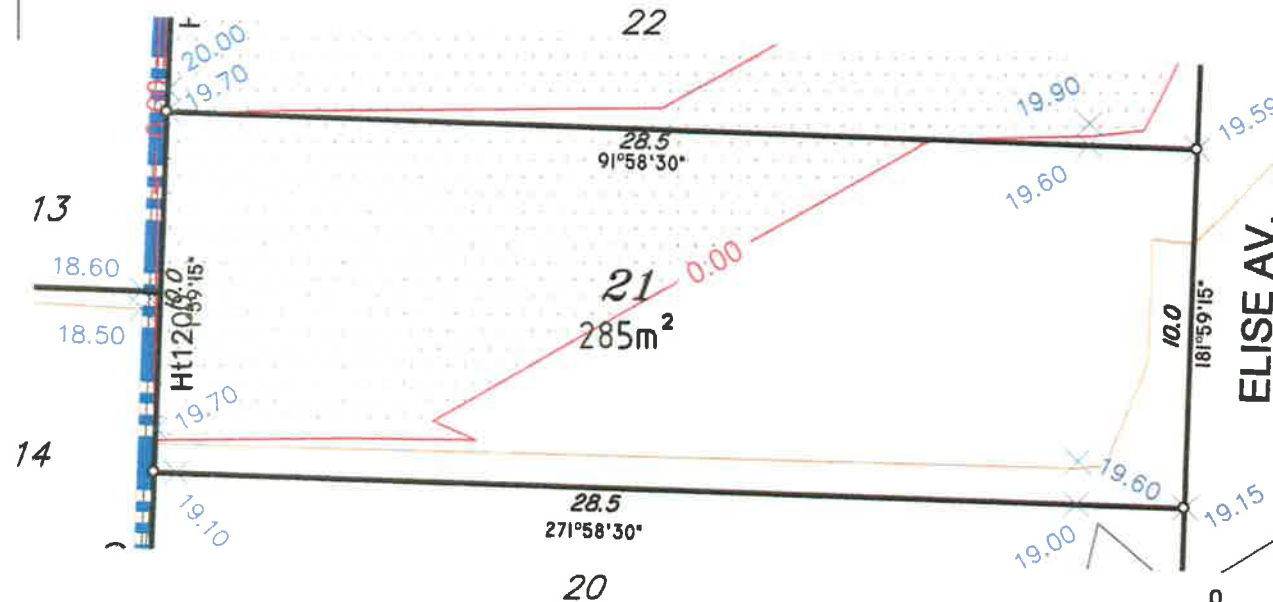
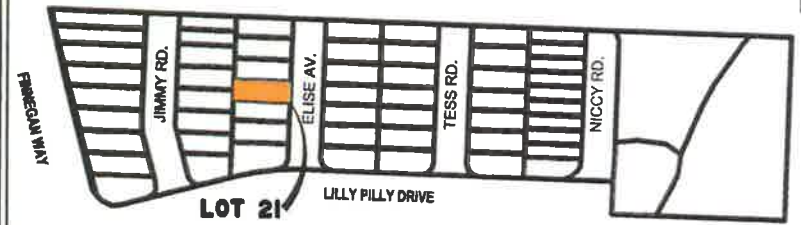
PROJECT No.	SCALE	SHEET	DATE
7040.36_DIS	1:200@A4	20 of 55	30/05/2019

Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007
Guidelines on earthworks for commercial and residential
developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of
field density testing must be in accordance with Table 8.1 of AS
3798-2007.

LOCALITY MAP (Not to Scale)



FEATURE LEGEND

- 1.5m Fill Depth (0.5m interval)
- 1.0m Final Contours (0.5m interval)
- Retaining wall (indicative position only)
- Fill
- Design levels
- Wall heights (mm)

NOTES:

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Phone: (07) 4199 6317, Facsimile: (07) 4922 6906

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 21 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

30.5.2019

DISCLOSURE PLAN

PROJECT		Lot 21, #43 Finnegan Way, Coomera, Stage 1	
Proposed Subdivision of Lot 1 on SP250201 & Lot 900 on SP250193		REVISION	
PROJECT No. 7040.36_DIS	SCALE 1:200@A4	SHEET 21 of 55	DATE 30/05/2019

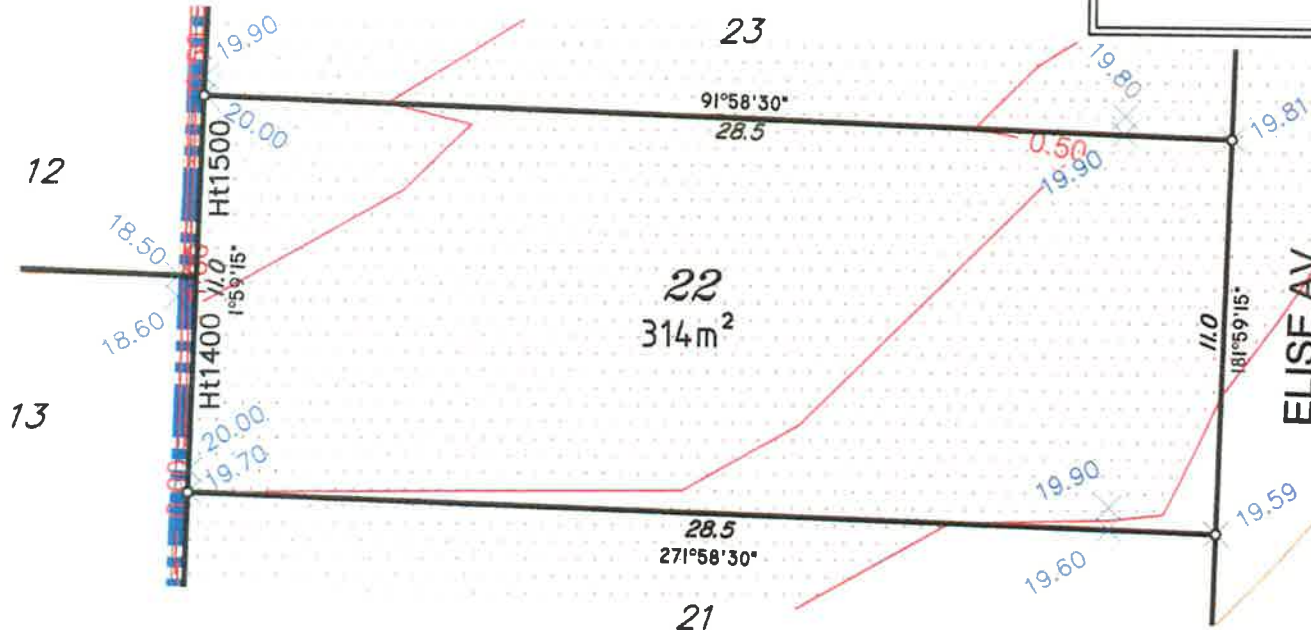
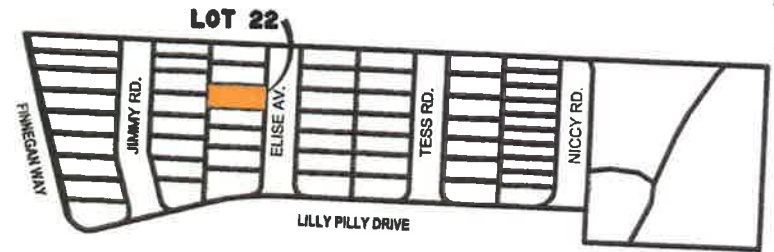
Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP

(Not to Scale)



FEATURE LEGEND

- 1.5 ——— Fill Depth (0.5m interval)
- 1.0 ——— Final Contours (0.5m interval)
- Retaining wall (Indicative position only)
- Fill
- +76.50 Design levels
- Ht2000 Wall heights (mm)

NOTES:

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF ACCOMPANYING A SALES CONTRACT AND MUST NOT BE USED FOR ANY OTHER PURPOSE.

DISCLAIMER

Area and dimensions shown hereon are subject to final survey. Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

30.5.2019

DISCLOSURE PLAN

PROJECT		Lot 22,	
#43 Finnegans Way, Coomera, Stage 1		REVISION	
Proposed Subdivision of Lot 1 on SP250201 & Lot 900 on SP250193			
PROJECT No.	SCALE	SHEET	DATE
7040.36_DIS	1:200@A4	22 of 55	30/05/2019

Email: 'mail@adcoqld.com.au' Web: adcoqld.com.au

Brisbane: Level 1/55 Douglas Street, Milton
Phone: (07) 3333 1985, Facsimile: (07) 3333 1986

Rockhampton: 7/67 East Street, Rockhampton
Phone: (07) 4196 6317, Facsimile: (07) 4922 6908

Gold Coast: Suite 212 Lakeside Corporate Space
Phone: (07) 5593 4099, Facsimile: (07) 5593 8066

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 22 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.



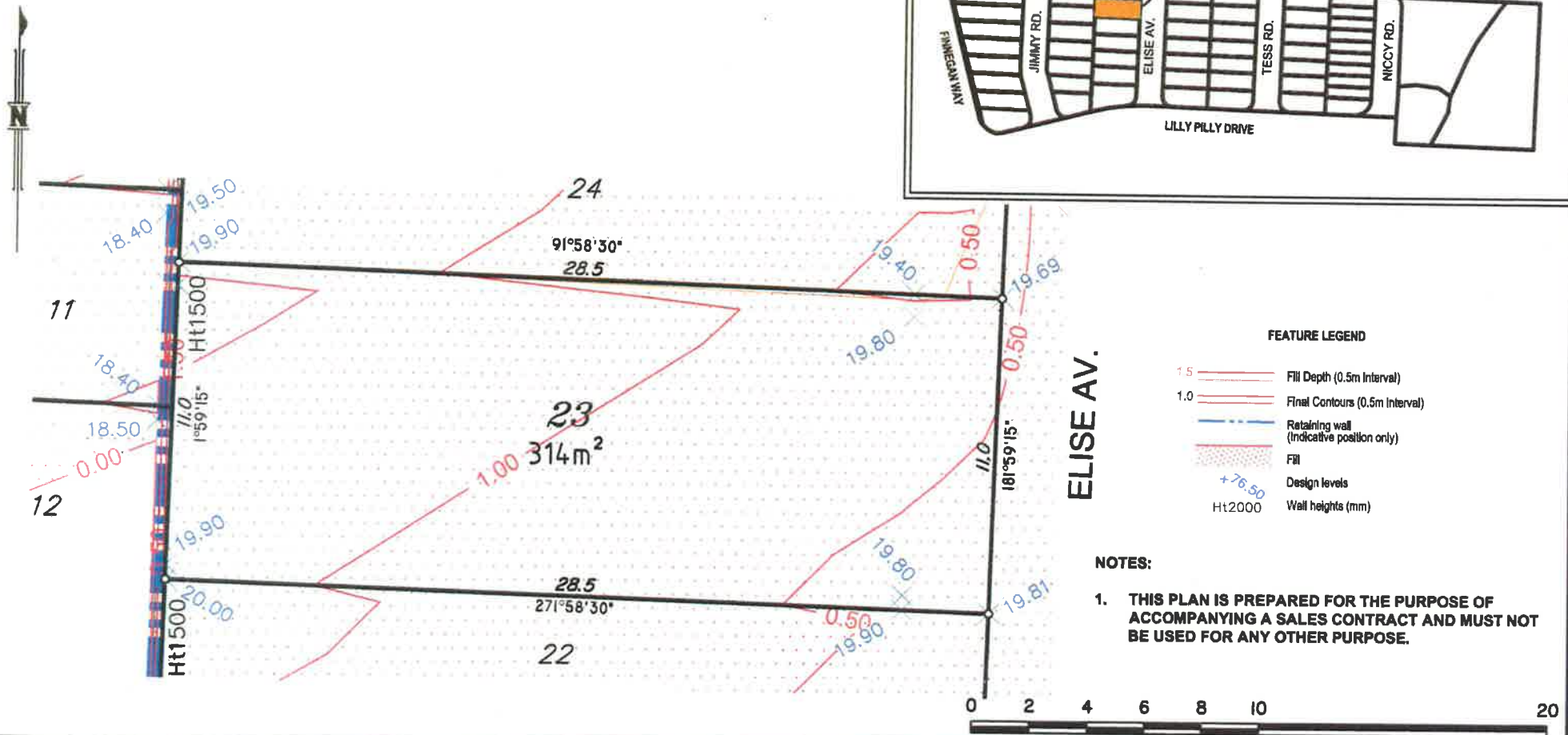
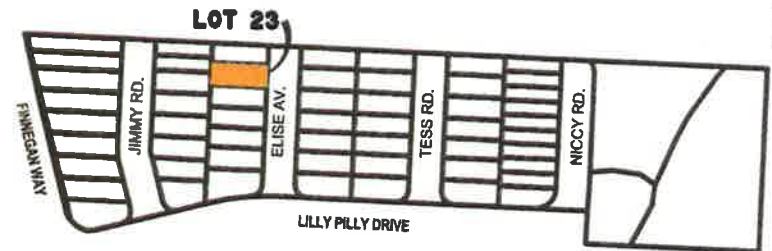
ARNOLD
DEVELOPMENT
CONSULTANTS

Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP (Not to Scale)



FEATURE LEGEND

- 1.5 ——— Fill Depth (0.5m Interval)
- 1.0 ——— Final Contours (0.5m Interval)
- Retaining wall (Indicative position only)
- Fill
- +76.50 Design levels
- Ht2000 Wall heights (mm)

NOTES:

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF ACCOMPANYING A SALES CONTRACT AND MUST NOT BE USED FOR ANY OTHER PURPOSE.



Email: mail@adcoqld.com.au Web: adcoqld.com.au

Brisbane: Level 1/55 Douglas Street, Milton
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Rockhampton: 7/67 East Street, Rockhampton
Phone: (07) 4190 6317, Facsimile: (07) 4922 6906

Gold Coast: Suite 212 Lakeside Corporate Space
Phone: (07) 5593 4090, Facsimile: (07) 5593 8068

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 23 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

30.5.2019

DISCLOSURE PLAN

PROJECT Lot 23,
#43 Finnegan Way, Coomera, Stage 1
Proposed Subdivision of Lot 1 on SP250201 & Lot 900 on SP250193

REVISION

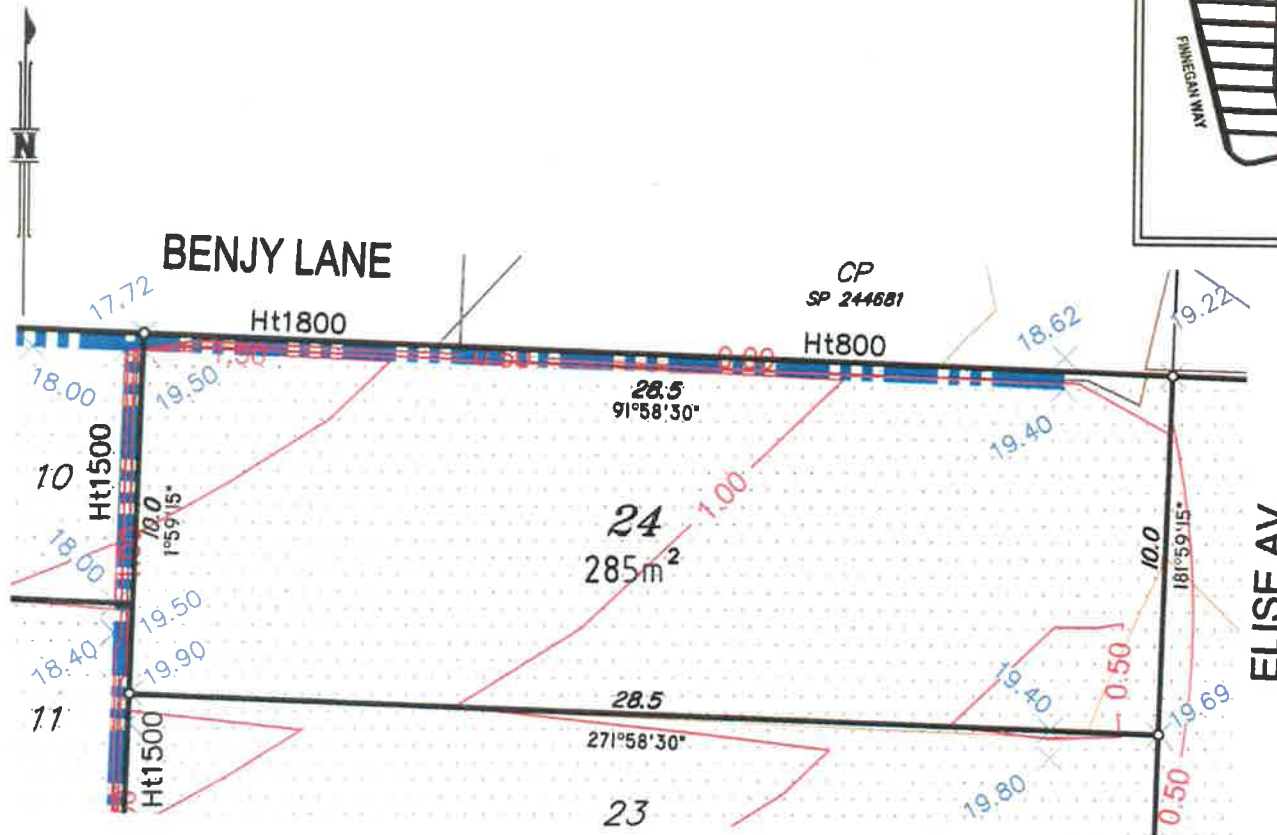
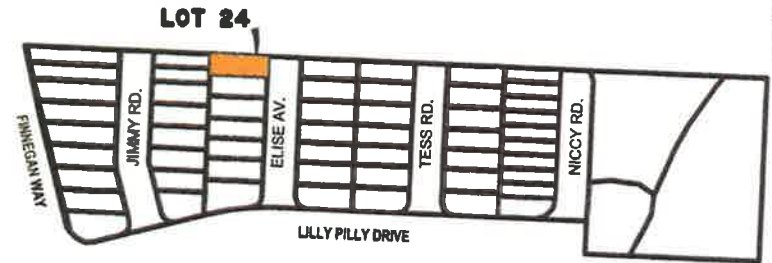
PROJECT No.	SCALE	SHEET	DATE
7040.36_DIS	1:200@A4	23 of 55	30/05/2019

Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP (Not to Scale)



FEATURE LEGEND

- 1.5 ——— Fill Depth (0.5m Interval)
- 1.0 ——— Final Contours (0.5m Interval)
- Retaining wall (Indicative position only)
- Fill
- Design levels
- Wall heights (mm)

NOTES:

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF ACCOMPANYING A SALES CONTRACT AND MUST NOT BE USED FOR ANY OTHER PURPOSE.



Email: 'mail@adcoqd.com.au' Web: adcoqd.com.au

Brisbane: Level 1/55 Douglas Street, Milton
Phone: (07) 3333 1985, Facsimile: (07) 3333 1986

Rockhampton: 7/67 East Street, Rockhampton
Phone: (07) 4196 6317, Facsimile: (07) 4822 8906

Gold Coast: Suite 212 Lakeside Corporate Space
Phone: (07) 5593 4099, Facsimile: (07) 5593 8066

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 24 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Bald Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

30.5.2019

DISCLOSURE PLAN

PROJECT Lot 24,
#43 Finnegan Way, Coomera, Stage 1
Proposed Subdivision of Lot 1 on SP250201 & Lot 900 on SP250193

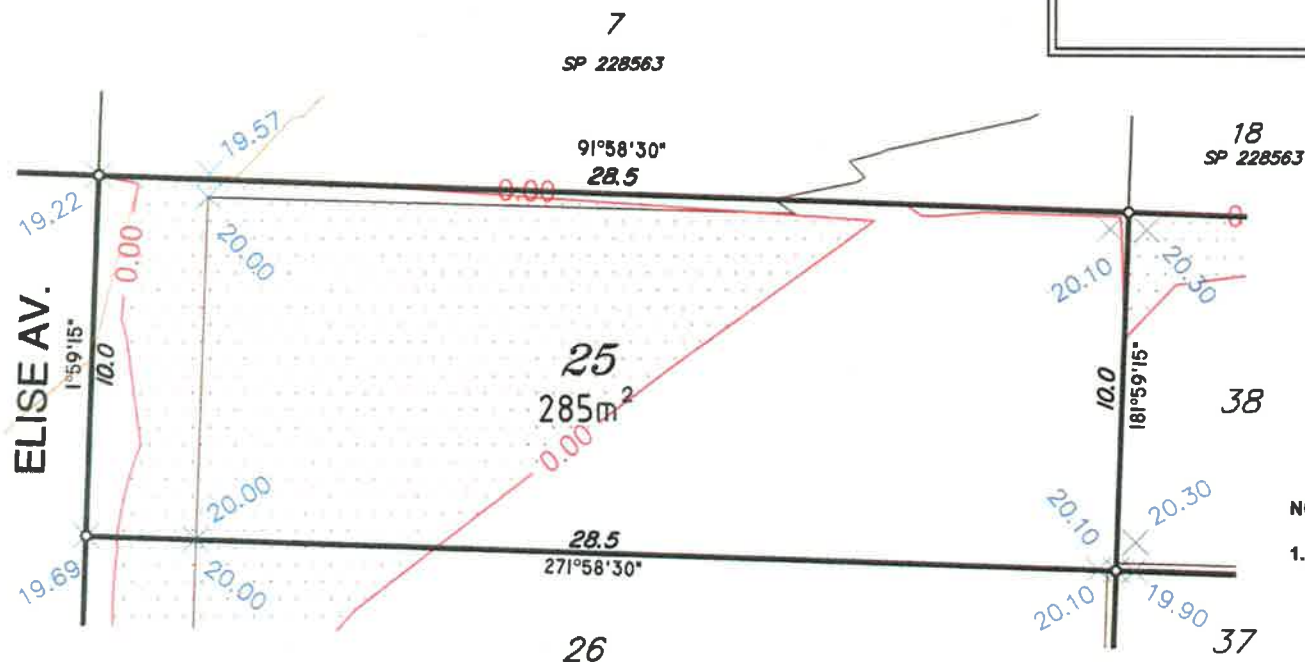
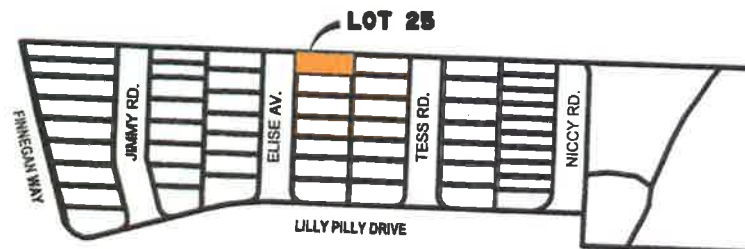
REVISION

PROJECT No.	SCALE	SHEET	DATE
7040.36_DIS	1:200@A4	24 of 55	30/05/2019

Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.
Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP (Not to Scale)

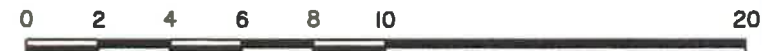


FEATURE LEGEND

- 1.5 ——— Fill Depth (0.5m Interval)
- 1.0 ——— Final Contours (0.5m Interval)
- — — Retaining wall (Indicative position only)
- Fill
- +76.50 Design levels
- Ht2000 Wall heights (mm)

NOTES:

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF ACCOMPANYING A SALES CONTRACT AND MUST NOT BE USED FOR ANY OTHER PURPOSE.



Email: 'mailto:mail@adocgd.com.au' Web: adocgd.com.au

Brisbane: Level 1/55 Douglas Street, Milton
Phone: (07) 3333 1985, Facsimile: (07) 3333 1986

Gold Coast: Suite 212 Lakeside Corporate Space
Phone: (07) 5593 4099, Facsimile: (07) 5593 8066

Rockhampton: 7/67 East Street, Rockhampton
Phone: (07) 4199 6317, Facsimile: (07) 4922 6908

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 25 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed: _____ Date: _____

30.5.2019

DISCLOSURE PLAN

PROJECT Lot 25,
#43 Finnegan Way, Coomera, Stage 1
Proposed Subdivision of Lot 1 on SP250201 & Lot 900 on SP250193

REVISION

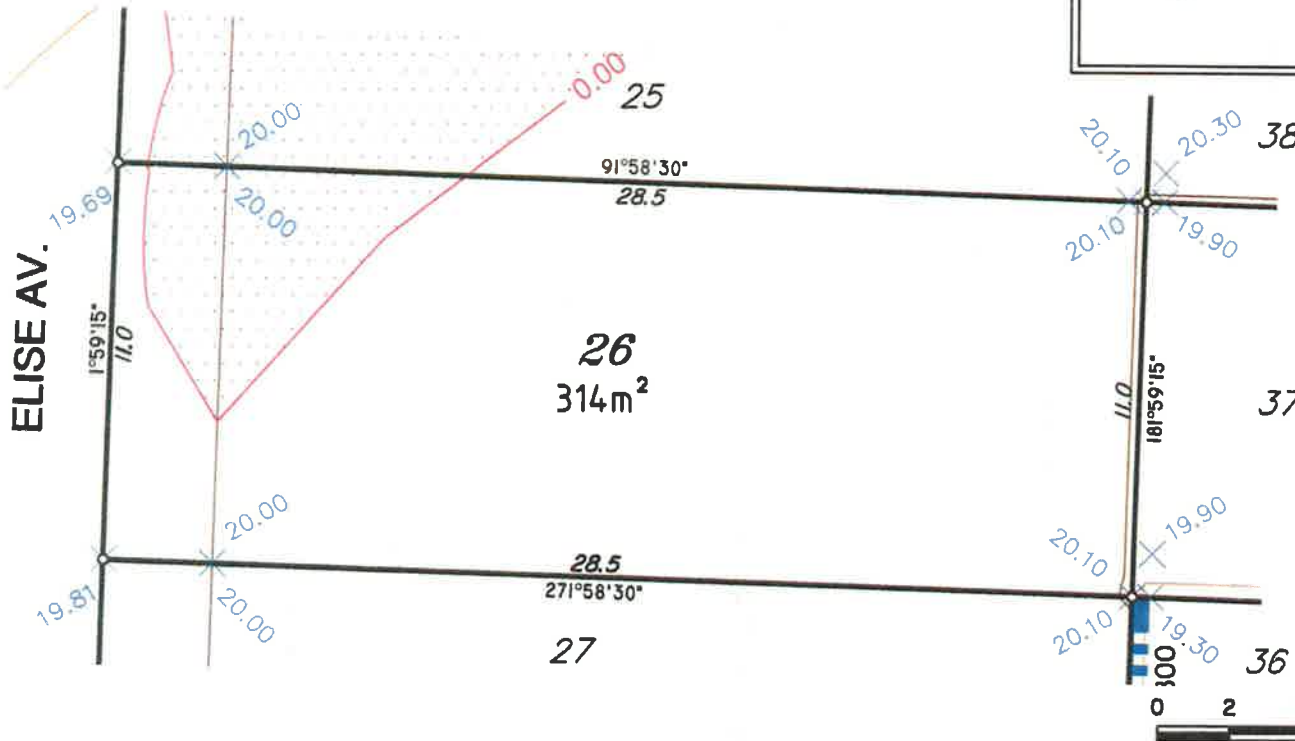
PROJECT No.	SCALE	SHEET	DATE
7040.36_DIS	1:200@A4	25 of 55	30/05/2019

Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP (Not to Scale)



FEATURE LEGEND

- 1.5 ——— Fill Depth (0.5m Interval)
- 1.0 ——— Final Contours (0.5m interval)
- — — — — Retaining wall (indicative position only)
- — — — — Fill
- +75.50 Design levels
- Ht2000 Wall heights (mm)

NOTES:

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF ACCOMPANYING A SALES CONTRACT AND MUST NOT BE USED FOR ANY OTHER PURPOSE.



Email: mail@adcoqd.com.au Web: adcoqd.com.au

Brisbane: Level 1/58 Douglas Street, Milton
Phone: (07) 3333 1988, Facsimile: (07) 3333 1988

Rockhampton: 7/67 East Street, Rockhampton
Phone: (07) 4199 5317, Facsimile: (07) 4922 6808

Gold Coast: Suite 212 Lakeside Corporate Space
Phone: (07) 5593 4098, Facsimile: (07) 5593 8066

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 26 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and service locations please refer to the Consulting Engineers Drawings.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

[Signature] 30.5.2019

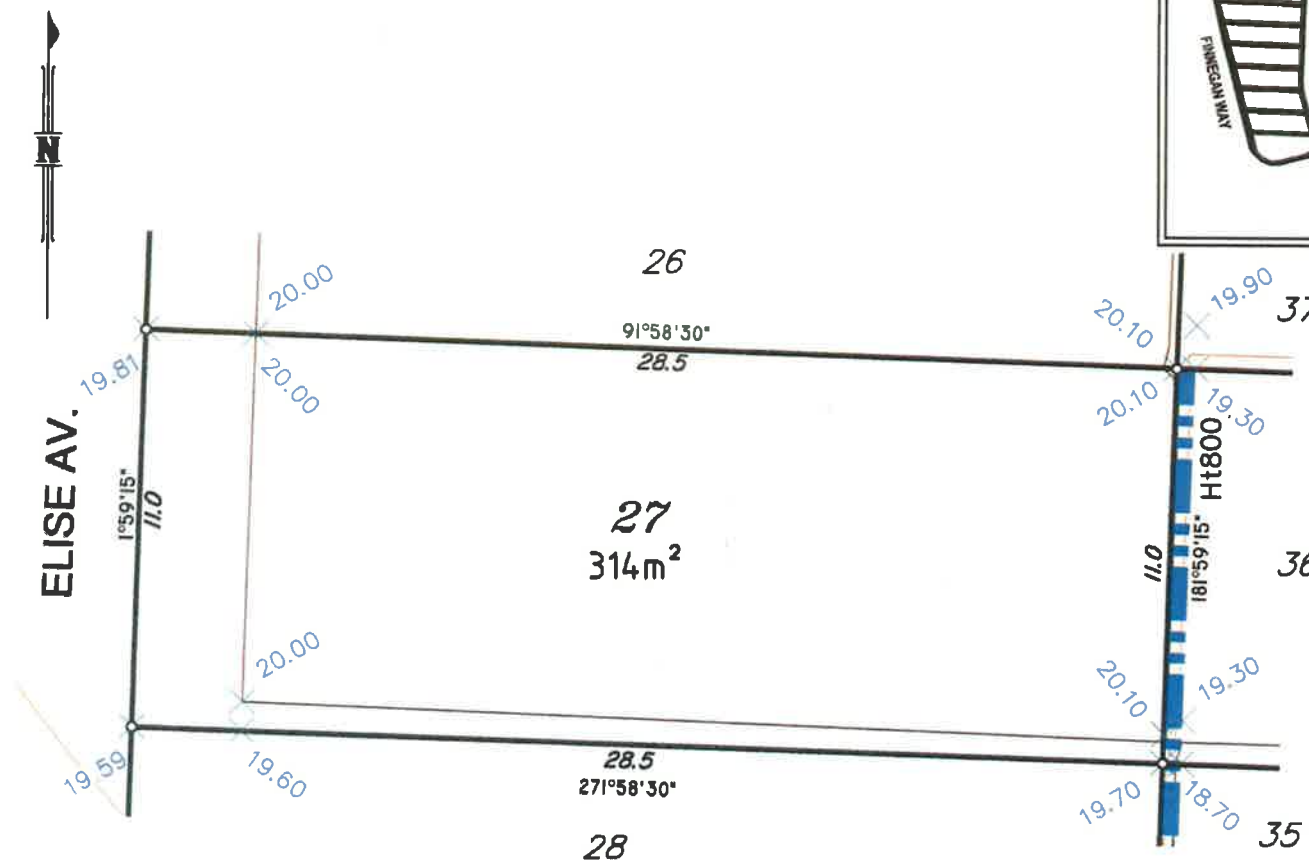
DISCLOSURE PLAN

PROJECT Lot 26,
#43 Finnegan Way, Coomera, Stage 1
Proposed Subdivision of Lot 1 on SP250201 & Lot 900 on SP250193

REVISION

PROJECT No.	SCALE	SHEET	DATE
7040.36_DIS	1:200@A4	26 of 55	30/05/2019

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.



1.5 ——— Fill Depth (0.5m Interval)

1.0 ——— Final Contours (0.5m interval)

———— Retaining wall (Indicative position only)

———— Fill

Design levels

Well heights (mm)

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF ACCOMPANYING A SALES CONTRACT AND MUST NOT BE USED FOR ANY OTHER PURPOSE.



Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721. Facsimile: (07) 4722 2778

1. This plan shows details of Proposed Lot 27 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

Signed: _____ Date: _____

30.5.2019

PROJECT	Lot 27, #43 Finnegan Way, Coomera, Stage 1 Proposed Subdivision of Lot 1 on SP250201 & Lot 900 on SP250193	RE
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REVISION

PROJECT No.	SCALE	SHEET	DATE
7040.36 DIS	1:200@A4	27 of 55	30/05/2019

Compaction Statement

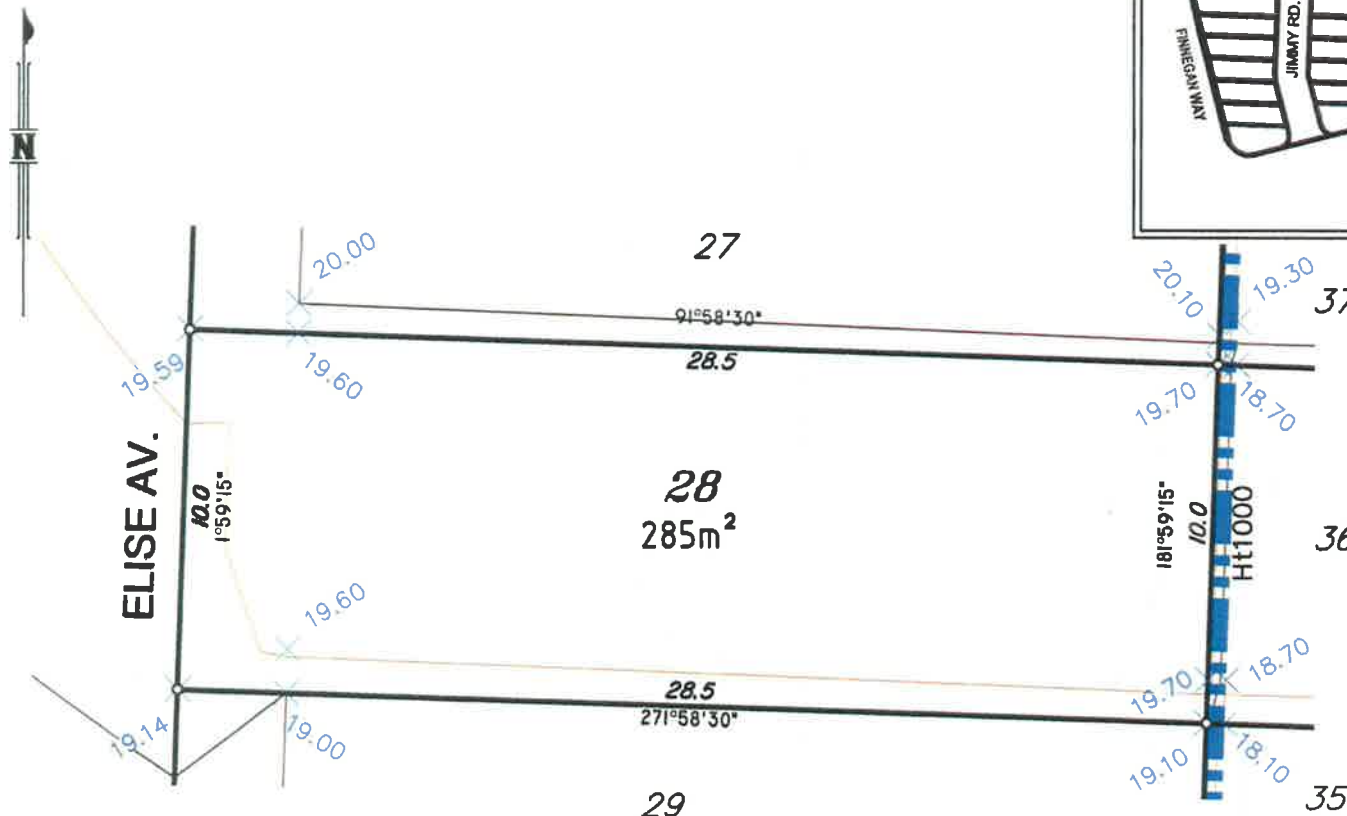
The earthworks must be carried out in accordance with AS 3798-2007

Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP

(Not to Scale)



FEATURE LEGEND

- 1.5 Fill Depth (0.5m Interval)
- 1.0 Final Contours (0.5m Interval)
- Retaining wall (indicative position only)
- Fill
- Design levels
- Wall heights (mm)

NOTES:

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF ACCOMPANYING A SALES CONTRACT AND MUST NOT BE USED FOR ANY OTHER PURPOSE.



DISCLAIMER

Areas and dimensions shown hereon are subject to final survey. Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed: _____ Date: _____

30.5.2019

DISCLOSURE PLAN

PROJECT Lot 28,
#43 Finnegan Way, Coomera, Stage 1
Proposed Subdivision of Lot 1 on
SP250201 & Lot 900 on SP250193

REVISION

PROJECT No.	SCALE	SHEET	DATE
7040.36_DIS	1:200@A4	28 of 55	30/05/2019



Email: 'mail@adcojd.com.au' Web: adcojd.com.au

Brisbane: Level 1/55 Douglas Street, Milton
Phone: (07) 3333 1965, Facsimile: (07) 3333 1966

Rockhampton: 7/67 East Street, Rockhampton
Phone: (07) 4199 6317, Facsimile: (07) 4922 6906

Gold Coast: Suite 212 Lakeside Corporate Space
Phone: (07) 5593 4099, Facsimile: (07) 5593 6066

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

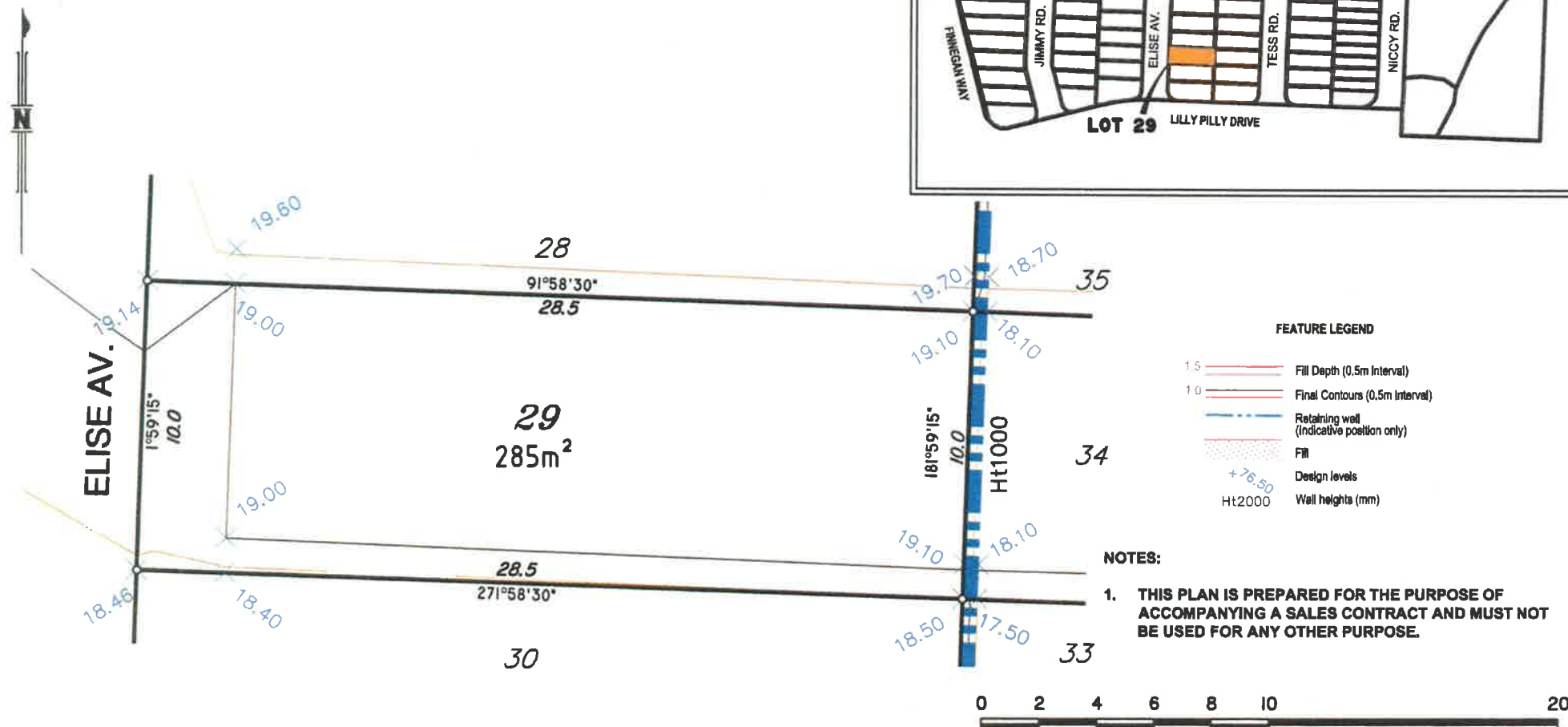
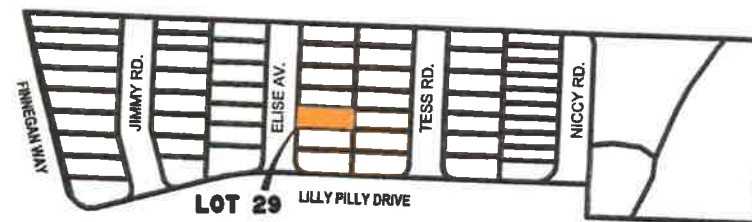
1. This plan shows details of Proposed Lot 28 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007
Guidelines on earthworks for commercial and residential
developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of
field density testing must be in accordance with Table 8.1 of AS
3798-2007.

LOCALITY MAP (Not to Scale)



FEATURE LEGEND

- 1.5 ——— Fill Depth (0.5m Interval)
- 1.0 ——— Final Contours (0.5m Interval)
- Retaining wall (Indicative position only)
- Fill
- +76.50 Design levels
- Ht2000 Wall heights (mm)

NOTES:

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF
ACCOMPANYING A SALES CONTRACT AND MUST NOT
BE USED FOR ANY OTHER PURPOSE.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey.
Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

30.5.2019

DISCLOSURE PLAN

PROJECT Lot 29,
#43 Finnegan Way, Coomera, Stage 1
Proposed Subdivision of Lot 1 on
SP250201 & Lot 900 on SP250193

REVISION

PROJECT No. 7040.36_DIS	SCALE 1:200@A4	SHEET 29 of 55	DATE 30/05/2019
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Email: mail@adcgld.com.au Web: adcgld.com.au

Brisbane: Level 1/55 Douglas Street, Milton
Phone: (07) 3333 1986, Facsimile: (07) 3333 1986

Gold Coast: Suite 212 Lakeside Corporate Space
Phone: (07) 5593 4099, Facsimile: (07) 5593 8066

Rockhampton: 7/67 East Street, Rockhampton
Phone: (07) 4199 8317, Facsimile: (07) 4922 8908

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 29 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

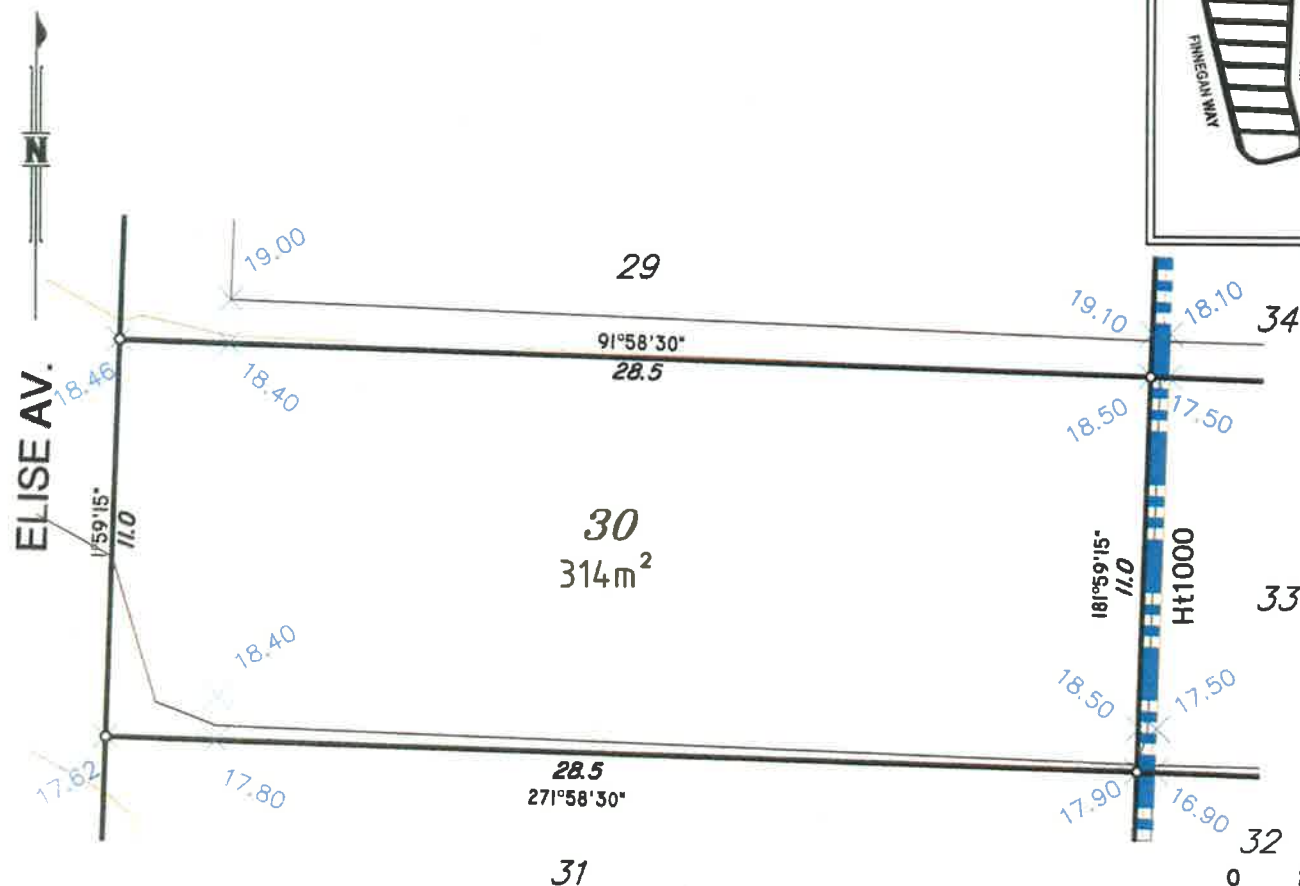
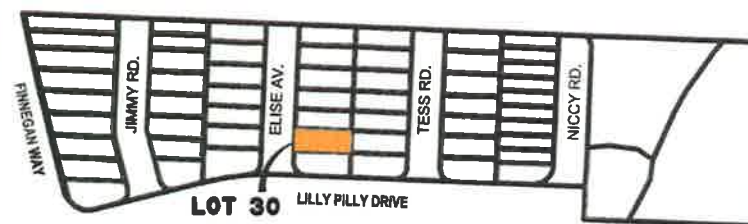
Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP

(Not to Scale)



FEATURE LEGEND

- 1.5 ——— Fill Depth (0.5m interval)
- 1.0 ——— Final Contours (0.5m interval)
- Retaining wall (indicative position only)
- Fill
- +76.50 Design levels
- Ht2000 Wall heights (mm)

NOTES:

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF ACCOMPANYING A SALES CONTRACT AND MUST NOT BE USED FOR ANY OTHER PURPOSE.



DISCLAIMER

Areas and dimensions shown hereon are subject to final survey. Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

30.5.2019

DISCLOSURE PLAN

PROJECT Lot 30,
#43 Finnegan Way, Coomera, Stage 1
Proposed Subdivision of Lot 1 on
SP250201 & Lot 900 on SP250193

REVISION

PROJECT No. 7040.36_DIS	SCALE 1:200@A4	SHEET 30 of 55	DATE 30/05/2019
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Email: 'mail@adcojld.com.au' Web: adcojld.com.au

Brisbane: Level 1/56 Douglas Street, Milton
Phone: (07) 3333 1985, Facsimile: (07) 3333 1986

Gold Coast: Suite 212 Lakeside Corporate Space
Phone: (07) 5593 4099, Facsimile: (07) 5593 8066

Rockhampton: 7/67 East Street, Rockhampton
Phone: (07) 4199 8317, Facsimile: (07) 4922 6908

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 30 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.

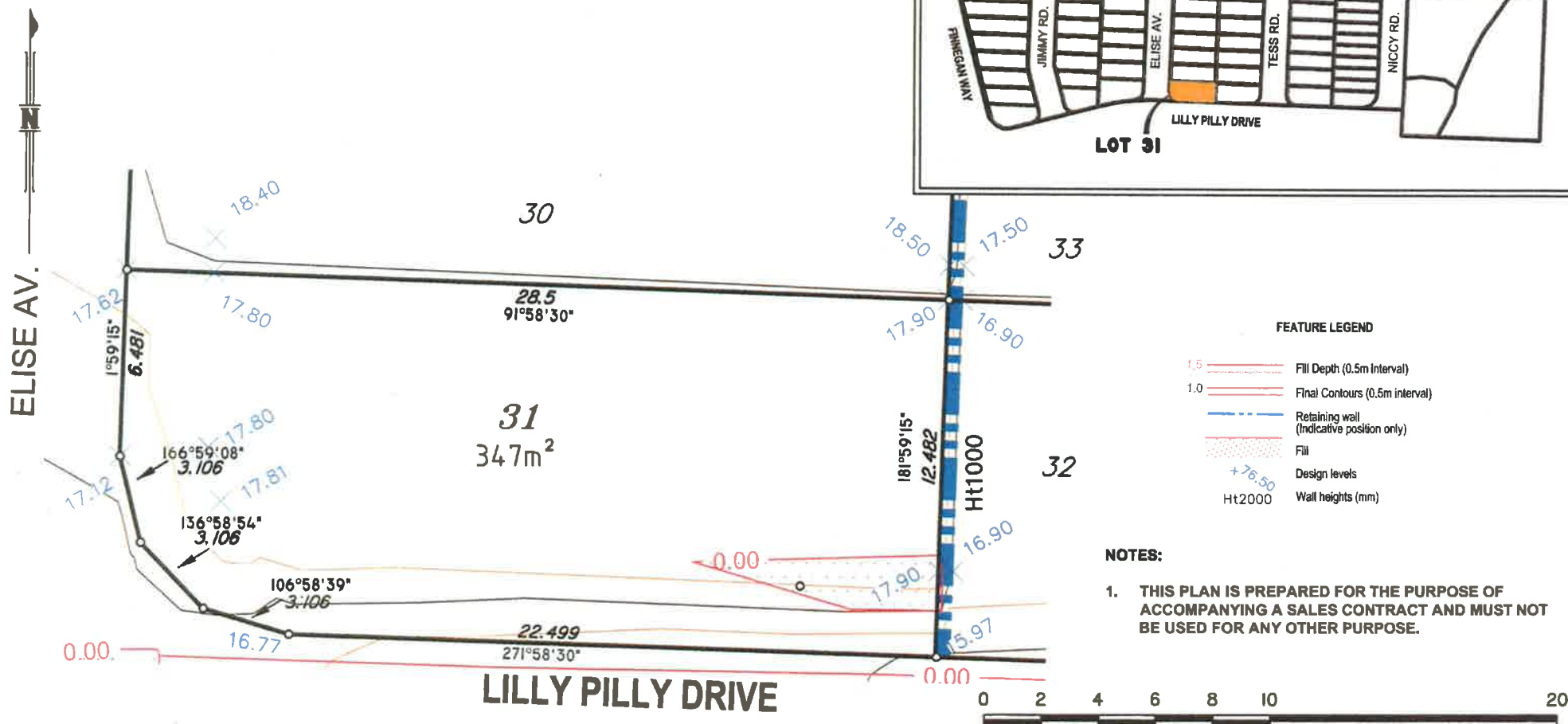
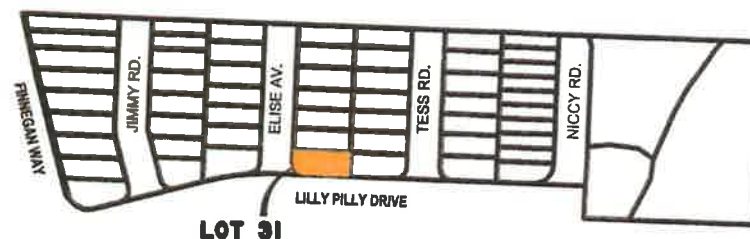
Compaction Statement

The earthworks must be carried out in accordance with AS 3798-2007 Guidelines on earthworks for commercial and residential developments.

Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

LOCALITY MAP

(Not to Scale)



FEATURE LEGEND

- 1.5 Fill Depth (0.5m Interval)
- 1.0 Final Contours (0.5m interval)
- Retaining wall (indicative position only)
- Fill
- Design levels
- Ht2000 Wall heights (mm)

NOTES:

1. THIS PLAN IS PREPARED FOR THE PURPOSE OF ACCOMPANYING A SALES CONTRACT AND MUST NOT BE USED FOR ANY OTHER PURPOSE.

DISCLAIMER

Areas and dimensions shown hereon are subject to final survey. Boundary corners have not yet been marked at the date of this plan.

Arnold & Arnold (Gold Coast) Pty. Ltd.
Land Surveyors and Town Planners

Signed:

Date:

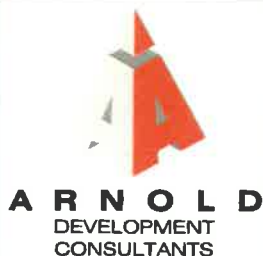
30.5.2019

DISCLOSURE PLAN

PROJECT Lot 31,
#43 Finnegan Way, Coomera, Stage 1
Proposed Subdivision of Lot 1 on
SP250201 & Lot 900 on SP250193

REVISION

PROJECT No.	SCALE	SHEET	DATE
7040.36_DIS	1:200@A4	31 of 55	30/05/2019



Email: 'mailto:mail@adcojd.com.au' Web: adcojd.com.au

Brisbane: Level 1/55 Douglas Street, Milton
Phone: (07) 3333 1985, Facsimile: (07) 3333 1986

Gold Coast: Suite 212 Lakeside Corporate Space
Phone: (07) 5593 4089, Facsimile: (07) 5593 8066

Rockhampton: 7/67 East Street, Rockhampton
Phone: (07) 4189 6317, Facsimile: (07) 4822 6908

Townsville: Level 1/25 Sturt Street, Townsville
Phone: (07) 4722 2721, Facsimile: (07) 4722 2778

Disclosure Statement

1. This plan shows details of Proposed Lot 31 and New road which cancel Lot 1 on SP 250201, situated in Coomera.
2. For all engineering design works and services locations please refer to the Consulting Engineers Drawings.