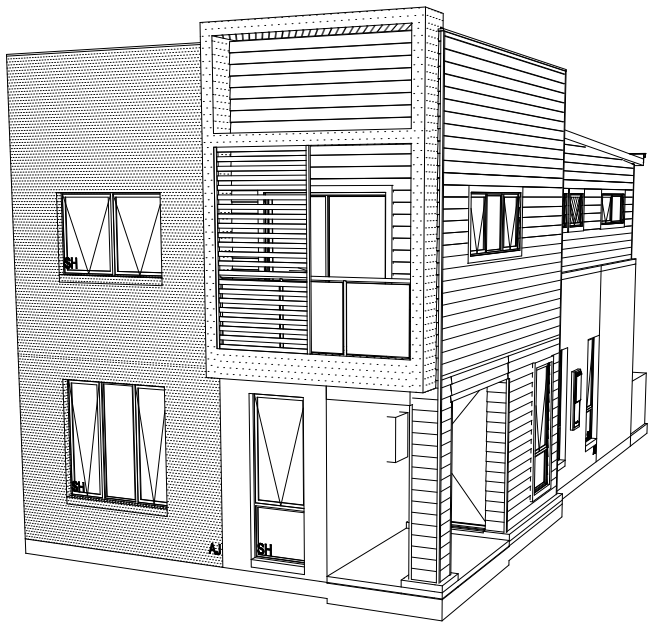


SHEET INDEX

No.	NAME
1	COVER SHEET
2	SITE PLAN
3	WATER MANAGEMENT PLAN
4	GROUND FLOOR PLAN
5	FIRST FLOOR PLAN
6	DOOR & WINDOW SCHEDULES
7	ELEVATIONS / SECTION
8	ELEVATIONS
9	KITCHEN DETAILS
10	BATHROOM DETAILS
11	ENSUITE DETAILS
12	POWDER ROOM / LAUNDRY DETAILS
13	FLOOR COVERINGS
14	SLAB PLAN
15	DRAINAGE PLAN

88B INSTRUMENT CHECKED AND ACKNOWLEDGED
CLAUSES 1, 5, 6, 7, 8 + 9 APPLY

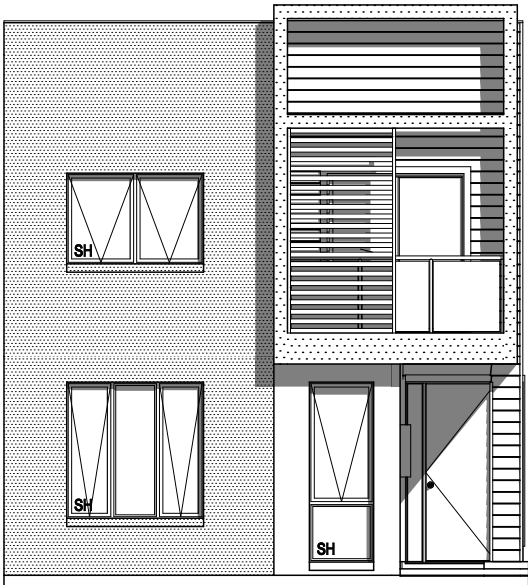
3D IMAGE



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AGGRESSIVE SOIL REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

AGGRESSIVE SOIL REQUIREMENTS
PROVIDE ADDITIONAL STRUCTURAL REQUIREMENTS, DUE TO BUILDING IN AN 'AGGRESSIVE SOIL ENVIRONMENT'. THIS SHALL INCLUDE THE FOLLOWING:-
A. PROVIDE 25MPa CONCRETE TO THE PIERS AND FLOOR SLABS IN LIEU OF STANDARD.
B. PROVIDE HIGH IMPACT MEMBRANE BELOW THE FLOOR SLAB
C. PROVIDE A MIN. 50mm BLINDING LAYER OF SAND UNDERNEATH THE FLOOR STRUCTURE.
D. PROVIDE POLYETHYLENE DAMP PROOF COURSE TO THE EXTERNAL WALLS IN LIEU OF STANDARD.
E. USE EXPOSURE GRADE MORTAR BELOW DAMP PROOF COURSE N LIEU OF STANDARD.
F. USE EXPOSURE GRADE BRICKWORK FROM OUR STANDARD RANGE BELOW THE DAMP PROOF COURSE



SUSTAINABILITY COMMITMENTS

WATER COMMITMENTS

3 STAR (> 7.5 BUT <= 9 L/MIN) SHOWER HEADS
4 STAR TOILET SUITES
4 STAR KITCHEN TAPS
4 STAR BATHROOM TAPS

89.94 m² TOTAL ROOF AREA

2400 L WATER TANK(S) MINIMUM CAPACITY
89.94 m² MINIMUM ROOF AREA TO TANK(S)

RAINWATER TANK(S) TO BE CONNECTED TO:
- AT LEAST ONE OUTDOOR TAP
- ALL TOILETS
- WASHING MACHINE

NO RETICULATED RECYCLED WATER SUPPLY

37 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

HOT WATER SYSTEM
- GAS CONTINUOUS FLOW - 5 STAR

HEATING SYSTEM
- 1-PHASE REVERSE CYCLE AIR CONDITIONING
1 STAR

COOLING SYSTEM
- 1-PHASE REVERSE CYCLE AIR CONDITIONING
1 STAR

VENTILATION (EXHAUST FANS)
- AT LEAST ONE BATHROOM:
INDIVIDUAL FAN - DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
- KITCHEN RANGEHOOD:
INDIVIDUAL FAN - DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
- LAUNDRY:
INDIVIDUAL FAN - DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF

PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER
- 3 BEDROOMS/STUDY, NON DEDICATED
- 2 LIVING/DINING AREAS, NON DEDICATED
- KITCHEN, NON DEDICATED
- ALL BATHROOMS/TOILETS, NON DEDICATED
- LAUNDRY, NON DEDICATED
- ALL HALLWAYS, NON DEDICATED

NATURAL LIGHTING TO
- KITCHEN

ALTERNATIVE ENERGY
- N/A

OTHER
- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY BUILDER
- WELL VENTILATED FRIDGE SPACE

BASIX CERTIFICATE NUMBER:
- 853359S_02

DATED:
- 2017.11.25

BUILDING INFORMATION

GROUND FLOOR CEILING HEIGHT(S): 2700mm
FIRST FLOOR CEILING HEIGHT: 2400mm
FRAMES AND TRUSSES: STEEL
ROOF PITCH (U.N.O.): 3°
ELECTRICITY SUPPLY: 3-PHASE
GAS SUPPLY: RETICULATED NATURAL

ROOF MATERIAL: SHEET METAL
ROOF COLOUR: DARK
ROOF INSULATION: R2.5 BATTS
MIN. 50mm FOIL FACED BLANKET
WHIRLYBIRDS: 1

WALL MATERIAL: BRICK VENEER + CLADDING
WALL COLOUR: N/A
WALL INSULATION: R1.5 BATTS
WALL WRAP

FLOOR INSULATION: R2.5

ENGINEERING & SITE INFORMATION

SLAB TO BE 85mm THICK (U.N.O.) REINFORCED WITH SL82 MESH(T) (U.N.O.) OVER A 200µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH NC.C. & AS 3700

PROVIDE HEBEL CONTROL JOINTS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-1998 OR AS/NZS 4600-2018

DESIGN CRITERIA

WIND RATING: N2

SITE CLASSIFICATION

SITE CLASSIFICATION IS: H1

SLAB CLASSIFICATION

SLAB CLASSIFICATION IS: H1

BASIX AREAS

CONDITIONED 131.49
UNCONDITIONED 11.69

TOTAL FLOOR AREAS

BALCONY 1.61
LIVING (FIRST FLOOR) 82.01
LIVING (GROUND FLOOR) 78.63
PATIO 8.61
PORCH 4.74
175.60 m²

CONSTRUCTION PLANS

DATE:

26/06/2019

DRAFTER:

JNO

ESTIMATOR:

MKL

DRAFTING OFFICE:

SYDNEY



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	DRAWING	DRAWN
3	GARAGE PAD ADJUSTED AS PER ENG. DETAILS	JNO 2019.05.09
4	CONSTRUCTION PLANS	JNO 2019.06.26
5	OBSURE GLASS TO ENS / WC	JNO 2019.07.30
6	INTERNAL CHANGES AS PER IHE	JNO 2019.07.31
7	INTERNAL CHANGES AS PER MKL	JNO 2019.08.21

CLIENT: -				LOT No: 151	
ADDRESS: HARVEST STREET				DP No: 1230961	
SUBURB: AUSTRAL	POSTCODE: 2179	COUNCIL: LIVERPOOL CITY	SECTION No: -		

HOUSE DESIGN: C2		HOUSE CODE: -	
FACADE DESIGN: C3		FACADE CODE: -	
SHEET TITLE: COVER SHEET		SCALES:	SHEET No: 1 / 15

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LOT 151

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

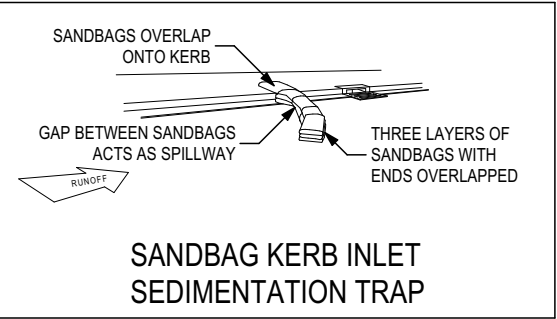
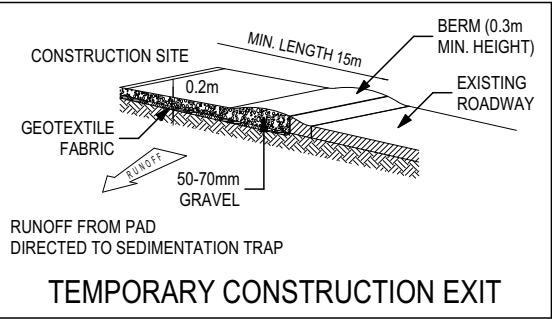
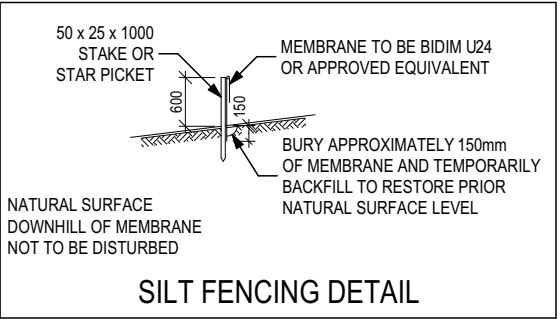
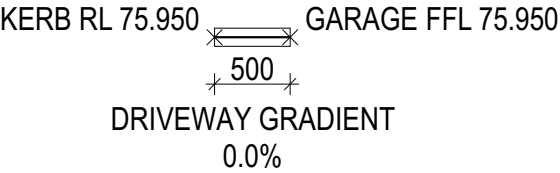
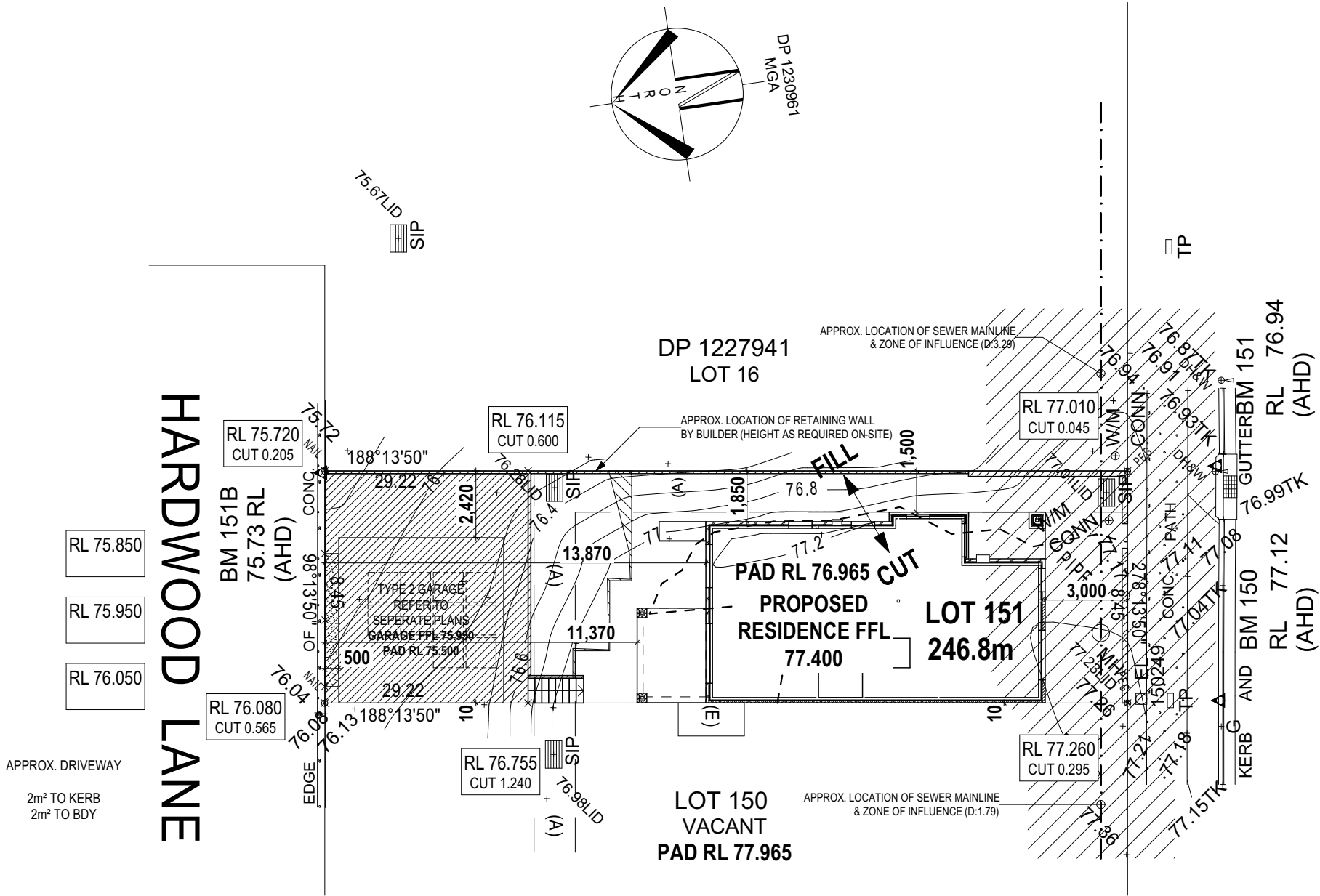
REFER TO STORMWATER PLAN FOR ALL ROOF COLLECTION AND SURFACE DRAINAGE CONNECTIONS AND DISCHARGE SYSTEMS.

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY BUILDER.

CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'CDP' ON PLAN. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

WIND CLASSIFICATION	N-2
WITHIN 1 KM. OF BREAKING SALT WATER	-
WITHIN 100 M. OF SALT WATER	-
MINIMUM AHD FLOOR LEVEL APPLICABLE	-

+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS
SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS



(A) EASEMENT FOR DRAINAGE OF WATER 1.5 WIDE
(E) EASEMENT FOR ACCESS, MAINTENANCE AND OVERHANG 1.2 WIDE No.3

CUT/FILL CALCULATIONS			
C	Vol	me (m)	Fill Vol me (m)
	58.70		4.11

TONNAGE FOR IMPORT / EXPORT:
1. CALCULATE THE DIFFERENCE BETWEEN THE CUT & FILL VOLUMES
2. MULTIPLY THE DIFFERENCE BY 2.25 TO CONVERT m³ TO TONNES

AGGRESSIVE SOIL REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

CONSTRUCTION PLANS

DATE:
26/06/2019

DRAFTER: JNO ESTIMATOR: MKL

DRAFTING OFFICE:
SYDNEY



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COUNCIL:	LIVERPOOL CITY		

HOUSE DESIGN:	C2	HOUSE CODE:	-
FACADE DESIGN:	C3	FACADE CODE:	-
SHEET TITLE:	SITE PLAN	SCALES:	1:200
		SHEET No:	2 / 15

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LOT 151

Template Version: 19.016

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPIPE DIRECTED TO TANK
SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

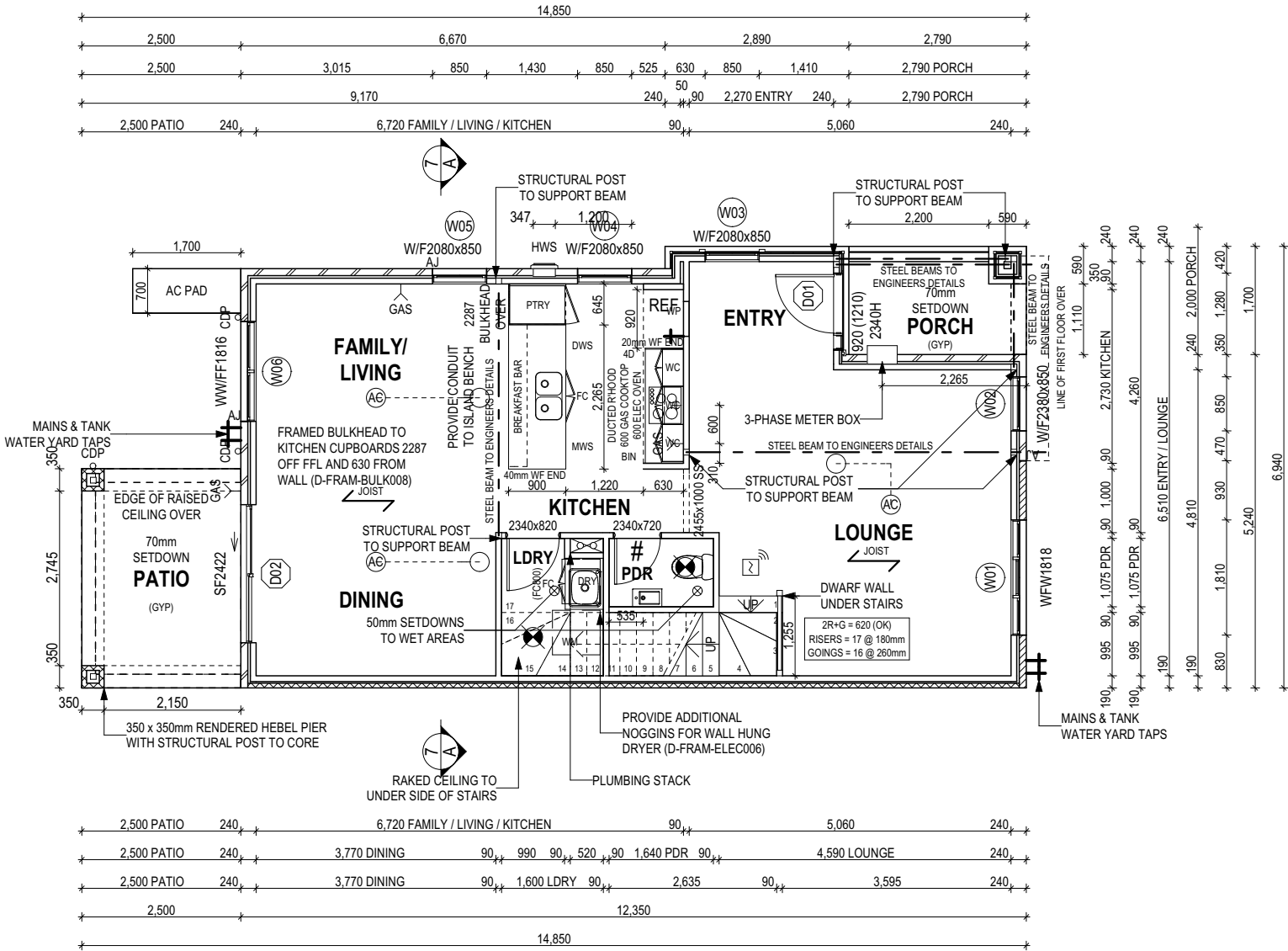
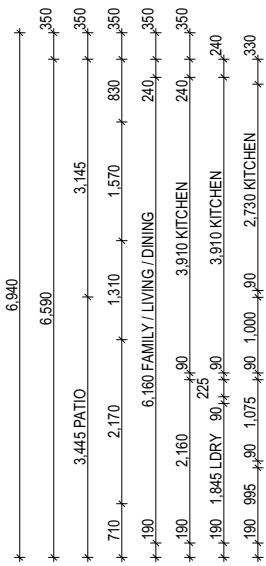
ENSURE VERTICAL DPC FLASHING TO END OF GARAGE VENEER WALLS

ALL BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2455 ABOVE FFL UNLESS NOTED OTHERWISE

ALL EXTERIOR LANDINGS AND STEPS BY BUILDER UNLESS NOTED OTHERWISE

REFER TO SHEET 4 (DOOR & WINDOW SCHEDULES) FOR FULL DETAILS OF ALL DOORS AND WINDOWS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



FLOOR PLAN LEGEND

- HS / WS HOB SPOUT / WALL SPOUT
- FACE BRICK / COMMON BRICK
- HEBEL
- SOUND INSULATION
- AJ BRICK ARTICULATION JOINT
- 3D DENOTES DRAWER SIDE
- EXHAUST FAN
- L.B.W LOAD BEARING WALL
- THIS DOOR OPENS FIRST
- SMOKE ALARM
- # LIFT OFF HINGE
- WATER POINT
- WP FRIDGE WATER POINT
- GAS GAS BAYONET

ARTICULATION JOINT LOCATION TO MANUFACTURERS SPECIFICATIONS

PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ALL ALFRESCO SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB (DOES NOT APPLY TO VERANDAH / PATIO / PORCH SLABS).

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.7.1.7(c) OF THE NCC.

AGGRESSIVE SOIL REQUIREMENTS

SEE SHEET 1 (COVER SHEET) FOR DETAILS

CONSTRUCTION PLANS

DATE:
26/06/2019

DRAFTER: ESTIMATOR:
JNO MKL

DRAFTING OFFICE:
SYDNEY

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HOUSE DESIGN:	C2	HOUSE CODE:	-
FACADE DESIGN:	C3	FACADE CODE:	-
SHEET TITLE:	GROUND FLOOR PLAN	SCALES:	1:100
		SHEET No:	4 / 15

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LOT 151

Template Version: 19.016

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- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



FIRST FLOOR BEDROOM WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY NCC D2.24 (VOLUME ONE) AND/OR NCC 3.9.2.5 (VOLUME TWO)

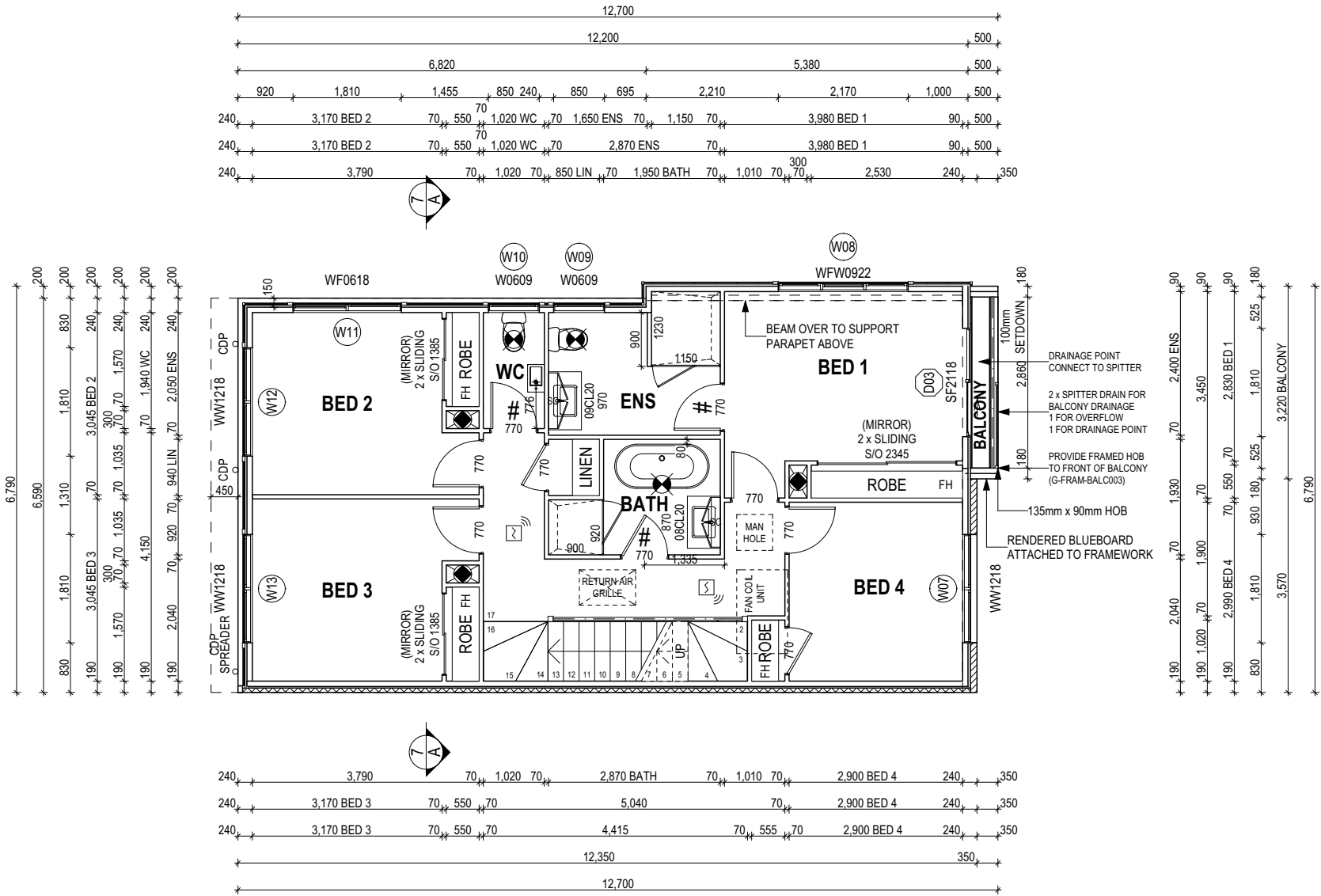
ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC 3.9.1 REQUIREMENTS

ARTICULATION JOINT LOCATION TO MANUFACTURERS SPECIFICATIONS

PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

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FLOOR PLAN LEGEND

- HS / WS HOB SPOUT / WALL SPOUT
- FACE BRICK / COMMON BRICK
- SOUND INSULATION
- AJ BRICK ARTICULATION JOINT
- 3D DENOTES DRAWER SIDE
- EXHAUST FAN
- LOAD BEARING WALL
- THIS DOOR OPENS FIRST
- SMOKE ALARM
- LIFT OFF HINGE
- WATER POINT
- FRIDGE WATER POINT
- GAS BAYONET

AGGRESSIVE SOIL REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

CONSTRUCTION PLANS

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26/06/2019

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JNO MKL

DRAFTING OFFICE:
SYDNEY

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FACADE DESIGN:	C3	FACADE CODE:	-
SHEET TITLE:	FIRST FLOOR PLAN	SCALES:	1:100
		SHEET No:	5 / 15

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Template Version: 19.016

WINDOW SCHEDULE

IDENTIFICATION			SIZE						ORIENT.	REVEAL & REVEAL COVERPLATE (CPL)				ADDITIONAL INFORMATION
ID	CODE	ROOM	HEIGHT	WIDTH	AREA (m)	FRAME	SILL TYPE	GLAZING		HEAD	SILL	LEFT	RIGHT	
W01	WFW1818	LOUNGE	1,800	1,810	3.26	ALUMINIUM	SNAP HEADER	CLEAR	S	SINGLE	SINGLE	SINGLE	SINGLE	MP 603-603
W02	W/F2380x850	LOUNGE	2,380	850	2.02	ALUMINIUM	SNAP HEADER	CLEAR	S	SINGLE	SINGLE	SINGLE	SINGLE	BP 780
W03	W/F2080x850	ENTRY	2,080	850	1.77	ALUMINIUM	NONE	CLEAR	E	SINGLE	SINGLE	SINGLE	SINGLE	BP 620
W04	W/F2080x850	KITCHEN	2,080	850	1.77	ALUMINIUM	SNAP HEADER	CLEAR	E	SINGLE	SINGLE	SINGLE	SINGLE	BP 620
W05	W/F2080x850	FAMILY / LIVING	2,080	850	1.77	ALUMINIUM	SNAP HEADER	CLEAR	E	SINGLE	SINGLE	SINGLE	SINGLE	BP 620
W06	WW/FF1816	FAMILY / LIVING	1,800	1,570	2.83	ALUMINIUM	SNAP HEADER	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	BP 620, MP 785/785
W07	WW1218	BED 4	1,200	1,810	2.17	ALUMINIUM	SNAP HEADER	CLEAR	S	SINGLE	SINGLE	SINGLE	SINGLE	MP 905
W08	WFW0922	BED 1	860	2,170	1.87	ALUMINIUM	NONE	CLEAR	E	SINGLE	SINGLE	SINGLE	SINGLE	MP 723-723
W09	W0609	ENS	600	850	0.51	ALUMINIUM	NONE	OBSCURE, TOUGHENED	E	SINGLE	SINGLE	SINGLE	SINGLE	
W10	W0609	WC	600	850	0.51	ALUMINIUM	NONE	OBSCURE, TOUGHENED	E	SINGLE	SINGLE	SINGLE	SINGLE	
W11	WF0618	BED 2	600	1,810	1.09	ALUMINIUM	NONE	CLEAR	E	SINGLE	SINGLE	SINGLE	SINGLE	MP 905
W12	WW1218	BED 2	1,200	1,810	2.17	ALUMINIUM	NONE	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	MP 905
W13	WW1218	BED 3	1,200	1,810	2.17	ALUMINIUM	NONE	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	MP 905
					23.90									

^{0.3} ASSUME LOOKING FROM OUTSIDE^{1.2} ASSUME LOOKING FROM INSIDE

EXTERIOR DOOR SCHEDULE

ID	CODE	ROOM	HEIGHT	WIDTH	AREA (m)	FRAME	SILL TYPE	GLAZING	ORIENT.	DOOR TYPE	ADDITIONAL INFORMATION
D01	920	ENTRY	2,406	1,210	2.91	TIMBER	SNAP HEADER	DOOR(S): N/A - SIDELIGHT(S): CLEAR	S	SWINGING	
D02	SF2422	FAMILY / LIVING	2,400	2,170	5.21	ALUMINIUM	SNAP HEADER	CLEAR, TOUGHENED	N	SLIDING	
D03	SF2118	BED 1	2,100	1,810	3.80	ALUMINIUM	SNAP HEADER	CLEAR, TOUGHENED	S	SLIDING	
					11.92 m²						

^{0.1} ASSUME LOOKING FROM OUTSIDE

INTERIOR DOOR SCHEDULE

TYPE	CODE	QTY	HEIGHT	WIDTH	ADDITIONAL INFORMATION
SLIDING	2 x SLIDING	1	2,040	1,370	MIRROR
SLIDING	2 x SLIDING	1	2,040	1,370	MIRROR
SLIDING	2 x SLIDING	1	2,040	2,330	MIRROR
SQUARE SET OPENING	2455x1000 SS	1	2,455	1,000	
SWINGING	2340x720	1	2,340	720	LIFT-OFF HINGES
SWINGING	2340x820	1	2,340	820	
SWINGING	770	6	2,040	770	
SWINGING	770	3	2,040	770	LIFT-OFF HINGES

PICTURE / TV RECESS & SQUARE SET WINDOW SCHEDULE

TYPE	HEIGHT	WIDTH	AREA (m)	QTY

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION


CONSTRUCTION PLANS

DATE:
26/06/2019

DRAFTER: JNO ESTIMATOR: MKL

DRAFTING OFFICE:
SYDNEY

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	DRAWING		DRAWN	
3	GARAGE PAD ADJUSTED AS PER ENG. DETAILS		JNO	2019.05.09
4	CONSTRUCTION PLANS		JNO	2019.06.26
5	OBSCURE GLASS TO ENS / WC		JNO	2019.07.30
6	INTERNAL CHANGES AS PER IHE		JNO	2019.07.31
7	INTERNAL CHANGES AS PER MKL		JNO	2019.08.21

CLIENT: -			LOT No: 151	
ADDRESS: HARVEST STREET			DP No: 1230961	
SUBURB: AUSTRAL	POSTCODE: 2179	COUNCIL: LIVERPOOL CITY	SECTION No: -	

HOUSE DESIGN: C2		HOUSE CODE: -	
FACADE DESIGN: C3		FACADE CODE: -	
SHEET TITLE: DOOR & WINDOW SCHEDULES		SCALES:	SHEET No: 6 / 15

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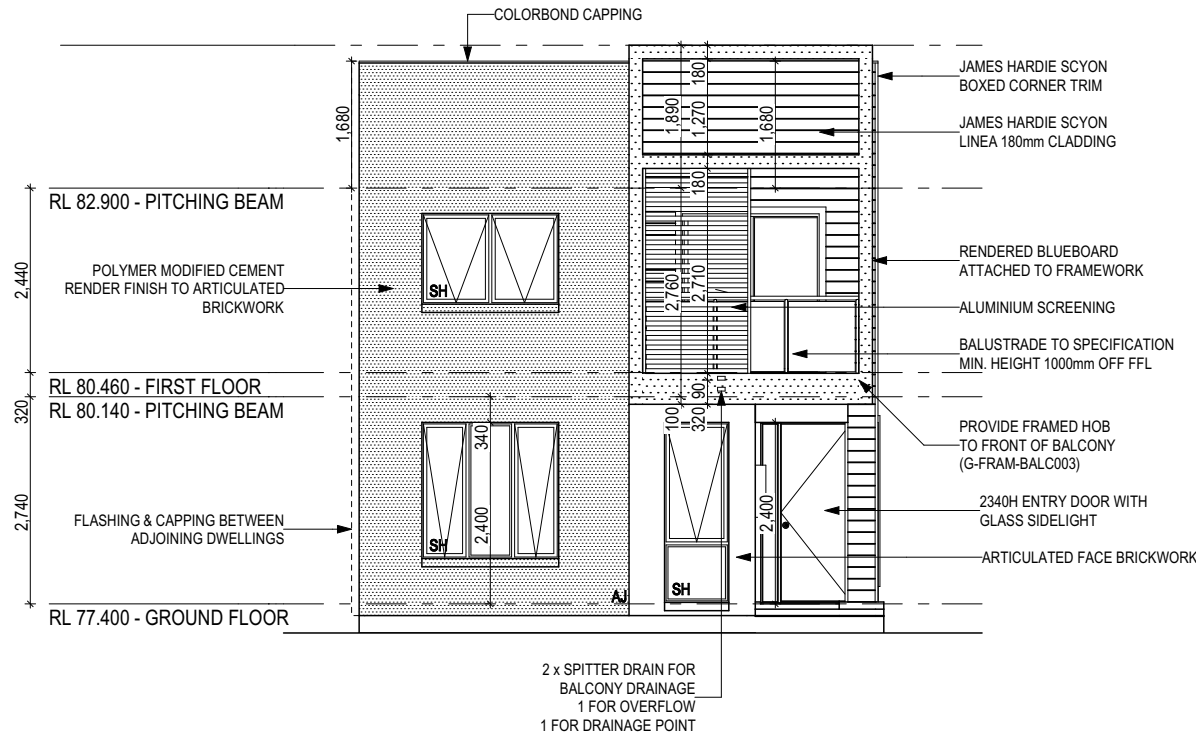
LOT 151

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

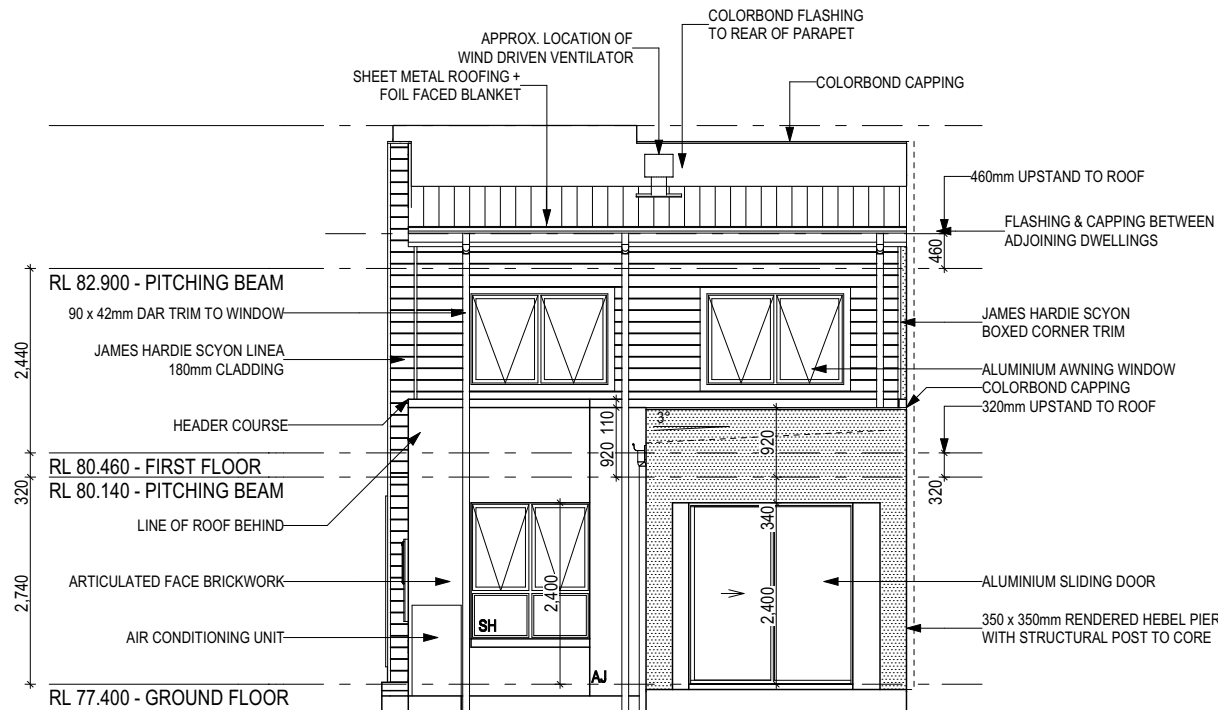
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL



FRONT ELEVATION

Scale: 1:100

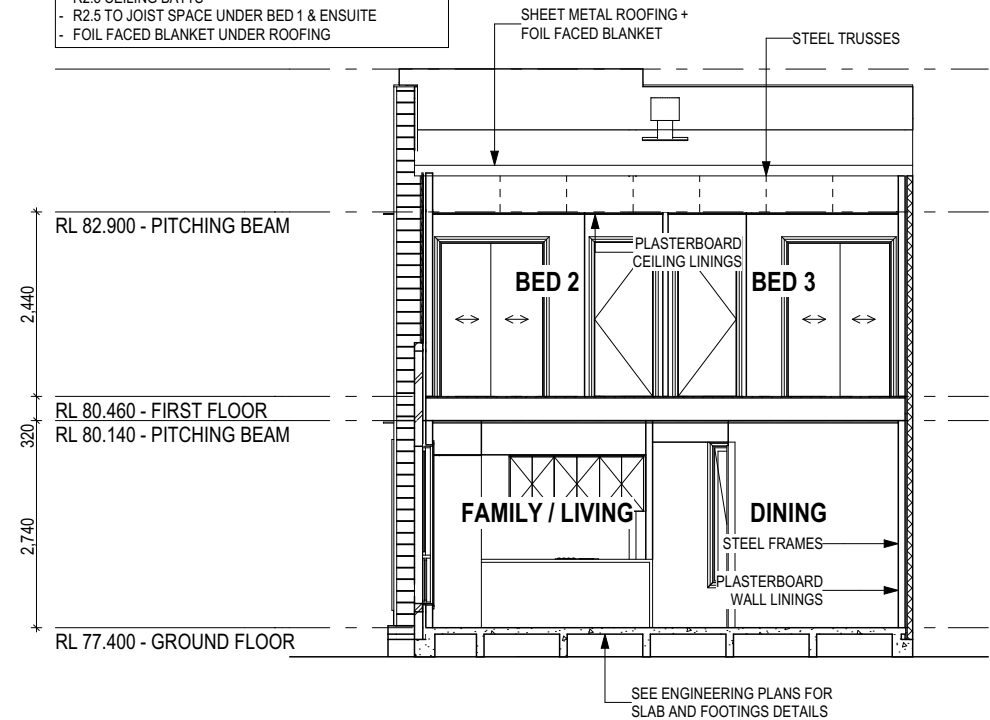


REAR ELEVATION

Scale: 1:100

INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS:

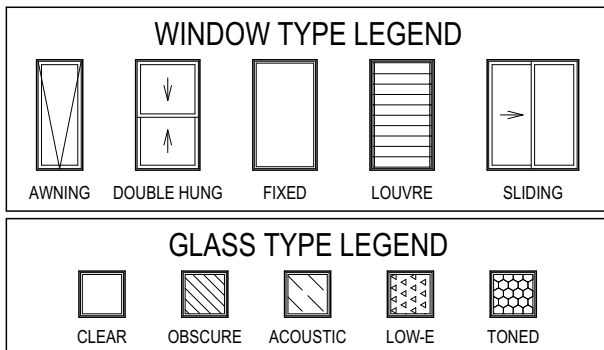
- R1.5 BATTS & WALL WRAP TO EXTERNAL WALLS
- R2.5 CEILING BATTS
- R2.5 TO JOIST SPACE UNDER BED 1 & ENSUITE
- FOIL FACED BLANKET UNDER ROOFING



SECTION A-A

Scale: 1:100

AGGRESSIVE SOIL REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



CONSTRUCTION PLANS

DATE:

26/06/2019

DRAFTER:

JNO

ESTIMATOR:

MKL

DRAFTING OFFICE:

SYDNEY

ALL CUT/FILL BATTERS ARE 1:1 MAX GRADIENT

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DRAWING	DRAWN
3 GARAGE PAD ADJUSTED AS PER ENG. DETAILS	JNO 2019.05.09
4 CONSTRUCTION PLANS	JNO 2019.06.26
5 OBSCURE GLASS TO ENS / WC	JNO 2019.07.30
6 INTERNAL CHANGES AS PER IHE	JNO 2019.07.31
7 INTERNAL CHANGES AS PER MKL	JNO 2019.08.21

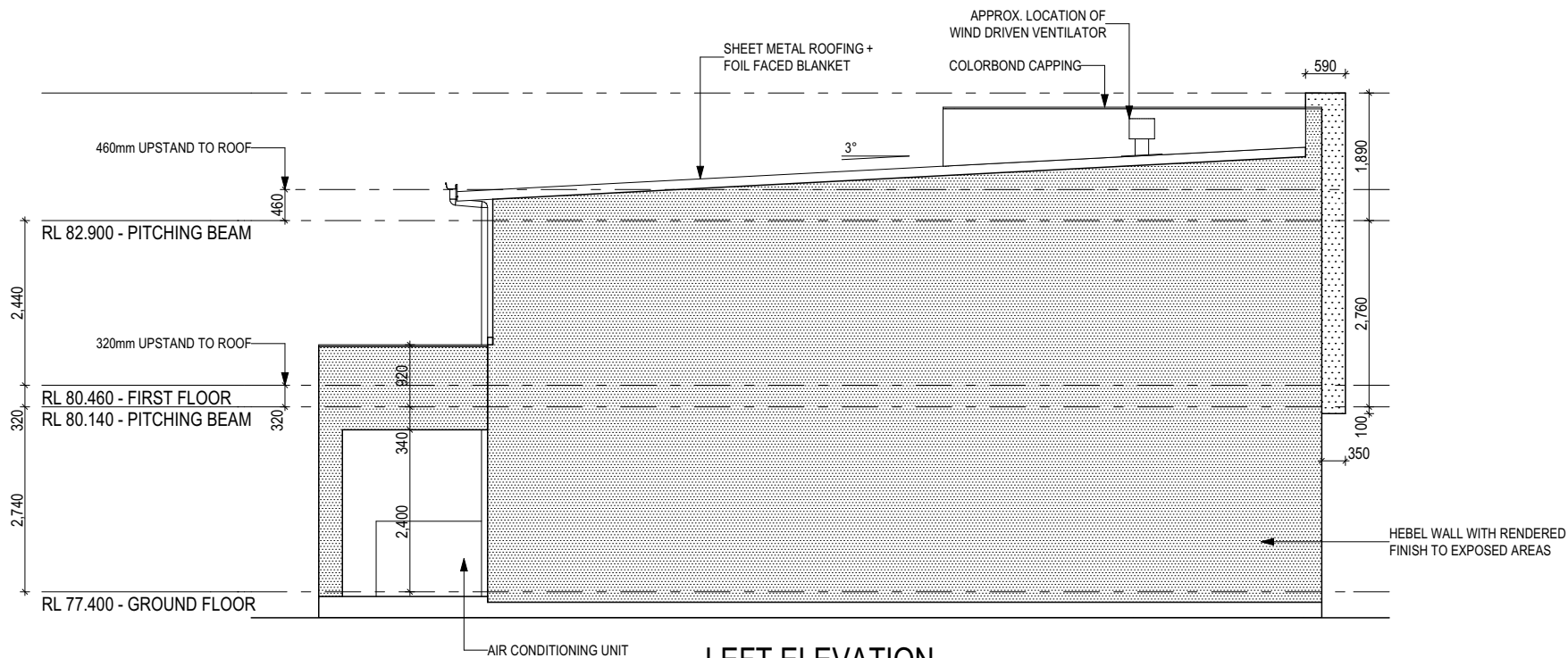
CLIENT:	-	LOT No:	151
ADDRESS:	HARVEST STREET	DP No:	1230961
SUBURB:	AUSTRAL	SECTION No:	-
POSTCODE:	2179		
COUNCIL:	LIVERPOOL CITY		

HOUSE DESIGN:	C2	HOUSE CODE:	-
FACADE DESIGN:	C3	FACADE CODE:	-
SHEET TITLE:	ELEVATIONS / SECTION	SCALES:	1:100
		SHEET No:	7 / 15

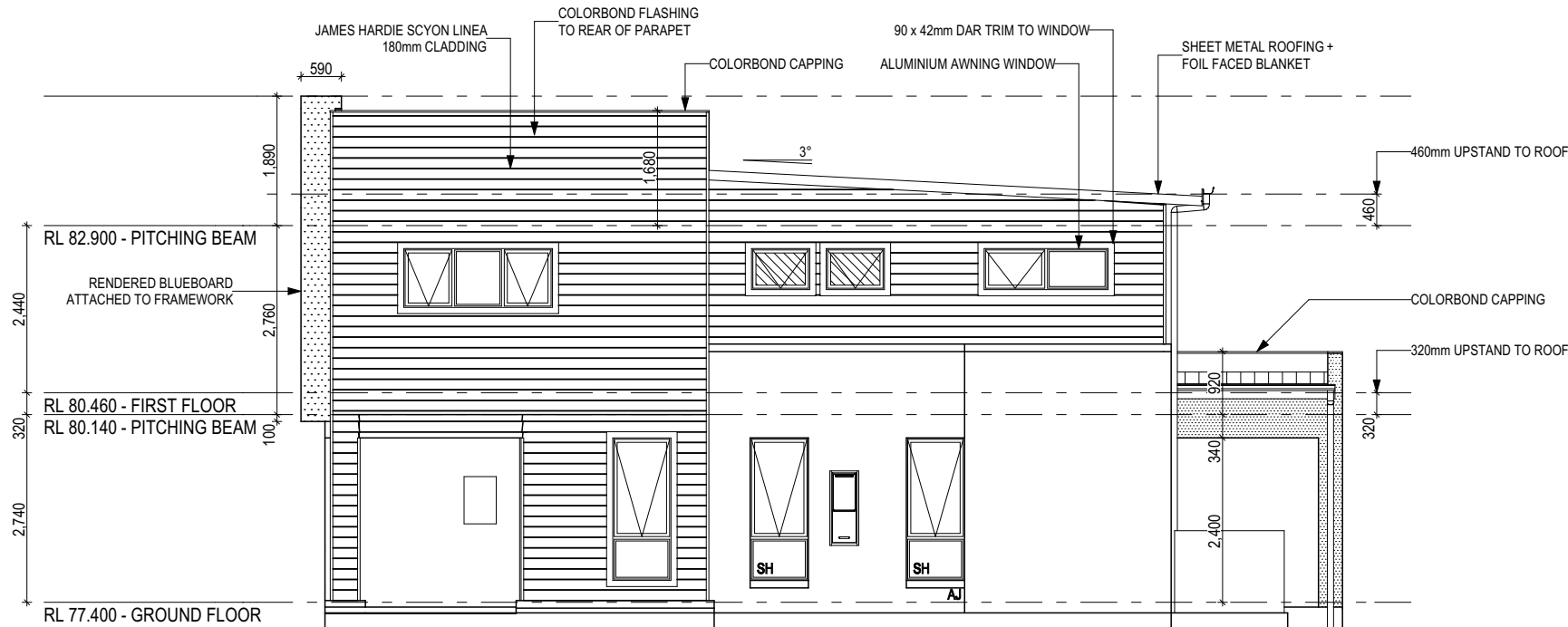
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LOT 151

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LEFT ELEVATION
Scale: 1:100



RIGHT ELEVATION
Scale: 1:100

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL

AGGRESSIVE SOIL REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

WINDOW TYPE LEGEND

AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

GLASS TYPE LEGEND

CLEAR	OBSCUR	ACOUSTIC	LOW-E	TONED

CONSTRUCTION PLANS

DATE:
26/06/2019

DRAFTER: JNO ESTIMATOR: MKL

DRAFTING OFFICE:
SYDNEY

ALL CUT/FILL BATTERS ARE 1:1 MAX GRADIENT

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DRAWING		DRAWN	
3	GARAGE PAD ADJUSTED AS PER ENG. DETAILS	JNO	2019.05.09
4	CONSTRUCTION PLANS	JNO	2019.06.26
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6	INTERNAL CHANGES AS PER IHE	JNO	2019.07.31
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CLIENT: -		LOT No: 151	
ADDRESS: HARVEST STREET		DP No: 1230961	
SUBURB: AUSTRAL	POSTCODE: 2179	COUNCIL: LIVERPOOL CITY	SECTION No: -

HOUSE DESIGN: C2		HOUSE CODE: -	
FACADE DESIGN: C3		FACADE CODE: -	
SHEET TITLE: ELEVATIONS		SCALES: 1:100	SHEET No: 8 / 15

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LOT 151	

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

CDP

CHARGED DOWNPIPE DIRECTED TO TANK

SDP

STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ENSURE VERTICAL DPC FLASHING TO END OF GARAGE VENEER WALLS

ALL BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

ALL EXTERIOR LANDINGS AND STEPS BY BUILDER UNLESS NOTED OTHERWISE

REFER TO SHEET 4 (DOOR & WINDOW SCHEDULES) FOR FULL DETAILS OF ALL DOORS AND WINDOWS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:

A

B

C

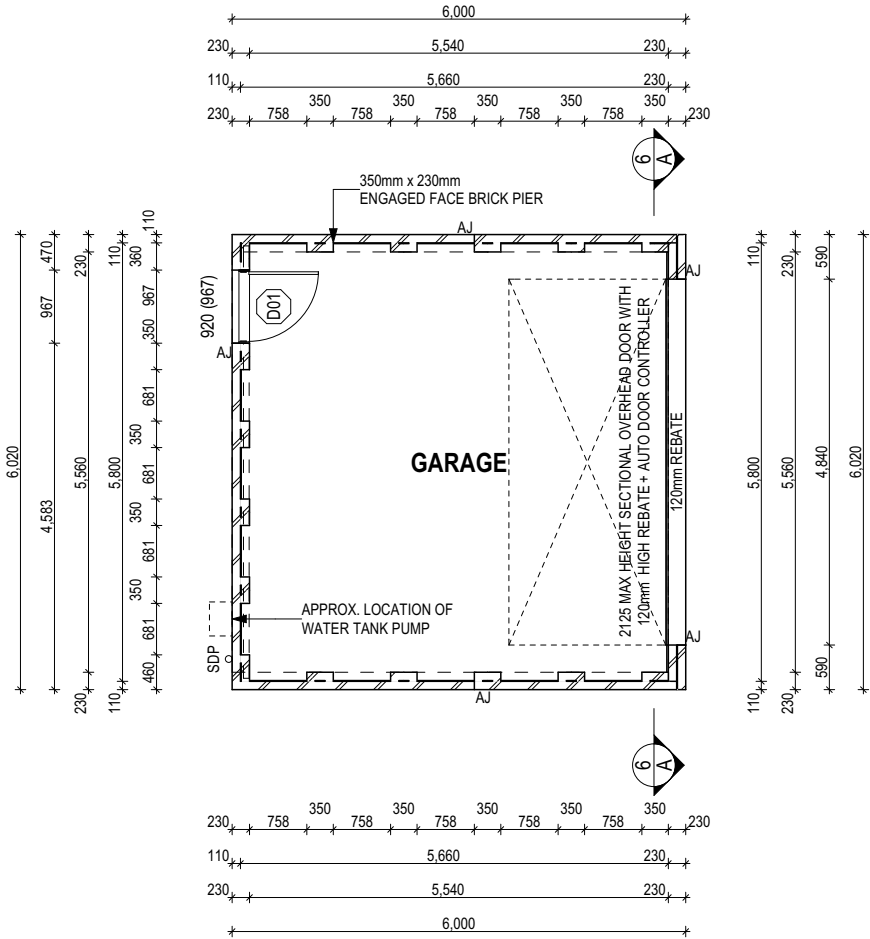
D

PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ALL ALFRESCO SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB (DOES NOT APPLY TO VERANDAH / PATIO / PORCH SLABS).

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.7.1.7(c) OF THE NCC.



FLOOR PLAN LEGEND

- HS / WS

HOB SPOUT / WALL SPOUT
- FACE BRICK / COMMON BRICK
- HEBEL
- SOUND INSULATION
- AJ

BRICK ARTICULATION JOINT
- 3D

DENOTES DRAWER SIDE
- EXHAUST FAN
- L.B.W

LOAD BEARING WALL
- THIS DOOR OPENS FIRST
- SMOKE ALARM
- #

LIFT OFF HINGE
- +

WATER POINT
- WP

FRIDGE WATER POINT
- GAS

GAS BAYONET

ALL DIMENSIONS ARE FRAME DIMENSIONS

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AGGRESSIVE SOIL REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

CONSTRUCTION PLANS

DATE:
26/06/2019

DRAFTER: JNO ESTIMATOR: MKL

DRAFTING OFFICE:
SYDNEY



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	DRAWING	DRAWN
1	PRELIMINARY PLANS	JNO 2019.03.22
2	ALL REPORTS	JNO 2019.05.03
3	GARAGE PAD ADJUSTED AS PER ENG. DETAILS	JNO 2019.05.09
4	CONSTRUCTION PLANS	JNO 2019.06.26

CLIENT: -	LOT No: 151
ADDRESS: HARVEST STREET	DP No: 1230961
SUBURB: AUSTRAL	POSTCODE: 2179
COUNCIL: LIVERPOOL CITY	SECTION No: -

HOUSE DESIGN: TYPE 2 - 6020mm WIDTH	HOUSE CODE: H-
FACADE DESIGN: -	FACADE CODE: F-
SHEET TITLE: GROUND FLOOR PLAN	SCALES: 1:100
	SHEET No: 4 / 8

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LOT 151

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WINDOW SCHEDULE

[illegible]

0,3 ASSUME LOOKING FROM OUTSIDE 1,2 ASSUME LOOKING FROM INSIDE

EXTERIOR DOOR SCHEDULE

[illegible]

^{0,1} ASSUME LOOKING FROM OUTSIDE

INTERIOR DOOR SCHEDULE

[illegible]

PICTURE / TV RECESS & SQUARE SET WINDOW SCHEDULE

[illegible]

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

CONSTRUCTION PLANS

DATE:

26/06/2019

DRAFTER:

JNO

ESTIMATOR:

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	DRAWING	DRAWN	
1	PRELIMINARY PLANS	JNO	2019.03.22
2	ALL REPORTS	JNO	2019.05.03
3	GARAGE PAD ADJUSTED AS PER ENG. DETAILS	JNO	2019.05.09
4	CONSTRUCTION PLANS	JNO	2019.06.26

CLIENT: -		LOT No: 151	
ADDRESS: HARVEST STREET		DP No: 1230961	
SUBURB: AUSTRAL	POSTCODE: 2179	COUNCIL: LIVERPOOL CITY	SECTION No: -

HOUSE DESIGN: TYPE 2 - 6020mm WIDTH	HOUSE CODE: H-	
FACADE DESIGN: -	FACADE CODE: F-	
SHEET TITLE: DOOR & WINDOW SCHEDULES	SCALES:	SHEET No: 5 / 8

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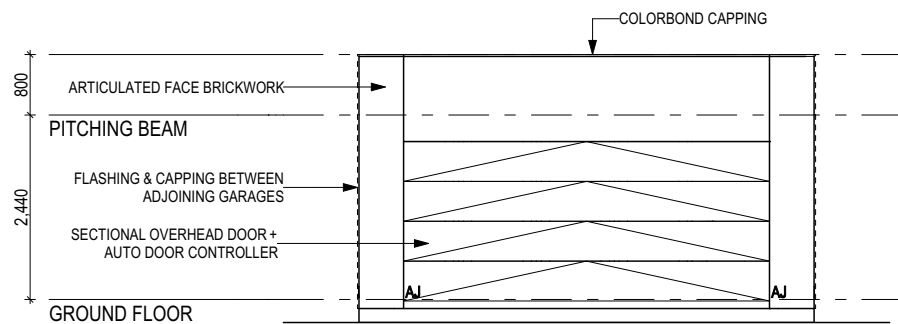
LOT 151

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Template Version: 19.016

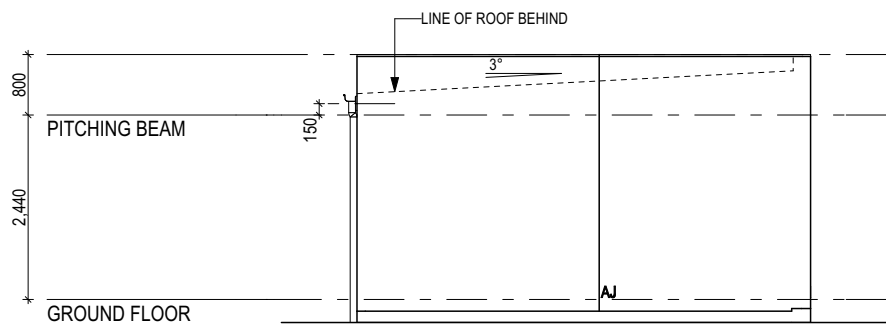
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

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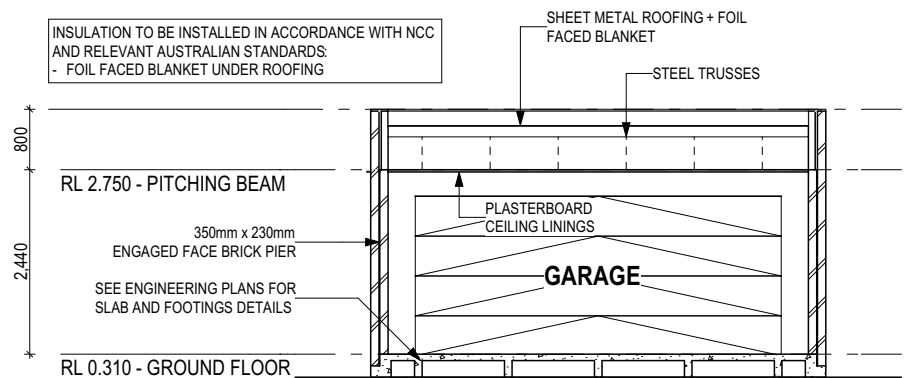
SH = SNAP HEADER SILL



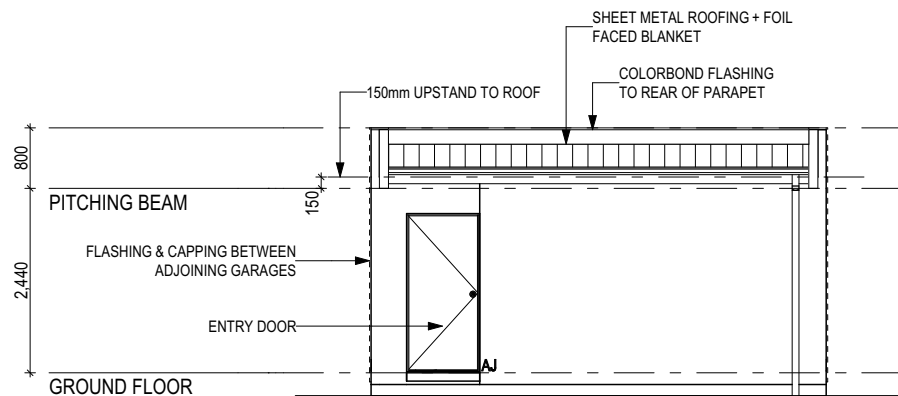
FRONT ELEVATION
Scale: 1:100



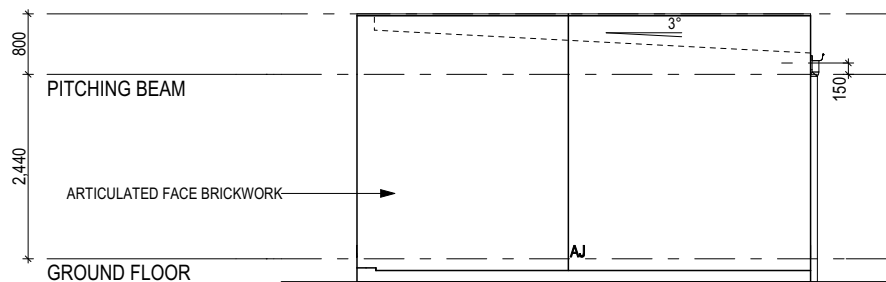
LEFT ELEVATION
Scale: 1:100



SECTION A-A
Scale: 1:100



REAR ELEVATION
Scale: 1:100



RIGHT ELEVATION
Scale: 1:100

AGGRESSIVE SOIL REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

WINDOW TYPE LEGEND

AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING
--------	-------------	-------	--------	---------

GLASS TYPE LEGEND

CLEAR	OBSCUR	ACOUSTIC	LOW-E	TONED
-------	--------	----------	-------	-------

CONSTRUCTION PLANS

DATE:
26/06/2019

DRAFTER: JNO ESTIMATOR: MKL

DRAFTING OFFICE:
SYDNEY

ALL CUT/FILL BATTERS ARE 1:1 MAX GRADIENT

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CLIENT:	-	LOT No:	151
ADDRESS:	HARVEST STREET	DP No:	1230961
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POSTCODE:	2179		
COUNCIL:	LIVERPOOL CITY		

HOUSE DESIGN:	TYPE 2 - 6020mm WIDTH	HOUSE CODE:	H-
FACADE DESIGN:	-	FACADE CODE:	F-
SHEET TITLE:	ELEVATIONS / SECTION	SCALES:	1:100
		SHEET No:	6 / 8

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