SHEET INDEX

NAME

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- 2 SITE PLAN
- 3 WATER MANAGEMENT PLAN
- **GROUND FLOOR PLAN**
- 5 FIRST FLOOR PLAN
- 6 **DOOR & WINDOW SCHEDULES**
- 7 **ELEVATIONS / SECTION**
- **ELEVATIONS**
- KITCHEN DETAILS
- 10 **BATHROOM DETAILS**
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- 12 POWDER ROOM / LAUNDRY DETAILS
- 13 FLOOR COVERINGS
- 14 SLAB PLAN
- DRAINAGE PLAN 15

AGGRESSIVE SOIL REQUIREMENTS SEE SHEET 1 (COVER SHEET) FOR DETAILS

AGGRESSIVE SOIL REQUIREMENTS

FLOOR STRUCTURE.

PROVIDE ADDITIONAL STRUCTURAL REQUIREMENTS, DUE TO BUILDING IN AN 'AGGRESSIVE SOIL ENVIRONMENT. THIS SHALL INCLUDE THE FOLLOWING:-

- PROVIDE 25MPa CONCRETE TO THE PIERS AND FLOOR SLABS IN LIEU OF STANDARD.
- PROVIDE HIGH IMPACT MEMBRANE BELOW THE FLOOR SLAB. PROVIDE A MIN. 50mm BLINDING LAYER OF SAND UNDERNEATH THE
- PROVIDE POLYETHYLENE DAMP PROOF COURSE TO THE EXTERNAL WALLS IN LIEU OF STANDARD.
- USE EXPOSURE GRADE MORTAR BELOW DAMP PROOF COURSE N LIEU OF STANDARD.
- USE EXPOSURE GRADE BRICKWORK FROM OUR STANDARD RANGE BELOW THE DAMP PROOF COURSE.



88B INSTRUMENT CHECKED AND ACKNOWLEDGED CLAUSES 1, 5, 6, 7, 8 + 9 APPLY

3D IMAGE



SUSTAINABILITY COMMITMENTS

WATER COMMITMENTS

3 STAR (> 7.5 BUT <= 9 L/MIN) SHOWER HEADS

4 STAR TOILET SUITES 4 STAR KITCHEN TAPS 4 STAR BATHROOM TAPS

89.94 m² TOTAL ROOF AREA

2400 L WATER TANK(S) MINIMUM CAPACITY 89.94 m² MINIMUM ROOF AREA TO TANK(S)

RAINWATER TANK(S) TO BE CONNECTED TO:

- AT LEAST ONE OUTDOOR TAP
- ALL TOILETS
- WASHING MACHINE

NO RETICULATED RECYCLED WATER SUPPLY

37 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

HOT WATER SYSTEM

- GAS CONTINUOUS FLOW - 5 STAR

HEATING SYSTEM

- 1-PHASE REVERSE CYCLE AIR CONDITIONING 1 STAR

COOLING SYSTEM

- 1-PHASE REVERSE CYCLE AIR CONDITIONING

VENTILATION (EXHAUST FANS)

- AT LEAST ONE BATHROOM:
- INDIVIDUAL FAN DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
- KITCHEN RANGEHOOD:
- INDIVIDUAL FAN DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
- LAUNDRY:

INDIVIDUAL FAN - DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF

PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER

- 3 BEDROOMS/STUDY, NON DEDICATED
- 2 LIVING/DINING AREAS, NON DEDICATED
- KITCHEN, NON DEDICATED
- ALL BATHROOMS/TOILETS, NON DEDICATED
- LAUNDRY, NON DEDICATED
- ALL HALLWAYS, NON DEDICATED

NATURAL LIGHTING TO

- KITCHEN

ALTERNATIVE ENERGY

OTHER

- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY BUILDER
- WELL VENTILATED FRIDGE SPACE

BASIX CERTIFICATE NUMBER:

- 853359S 02

DATED:

- 2017.11.25

BUILDING INFORMATION

GROUND FLOOR CEILING HEIGHT(S): FIRST FLOOR CEILING HEIGHT: FRAMES AND TRUSSES: ROOF PITCH (U.N.O.): ELECTRICITY SUPPLY: GAS SUPPLY:

2400mm STEEL 3-PHASE

2700mm

RETICULATED NATURAL

MIN. 50mm FOIL FACED BLANKET

ROOF MATERIAL: SHEET METAL ROOF COLOUR: **ROOF INSULATION** R2.5 BATTS

WHIRLYBIRDS:

WALL MATERIAL: BRICK VENEER + CLADDING WALL COLOUR:

R1.5 BATTS WALL WRAP

FLOOR INSULATION: R2.5

ENGINEERING & SITE INFORMATION

SLAB TO BE 85mm THICK (U.N.O.) REINFORCED WITH SL82 MESH(T) (U.N.O.) OVER A 200µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C. & AS 3700

PROVIDE HEBEL CONTROL JOINTS IN ACCORDANCE WITH MANUFACTURER'S

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-1998 OR AS/NZS 4600-2018

DESIGN CRITERIA

WALL INSULATION:

N2 WIND RATING:

SITE CLASSIFICATION

SITE CLASSIFICATION IS: H1

SLAB CLASSIFICATION

SLAB CLASSIFICATION IS: H1

BASIX AREAS

CONDITIONED 131.49 UNCONDITIONED 11.69

TOTAL FLOOR AREAS

BALCONY 1.61 LIVING (FIRST FLOOR) 82.01 LIVING (GROUND FLOOR) 78.63 PATIO 8 61 PORCH 4.74 175.60 m²

CONSTRUCTION PLANS

MKL

DATE:

26/06/2019

DRAFTER:

ESTIMATOR:

DRAFTING OFFICE:

SYDNEY

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	Ш		DRAWING		DRAWN
		3	GARAGE PAD ADJUSTED AS PER ENG. DETAILS	JNO	2019.05.09
		4	CONSTRUCTION PLANS	JNO	2019.06.26
		5	OBSCURE GLASS TO ENS / WC	JNO	2019.07.30
		6	INTERNAL CHANGES AS PER IHE	JNO	2019.07.31
)19		7	INTERNAL CHANGES AS PER MKL	JNO	2019.08.21

$\ $	CLIENT:			LOT No: 151
	ADDRESS: HARVEST STREET			DP No: 1230961
	SUBURB: AUSTRAL	POSTCODE: 2179	COUNCIL: LIVERPOOL CITY	SECTION No:

JI	THE PRIOR WRITTEN CONSENT OF MCDONALD JONES HOMES:					
1	HOUSE DESIGN:	HOUSE CODE:				
l	FACADE DESIGN:	FACADE CODE:				
	SHEET TITLE: COVER SHEET	SCALES:	SHEET No: 1 / 15			

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.OT 151

BUILDING INFORMATION REGARDING:

SUSTAINABILITY REQUIREMENTS SITE CLASSIFICATION
GENERAL BUILDING INFORMATION

REFER TO STORMWATER PLAN FOR ALL ROOF COLLECTION AND SURFACE DRAINAGE CONNECTIONS AND DISCHARGE

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS, ALI SURFACE WATER DRAINAGE BY BUILDER

CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'COP' ON PLAN. THE BUILDER PROVIDES CAPACIT FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

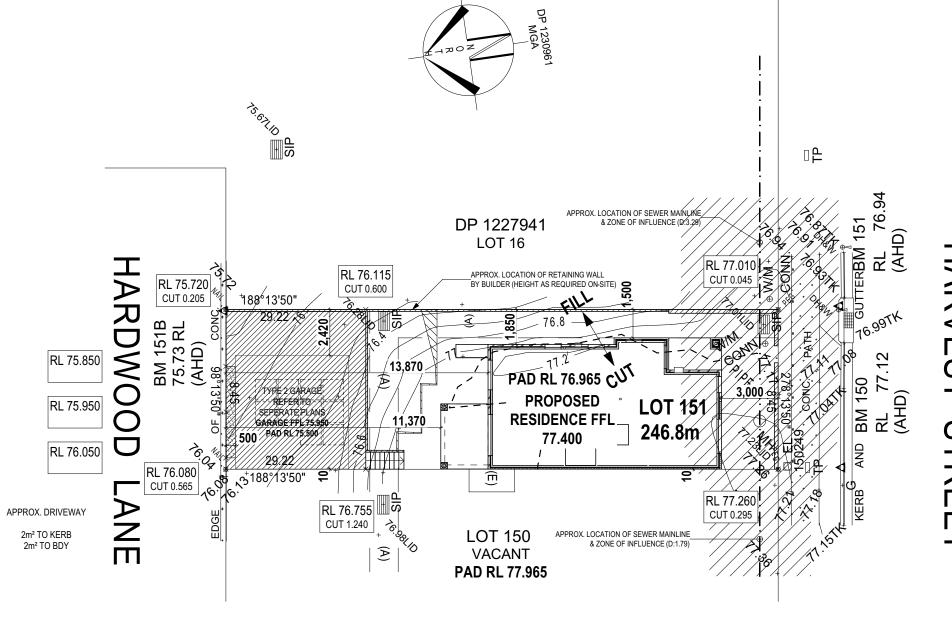
WIND CLASSIFICATION	N-2
WITHIN 1 KM. OF BREAKING SALT WATER	•
WITHIN 100 M. OF SALT WATER	•
MINIMUM AHD FLOOR LEVEL APPLICABLE	-

REFER TO SHEET 1 (COVER SHEET) FOR ALL +/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS. SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

CUT/FILL CALCULATIONS Fill Vol me (m) C Vol me (m)

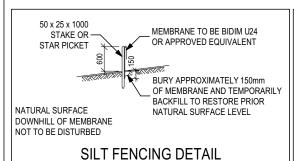
TONNAGE FOR IMPORT / EXPORT: 1. CALCULATE THE DIFFERENCE BETWEEN THE CUT & FILL VOLUMES

2. MULTIPLY THE DIFFERENCE BY 2.25 TO CONVERT m3 TO TONNES

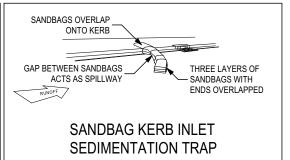


KERB RL 75.950 GARAGE FFL 75.950 _▶ 500 j

> DRIVEWAY GRADIENT 0.0%



BERM (0.3m MIN. HEIGHT CONSTRUCTION SITE EXISTING GEOTEXTILE 50-70mm RUNOFF FROM PAD DIRECTED TO SEDIMENTATION TRAP TEMPORARY CONSTRUCTION EXIT



(A) EASEMENT FOR DRAINAGE OF WATER 1.5 WIDE (E) EASEMENT FOR ACCESS, MAINTENANCE AND OVERHANG 1.2 WIDE No.3

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AGGRESSIVE SOIL REQUIREMENTS SEE SHEET 1 (COVER SHEET) FOR DETAILS

CONSTRUCTION PLANS DATE: 26/06/2019 **ESTIMATOR:** DRAFTER: MKL DRAFTING OFFICE: **SYDNEY**

complete

			DRAWING		DRAWN
	ı	3	GARAGE PAD ADJUSTED AS PER ENG. DETAILS	JNO	2019.05.0
		4	CONSTRUCTION PLANS	JNO	2019.06.2
		5	OBSCURE GLASS TO ENS / WC	JNO	2019.07.3
	ı	6	INTERNAL CHANGES AS PER IHE	JNO	2019.07.3
19	ı	7	INTERNAL CHANGES AS PER MKL	JNO	2019.08.2

	CLIENT:			LOT NO:
9	-			151
6	ADDRESS:			DP No:
0	HARVEST STREET	1230961		
1	SUBURB:	POSTCODE:		SECTION No:
1	AUSTRAL	2179	LIVERPOOL CITY	-

HOUSE DESIGN: C2	HOUSE CODE:	
FACADE DESIGN: C3	FACADE CODE:	
SHEET TITLE: SITE PLAN	SCALES: 1:200	SHEET No: 2 / 15

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING: SUSTAINABILITY REQUIREMENTS SITE CLASSIFICATION
GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPIPE DIRECTED TO TANK

SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ENSURE VERTICAL DPC FLASHING TO END OF GARAGE VENEER WALLS

ALL BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2455 ABOVE FFL UNLESS

ALL EXTERIOR LANDINGS AND STEPS BY BUILDER UNLESS NOTED OTHERWISE

REFER TO SHEET 4 (DOOR & WINDOW SCHEDULES) FOR FULL DETAILS OF ALL DOORS AND WINDOWS

FLOOR PLAN LEGEND

SOUND INSULATION

LOAD BEARING WALL

THIS DOOR OPENS FIRST

FXHAUST FAN

SMOKE ALARM

LIFT OFF HINGE WATER POINT

GAS BAYONET

FRIDGE WATER POINT

L.B.W

#

HEBEL

HOB SPOUT / WALL SPOUT

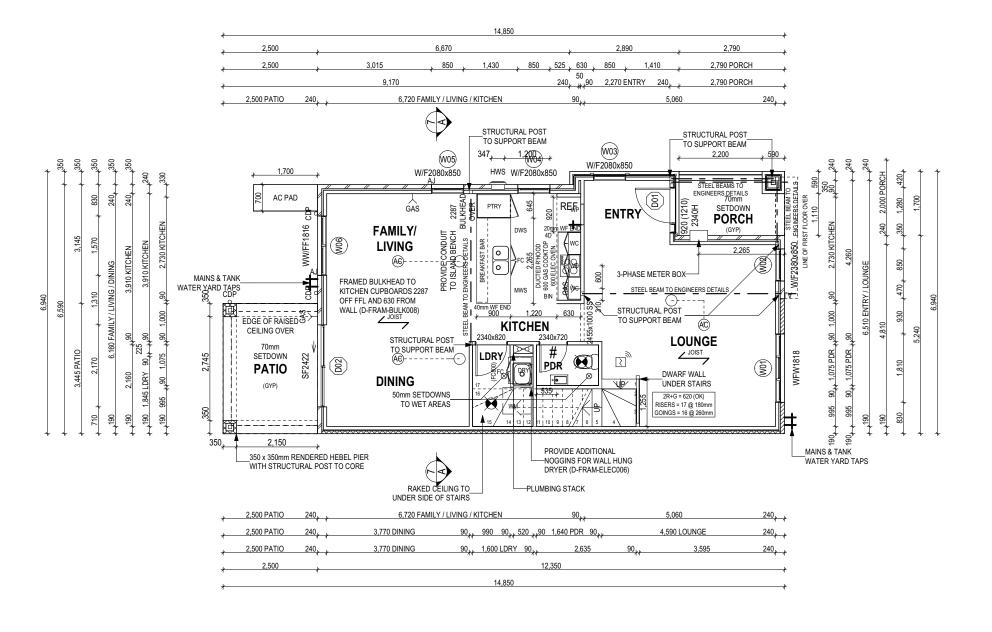
FACE BRICK / COMMON BRICK

BRICK ARTICULATION JOINT DENOTES DRAWER SIDE

ALL ROOMS ARE REFERENCED AS FOLLOWS:



ARTICULATION JOINT LOCATION TO MANUFACTURERS SPECIFICATIONS



AGGRESSIVE SOIL REQUIREMENTS

SEE SHEET 1 (COVER SHEET) FOR DETAILS

PROVIDE AND INSTALL SINGLE PHASE REVERSE

SUBJECT TO TRUSS LAYOUT AND ANY OTHER

ALL ALFRESCO SLABS TO BE GRADED BY

FRAME MANUFACTURER TO PROVIDE CLEARANCE

CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO

OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mr

OVER ENTIRE SLAB (DOES NOT APPLY TO VERANDAH

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.7.1.7(c) OF THE NCC.

FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

CONSTRUCTION CONSTRAINTS.

CYCLE AIR CONDITIONING SYSTEM. NUMBER AND

POSITIONING OF OUTLETS AND THE FINAL LOCATION

OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS

CONSTRUCTION PLANS DATE: 26/06/2019 **ESTIMATOR:** DRAFTER: MKL **DRAFTING OFFICE: SYDNEY**

ALL DIMENSIONS ARE FRAME DIMENSIONS

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	CLIENT:			LOT No:
9	-			151
3	ADDRESS:			DP No:
)	HARVEST STREET			1230961
	SUBURB:	POSTCODE:		SECTION No:
1	AUSTRAL	2179	LIVERPOOL CITY	-

ETHIOR WITTER CONCERT OF MODORALD CONCERTORIES.					
HOUSE DESIGN:	HOUSE CODE:				
FACADE DESIGN: C3	FACADE CODE:				
SHEET TITLE: GROUND FLOOR PLAN	SCALES: SF 1:100 4	HEET No: / 15			

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY, CHECK PRIOR TO THE COMMENCEMENT OF AN WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING: SUSTAINABILITY REQUIREMENTS SITE CLASSIFICATION
GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPIPE DIRECTED TO TANK

STORMWATER DISCHARGE FIRE RESISTANT PLASTERBOARD TO BE

STANDARD DOWNPIPE DIRECTED TO

INSTALLED BEHIND COOKTOP

ENSURE VERTICAL DPC FLASHING TO END OF GARAGE VENEER WALLS

ALL BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

ALL EXTERIOR LANDINGS AND STEPS BY BUILDER UNLESS NOTED OTHERWISE

REFER TO SHEET 4 (DOOR & WINDOW SCHEDULES) FOR FULL DETAILS OF ALL DOORS AND WINDOWS

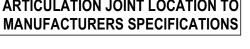
ALL ROOMS ARE REFERENCED AS FOLLOWS:

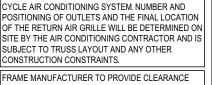


FIRST FLOOR BEDROOM WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY NCC D2.24 (VOLUME ONE) AND/OR NCC 3.9.2.5

ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC 3.9.1 REQUIREMENTS

ARTICULATION JOINT LOCATION TO

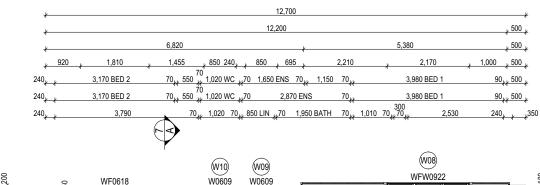


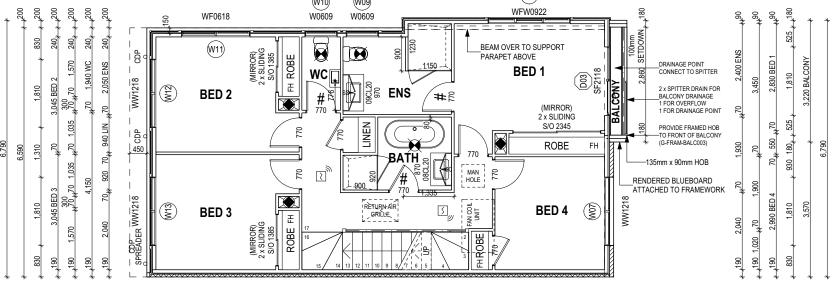


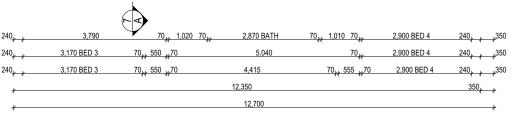
FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

PROVIDE AND INSTALL SINGLE PHASE REVERSE

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.7.1.7(c) OF THE NCC.







AGGRESSIVE SOIL REQUIREMENTS SEE SHEET 1 (COVER SHEET) FOR DETAILS

CONSTRUCTION PLANS

DATE:

26/06/2019

DRAFTER:

ESTIMATOR:

MKL

DRAFTING OFFICE:

SYDNEY

FLOOR PLAN LEGEND

HS / WS HOB SPOUT / WALL SPOUT FACE BRICK / COMMON BRICK

SOUND INSULATION

BRICK ARTICULATION JOINT DENOTES DRAWER SIDE

EXHAUST FAN

LOAD BEARING WALL L.B.W

THIS DOOR OPENS FIRST

SMOKE ALARM

LIFT OFF HINGE WATER POINT

FRIDGE WATER POINT GAS BAYONET

ALL DIMENSIONS ARE FRAME DIMENSIONS

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		4	CONSTRUCTION PLANS	JNO	2019.06.26
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	ı	6	INTERNAL CHANGES AS PER IHE	JNO	2019.07.31
	ı	7	INTERNAL CHANGES AS PER MKL	JNO	2019.08.21

	CLIEN	VI:			LOT No:
•	-				151
)	ADDR HAF	RESS: RVEST STREET			DP No: 1230961
	SUBU	IRB: STRAL	POSTCODE: 2179	COUNCIL: LIVERPOOL CITY	SECTION No:

HOUSE DESIGN: C2	HOUSE CODE:	
FACADE DESIGN: C3	FACADE CODE:	
SHEET TITLE: FIRST FLOOR PLAN	SCALES: 1:100	SHEET No: 5 / 15

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WINDOW SCHEDULE

IDENTIFICATION			SIZE	•					RE	EVEAL & REVE	AL COVERPLA	TE (CPL)	
ID CODE	ROOM	HEIGHT	WIDTH	AREA (m)	FRAME	SILL TYPE	GLAZING	ORIENT.	HEAD	SILL	LEFT	RIGHT	ADDITIONAL INFORMATION
W01 WFW1818	LOUNGE	1,800	1,810	3.26	ALUMINIUM	SNAP HEADER	CLEAR	S	SINGLE	SINGLE	SINGLE	SINGLE	MP 603-603
W02 W/F2380x850	LOUNGE	2,380	850	2.02	ALUMINIUM	SNAP HEADER	CLEAR	S	SINGLE	SINGLE	SINGLE	SINGLE	BP 780
W03 W/F2080x850	ENTRY	2,080	850	1.77	ALUMINIUM	NONE	CLEAR	E	SINGLE	SINGLE	SINGLE	SINGLE	BP 620
W04 W/F2080x850	KITCHEN	2,080	850	1.77	ALUMINIUM	SNAP HEADER	CLEAR	E	SINGLE	SINGLE	SINGLE	SINGLE	BP 620
W05 W/F2080x850	FAMILY / LIVING	2,080	850	1.77	ALUMINIUM	SNAP HEADER	CLEAR	E	SINGLE	SINGLE	SINGLE	SINGLE	BP 620
W06 WW/FF1816	FAMILY / LIVING	1,800	1,570	2.83	ALUMINIUM	SNAP HEADER	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	BP 620, MP 785/785
W07 WW1218	BED 4	1,200	1,810	2.17	ALUMINIUM	SNAP HEADER	CLEAR	S	SINGLE	SINGLE	SINGLE	SINGLE	MP 905
W08 WFW0922	BED 1	860	2,170	1.87	ALUMINIUM	NONE	CLEAR	E	SINGLE	SINGLE	SINGLE	SINGLE	MP 723-723
W09 W0609	ENS	600	850	0.51	ALUMINIUM	NONE	OBSCURE, TOUGHENED	E	SINGLE	SINGLE	SINGLE	SINGLE	
W10 W0609	WC	600	850	0.51	ALUMINIUM	NONE	OBSCURE, TOUGHENED	E	SINGLE	SINGLE	SINGLE	SINGLE	
W11 WF0618	BED 2	600	1,810	1.09	ALUMINIUM	NONE	CLEAR	E	SINGLE	SINGLE	SINGLE	SINGLE	MP 905
W12 WW1218	BED 2	1,200	1,810	2.17	ALUMINIUM	NONE	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	MP 905
W13 WW1218	BED 3	1,200	1,810	2.17	ALUMINIUM	NONE	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	MP 905
				23.90									

^{0,3} ASSUME LOOKING FROM OUTSIDE

EXTERIOR DOOR SCHEDULE

ID CODE	ROOM	HEIGHT	WIDTH	AREA (m)	FRAME	SILL TYPE	GLAZING	ORIENT.	DOOR TYPE ADDITIONAL INFORMATION
D01 920	ENTRY	2,406	1,210	2.91	TIMBER	SNAP HEADER	DOOR(S): N/A - SIDELIGHT(S): CLEAR	S	SWINGING
D02 SF2422	FAMILY / LIVING	2,400	2,170	5.21	ALUMINIUM	SNAP HEADER	CLEAR, TOUGHENED	N	SLIDING
D03 SF2118	BED 1	2,100	1,810	3.80	ALUMINIUM	SNAP HEADER	CLEAR, TOUGHENED	S	SLIDING
				11.92 m ²					
	·						·		

^{0,1} ASSUME LOOKING FROM OUTSIDE

INTERIOR DOOR SCHEDULE

TYPE	CODE	QTY	HEIGHT	WIDTH	ADDITIONAL INFORMATION
SLIDING	2 x SLIDING	1	2,040	1,370	MIRROR
SLIDING	2 x SLIDING	1	2,040	1,370	MIRROR
SLIDING	2 x SLIDING	1	2,040	2,330	MIRROR
SQUARE SET OPENING	2455x1000 SS	1	2,455	1,000	
SWINGING	2340x720	1	2,340	720	LIFT-OFF HINGES
SWINGING	2340x820	1	2,340	820	
SWINGING	770	6	2,040	770	
SWINGING	770	3	2,040	770	LIFT-OFF HINGES
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PICTURE / TV RECESS & SQUARE SET WINDOW SCHEDULE

TYPE	HEIGHT	WIDTH	AREA (m)	QTY
L	OWNER OF COR	VDICUT IN TUI	P DDAWING VOLUE	EDEDY ACDEE AND
HETHER IN WHOLE OR IN PART) WI				

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

CONSTRUCTION PLANS

DATE:

26/06/2019

DRAFTER:

ESTIMATOR: MKL

DRAFTING OFFICE:

SYDNEY

Romplete homes

			DRAWING	-	DRAWN
	ı	3	GARAGE PAD ADJUSTED AS PER ENG. DETAILS	JNO	2019.05.09
	ı	4	CONSTRUCTION PLANS	JNO	2019.06.26
	ı	5	OBSCURE GLASS TO ENS / WC	JNO	2019.07.30
	ı	6	INTERNAL CHANGES AS PER IHE	JNO	2019.07.31
19		7	INTERNAL CHANGES AS PER MKL	JNO	2019.08.21

	CLIENT:			LOT No:
9	-			151
))	ADDRESS: HARVEST STREET			DP No: 1230961
1	SUBURB: AUSTRAL	POSTCODE: 2179	COUNCIL: LIVERPOOL CITY	SECTION No:

HOUSE DESIGN:	HOUSE CODE:	
FACADE DESIGN: C3	FACADE CODE:	F
SHEET TITLE: DOOR & WINDOW SCHEDULES	SCALES: SHEET NO 6 / 15	

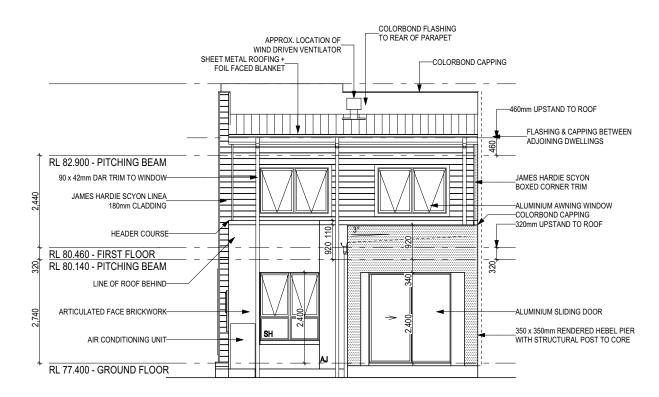
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LOT 151

^{1,2} ASSUME LOOKING FROM INSIDE

-COLORBOND CAPPING JAMES HARDIE SCYON BOXED CORNER TRIM JAMES HARDIE SCYON RL 82.900 - PITCHING BEAM RENDERED BLUEBOARD ATTACHED TO FRAMEWORK POLYMER MODIFIED CEMENT RENDER FINISH TO ARTICULATED BRICKWORK ALUMINIUM SCREENING BALUSTRADE TO SPECIFICATION MIN. HEIGHT 1000mm OFF FFL RL 80.460 - FIRST FLOOR RL 80.140 - PITCHING BEAM PROVIDE FRAMED HOB TO FRONT OF BALCONY (G-FRAM-BALC003) 2340H ENTRY DOOR WITH FLASHING & CAPPING BETWEEN ADJOINING DWELLINGS -ARTICULATED FACE BRICKWORK RL 77.400 - GROUND FLOOR 2 x SPITTER DRAIN FOR BALCONY DRAINAGE 1 FOR DRAINAGE POINT

FRONT ELEVATION Scale: 1:100

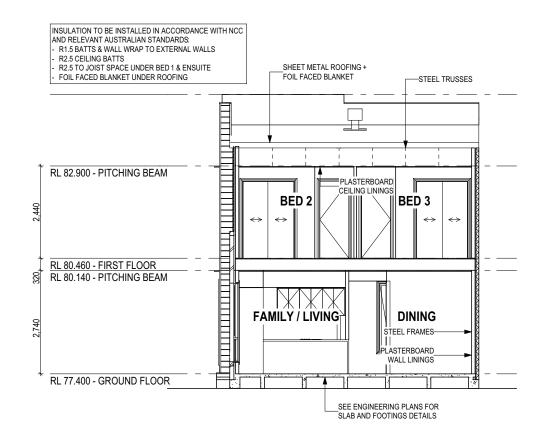


REAR ELEVATION Scale: 1:100

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING: SUSTAINABILITY REQUIREMENTS

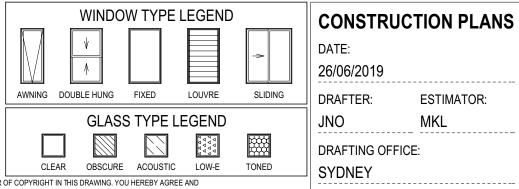
SITE CLASSIFICATION GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL



SECTION A-A

Scale: 1:100 AGGRESSIVE SOIL REQUIREMENTS SEE SHEET 1 (COVER SHEET) FOR DETAILS



ALL CUT/FILL BATTERS ARE 1:1 MAX GRADIENT

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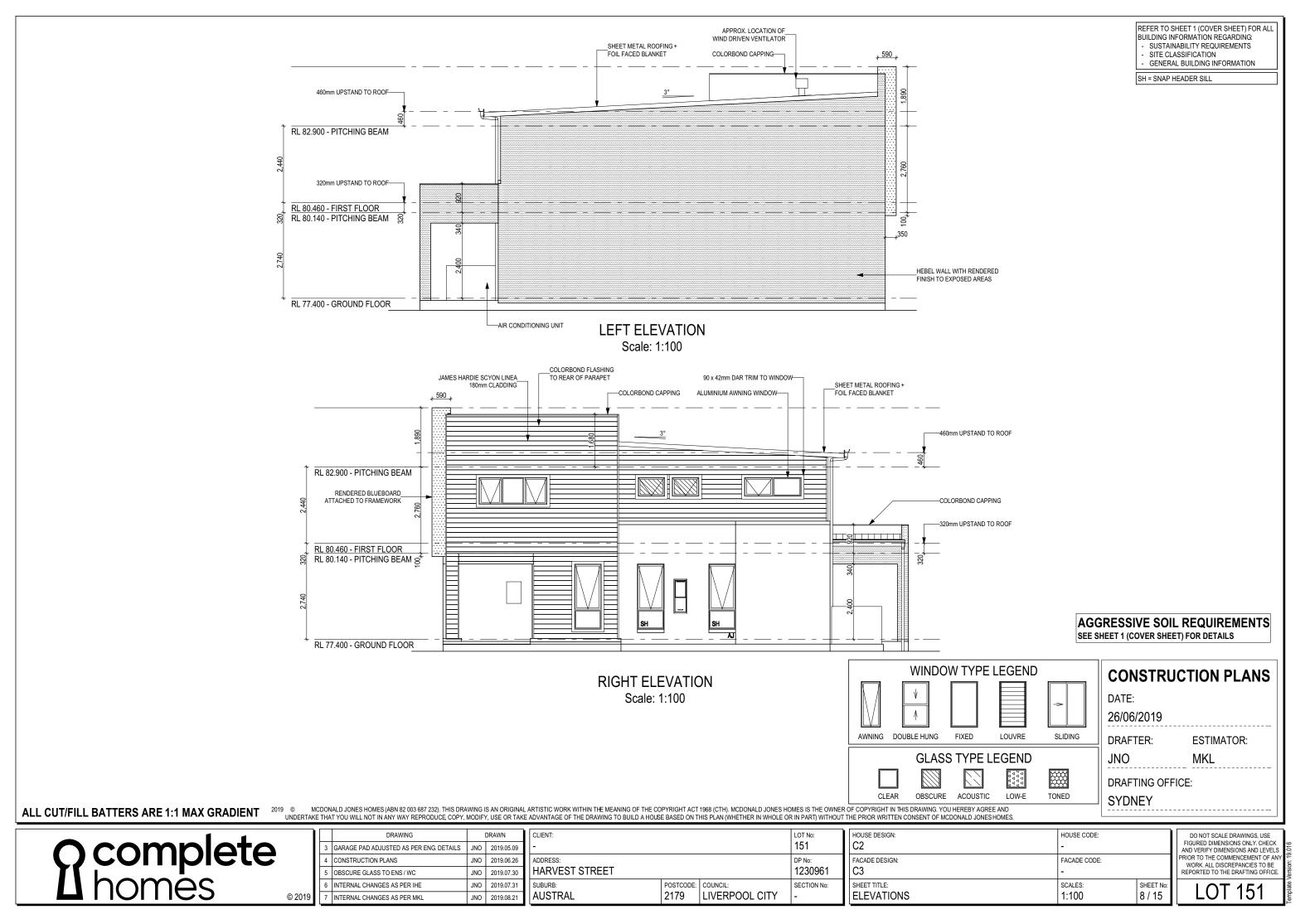


			DRAWING		DRAWN
		3	GARAGE PAD ADJUSTED AS PER ENG. DETAILS	JNO	2019.05.
		4	CONSTRUCTION PLANS	JNO	2019.06.
		5	OBSCURE GLASS TO ENS / WC	JNO	2019.07.
	ı	6	INTERNAL CHANGES AS PER IHE	JNO	2019.07.
19		7	INTERNAL CHANGES AS PER MKL	JNO	2019.08.

	CLIENT:			LOT No:
9	-			151
26	ADDRESS:			DP No:
30	HARVEST STREET			1230961
31	SUBURB:	POSTCODE:		SECTION No:
21	AUSTRAL	2179	LIVERPOOL CITY	-

HOUSE DESIGN: C2	HOUSE CODE:		I A
FACADE DESIGN:	FACADE CODE:		PF R
SHEET TITLE: ELEVATIONS / SECTION	SCALES: 1:100	SHEET No: 7 / 15	

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING: SUSTAINABILITY REQUIREMENTS - SITE CLASSIFICATION - GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPIPE DIRECTED TO TANK

SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCUSSION STORMWATER DISCHARGE

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ENSURE VERTICAL DPC FLASHING TO END OF GARAGE VENEER WALLS

ALL BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

ALL EXTERIOR LANDINGS AND STEPS BY BUILDER UNLESS NOTED OTHERWISE

REFER TO SHEET 4 (DOOR & WINDOW SCHEDULES) FOR FULL DETAILS OF ALL DOORS AND WINDOWS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



FLOOR PLAN LEGEND

HS / WS HOB SPOUT / WALL SPOUT FACE BRICK / COMMON BRICK

HEBEL

SOUND INSULATION

BRICK ARTICULATION JOINT DENOTES DRAWER SIDE

3D

EXHAUST FAN

LOAD BEARING WALL L.B.W

THIS DOOR OPENS FIRST

SMOKE ALARM #

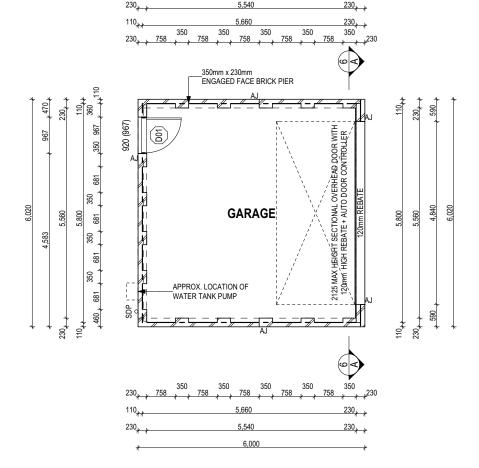
LIFT OFF HINGE

WATER POINT

GAS

FRIDGE WATER POINT

GAS BAYONET



6,000

ALL DIMENSIONS ARE FRAME DIMENSIONS

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Completehomes

		DRAWING		DRAWN
	1	PRELIMINARY PLANS	JNO	2019.03.22
	2	ALL REPORTS	JNO	2019.05.03
	3	GARAGE PAD ADJUSTED AS PER ENG. DETAILS	JNO	2019.05.09
	4	CONSTRUCTION PLANS	JNO	2019.06.26
9				

	CLIENT:	LOT No:	H		
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,	ADDRESS:	DP No:			
)	HARVEST STREET	1230961			
;	SUBURB:	POSTCODE:		SECTION No:	Н
	AUSTRAL	2179	LIVERPOOL CITY	-	IL

The final final feet and the fin									
HOUSE DESIGN: TYPE 2 - 6020mm WIDTH	HOUSE CODE: H- FACADE CODE: F-								
FACADE DESIGN: -									
SHEET TITLE: GROUND FLOOR PLAN	scales: 1:100	SHEET No: 4 / 8							

PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ALL ALFRESCO SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mn OVER ENTIRE SLAB (DOES NOT APPLY TO VERANDAH / PATIO / PORCH SLABS).

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.7.1.7(c) OF THE NCC.

AGGRESSIVE SOIL REQUIREMENTS SEE SHEET 1 (COVER SHEET) FOR DETAILS

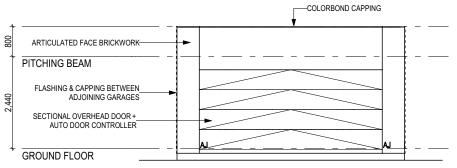
CONSTRUCTION PLANS DATE: 26/06/2019 **ESTIMATOR:** DRAFTER: MKL DRAFTING OFFICE: **SYDNEY**

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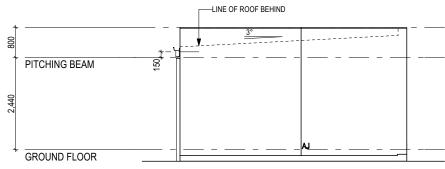
LOT 151

WINDOW SCHEDULE																				
IDENTIFICATION					SIZE										REVEAL COVERPLATE (
ID CODE	ROOM		HE	EIGHT W	VIDTH A	AREA (m)	FRAME	SILL TYPE		GLAZING	OF	RIENT.	HEAD	SILL	LEFT I	RIGHT	ADDITIONAL IN	NFORM	IATION	
0,3 ASSUME LOOKING FROM OUTSIDE	^{1, 2} ASSUME LOO	KING FROM INSIDE					1				1					1				
EXTERIOR DOOR SO	HEDULE																			
ID CODE		ROOM	HE	EIGHT V	NIDTH #	AREA (m)	FRAME	SILL TYPE	(GLAZING			ORIENT.	DO	OR TYPE ADDITIONA	L INFORMATI	ION			
D01 920	GARAGE		2,1	106 96		.04	ALUMINIUM	SNAP HEADE	R I	DOOR(S): N/A - SIDELIGHT(S):	N/A		W	SWING	GING					
					2.	.04 m ²														
0,1 ASSUME LOOKING FROM OUTSIDE																				
INTERIOR ROOF CC	UEDIU E											DICTI	IDE / TV/ DE		O COLLADE CET WIL		EDIII E			
INTERIOR DOOR SC													JKE / IV K		& SQUARE SET WI		EDULE			
TYPE	CODE		QTY HE	EIGHT W	VIDTH A	ADDITIONA	AL INFORM	ATION				TYPE		HEIG	HT WIDTH AREA (m)	QTY		_		
																		_		
																			PEEED TO 9	HEET 1 (COVER SHEET) FOR ALL
																			BUILDING IN	FORMATION REGARDING: IABILITY REQUIREMENTS
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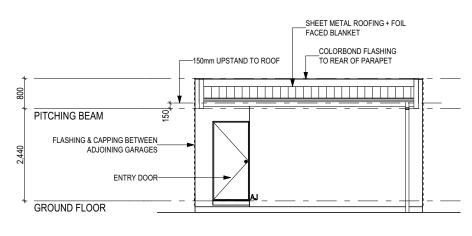




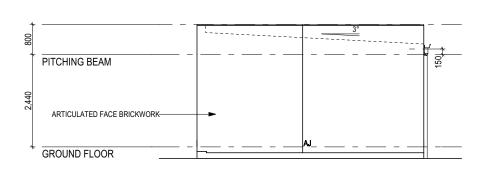
FRONT ELEVATION Scale: 1:100



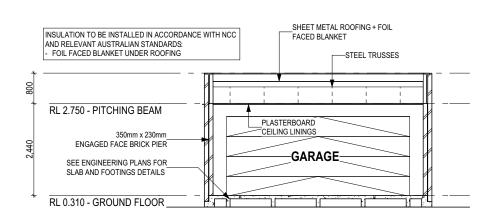
LEFT ELEVATION Scale: 1:100



REAR ELEVATION Scale: 1:100

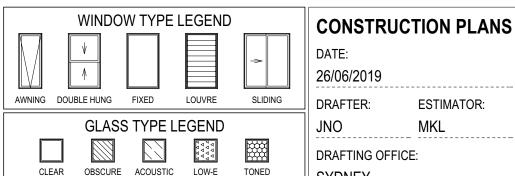


RIGHT ELEVATION Scale: 1:100



SECTION A-A Scale: 1:100

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ESTIMATOR: MKL DRAFTING OFFICE: **SYDNEY**

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26	SUBURB:	POSTCODE:	COUNCIL:	SECTION No:	ı	Sł
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DUSE DESIGN: YPE 2 - 6020mm WIDTH	HOUSE CODE:					
ACADE DESIGN:	FACADE CODE: F-					
HEET TITLE: LEVATIONS / SECTION	SCALES: 1:100	SHEET No: 6 / 8				

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