

SHEET INDEX

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88B INSTRUMENT CHECKED AND ACKNOWLEDGED
CLAUSES 4, 5, 6, 7, 8 + 9 APPLY



SUSTAINABILITY COMMITMENTS

WATER COMMITMENTS

- 3 STAR (> 7.5 BUT <= 9 L/MIN) SHOWER HEADS
- 4 STAR TOILET SUITES
- 4 STAR KITCHEN TAPS
- 4 STAR BATHROOM TAPS

162.39 m² TOTAL ROOF AREA

3070 L WATER TANK(S) MINIMUM CAPACITY
162.39 m² MINIMUM ROOF AREA TO TANK(S)

- RAINWATER TANK(S) TO BE CONNECTED TO:
- AT LEAST ONE OUTDOOR TAP
 - ALL TOILETS
 - WASHING MACHINE

NO RETICULATED RECYCLED WATER SUPPLY

210 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

HOT WATER SYSTEM

- GAS CONTINUOUS FLOW - 6 STAR

HEATING SYSTEM

- 1-PHASE REVERSE CYCLE AIR CONDITIONING
EER 3.5 - 4.0

COOLING SYSTEM

- 1-PHASE REVERSE CYCLE AIR CONDITIONING
EER 3.0 - 3.5

VENTILATION (EXHAUST FANS)

- AT LEAST ONE BATHROOM:
INDIVIDUAL FAN - DUCTED TO FACADE OR ROOF,
INTERLOCKED TO LIGHT
- KITCHEN RANGEHOOD:
INDIVIDUAL FAN - DUCTED TO FACADE OR ROOF, MANUAL
ON, TIMER OFF
- LAUNDRY:
INDIVIDUAL FAN - DUCTED TO FACADE OR ROOF, MANUAL
SWITCH ON/OFF

PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER

- 5 BEDROOMS/STUDY, NON DEDICATED
- 3 LIVING/DINING AREAS, NON DEDICATED
- KITCHEN, NON DEDICATED
- ALL BATHROOMS/TOILETS, NON DEDICATED
- LAUNDRY, NON DEDICATED
- ALL HALLWAYS, NON DEDICATED

NATURAL LIGHTING TO

- 2 BATHROOM(S)/TOILET(S)

ALTERNATIVE ENERGY

- N/A

OTHER

- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY BUILDER

BASIX CERTIFICATE NUMBER:

- 1030463S

DATED:

- 2019.07.18

BUILDING INFORMATION

GROUND FLOOR CEILING HEIGHT(S): 2550mm
FIRST FLOOR CEILING HEIGHT: 2400mm
FRAMES AND TRUSSES: TREATED TIMBER
ROOF PITCH (U.N.O.): 22.5°
ELECTRICITY SUPPLY: 3-PHASE
GAS SUPPLY: RETICULATED NATURAL

ROOF MATERIAL: SHEET METAL
ROOF COLOUR: DARK
ROOF INSULATION: R6.0 BATTS
SARKING
WHIRLYBIRDS: 1
WALL MATERIAL: BRICK VENEER
WALL COLOUR: N/A
WALL INSULATION: R2.5 BATTS
WALL WRAP

FLOOR INSULATION: N/A

ENGINEERING & SITE INFORMATION

SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS
SPECIFICATIONS & DETAILS OVER A 200µm WATERPROOF MEMBRANE ON A
BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C. & AS 3700

ALL TREATED TIMBER FRAMING TO BE DESIGNED TO AS1684-2010

DESIGN CRITERIA

WIND RATING: N2

SITE CLASSIFICATION

SITE CLASSIFICATION IS: P

SLAB CLASSIFICATION

SLAB CLASSIFICATION IS: H1

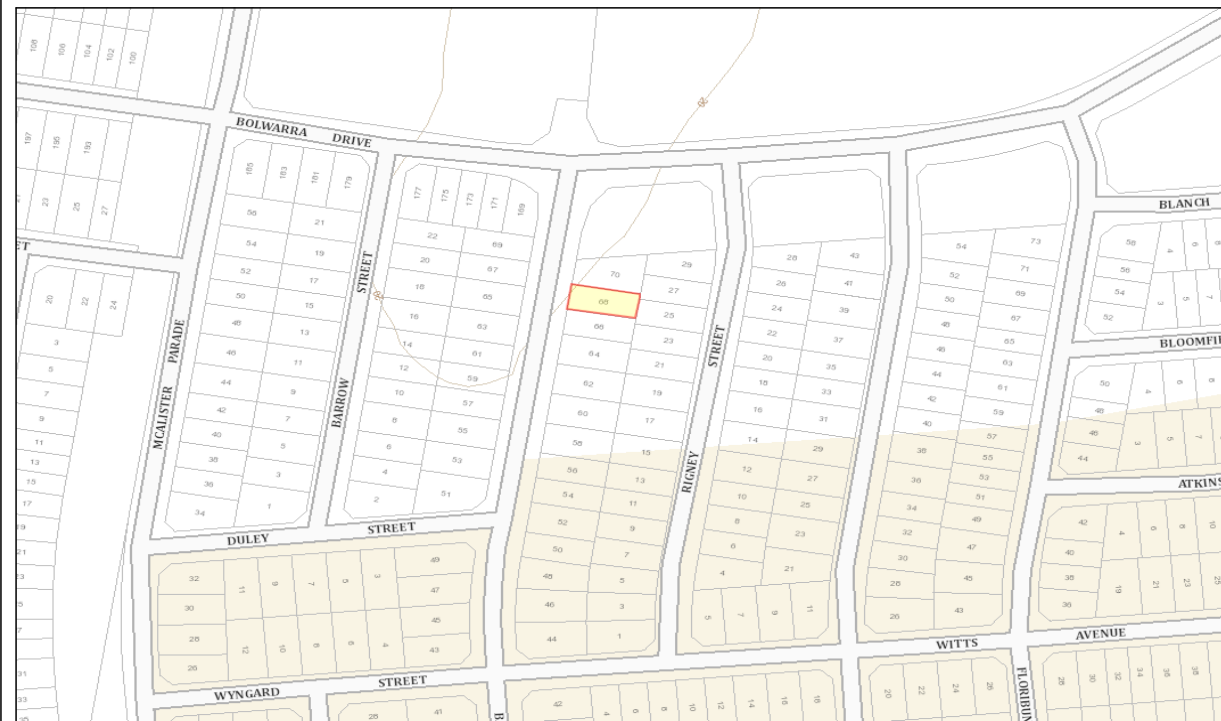
TOTAL FLOOR AREAS

ALFRESCO	6.90
BALCONY	4.87
GARAGE	34.22
LIVING (FIRST FLOOR)	96.59
LIVING (GROUND FLOOR)	78.95
PATIO	5.08
TOTAL	226.61 m²

HOUSING CODE FLOOR AREAS

GARAGE	34.22
LIVING (FIRST FLOOR)	91.64
LIVING (GROUND FLOOR)	78.95
TOTAL	204.81 m²

LOCATION MAP



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CONSTRUCTION PLANS

DATE:

15/08/2019

DRAFTER:

JNO

ESTIMATOR:

MKL

DRAFTING OFFICE:

SYDNEY

DRAWING	DRAWN
4 SUBMISSION PLANS	JNO 2019.07.18
5 50MM SETDOWNS TO PWD / LDRY	JNO 2019.07.31
6 CERTIFIER RFI - DUCTING / PRIVACY / TERMITE	JNO 2019.08.06
7 CONSTRUCTION PLANS	JNO 2019.08.15
8 INTERIOR DOOR SCHEDULE CORRECTED	JNO 2020.01.19

CLIENT: COMPLETE BY MCDONALD JONES	LOT No: 3137
ADDRESS: 66 BARRALLIER DRIVE	DP No: 1230911
SUBURB: MARSDEN PARK	POSTCODE: 2765
COUNCIL: BLACKTOWN	SECTION No: -

HOUSE DESIGN: ANGASTON	HOUSE CODE: H-CCHANG10DA
FACADE DESIGN: EXECUTIVE	FACADE CODE: F-
SHEET TITLE: COVER SHEET	SCALES: SHEET No: 1 / 19

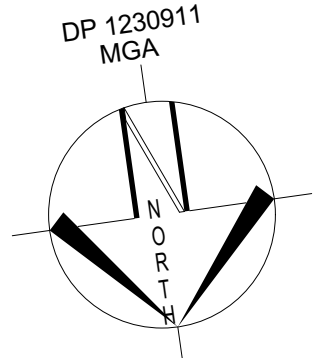
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+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS.
 SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

REFER TO STORMWATER PLAN FOR ALL ROOF COLLECTION AND SURFACE DRAINAGE CONNECTIONS AND DISCHARGE SYSTEMS.

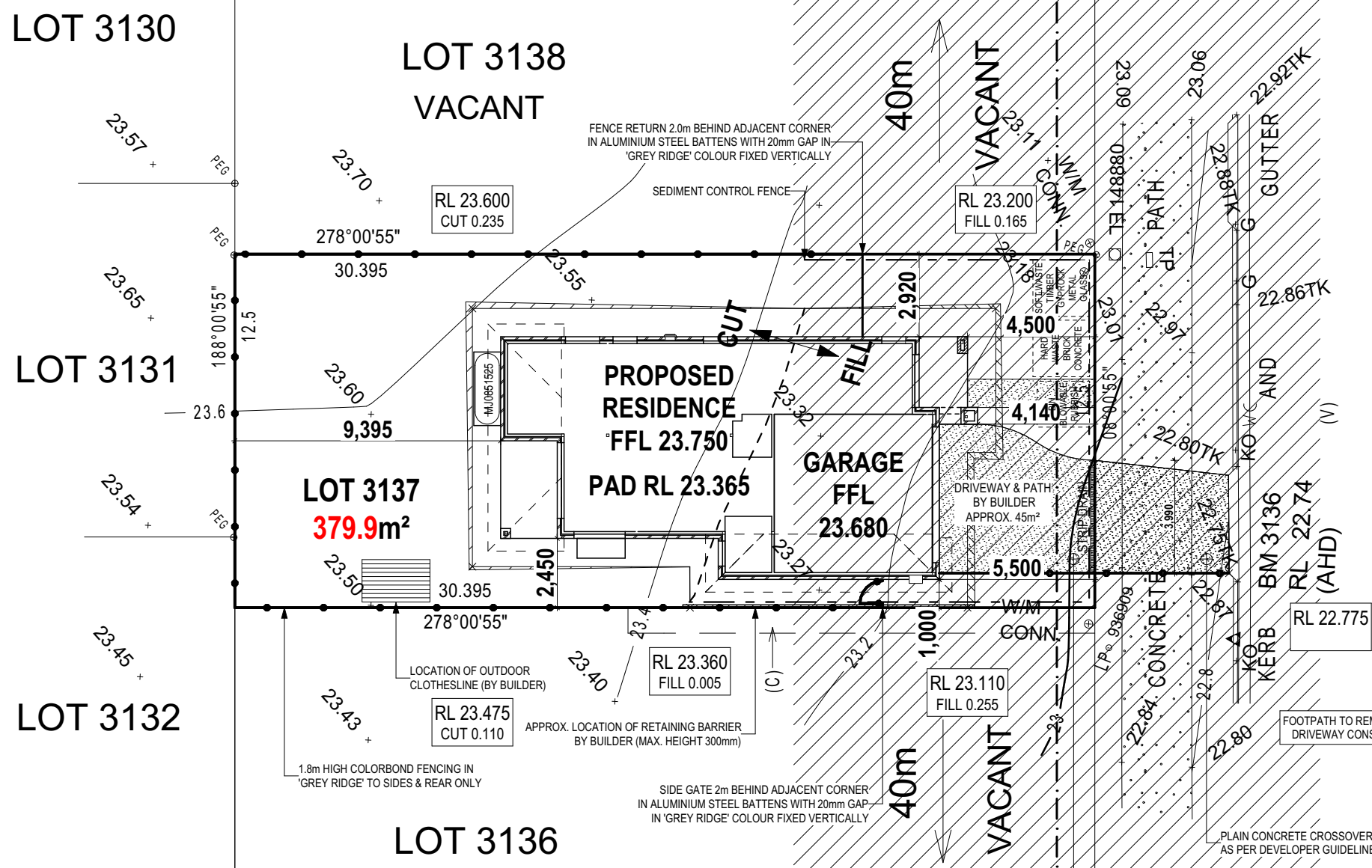
WIND CLASSIFICATION	N2
WITHIN 1 KM. OF BREAKING SALT WATER	-
WITHIN 100 M. OF SALT WATER	-
MINIMUM AHD FLOOR LEVEL APPLICABLE	-



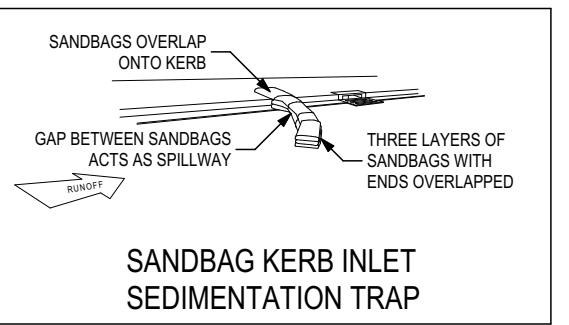
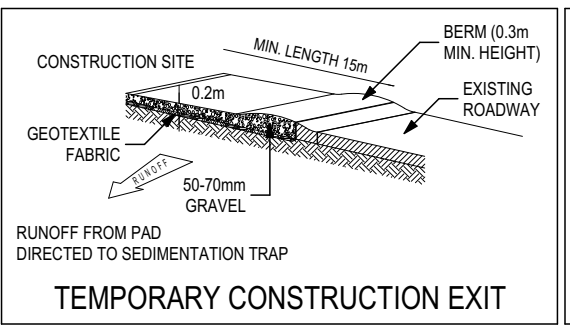
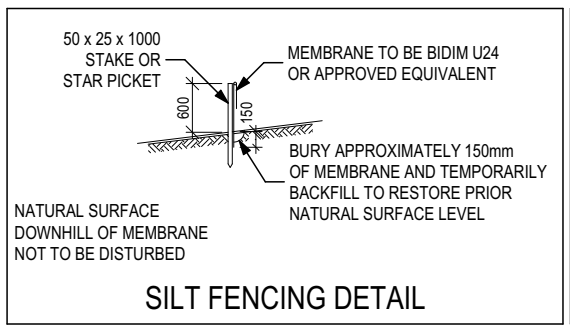
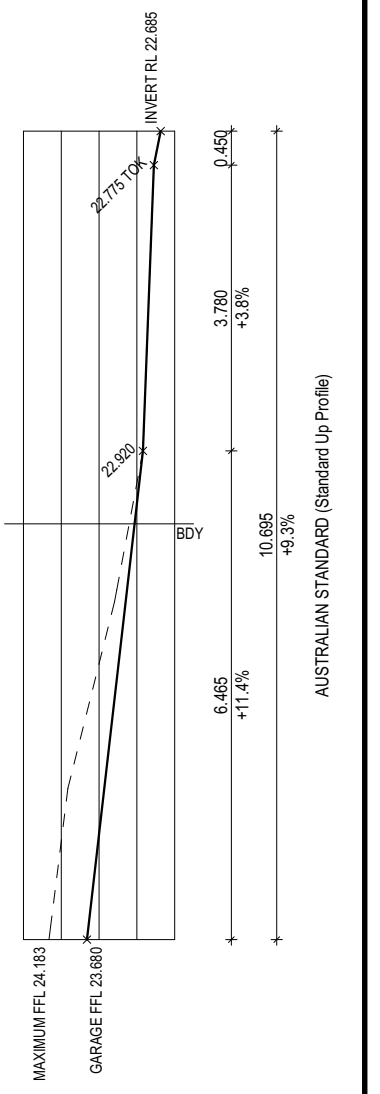
LOCALITY SKETCH

UBD AREA: SYD REVISION: 54
 MAP: 126 REF: E13
 GPS S 33°41'27"
 E 150°48'38"

Cut Volume (m³)	9.46	Fill Volume (m³)	9.35
SITE CO-ORDINATES			
LATITUDE		LONGITUDE	
CDC (SIMPLIFIED) GROSS FLOOR AREA 226.67m² (MAX. 25% LOT AREA + 150m² = 244.98m²) LANDSCAPE 210m² / 55.3% (MIN. 15% LOT AREA = 57.00m²)			



BARRALLIER DRIVE



(C) EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
 (V) RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 10 WIDE (VIDE DP1233692)(No.2)

CONSTRUCTION PLANS

DATE: 15/08/2019

DRAFTER: JNO ESTIMATOR: MKL

DRAFTING OFFICE: SYDNEY

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DRAWING	DRAWN	
4 SUBMISSION PLANS	JNO	2019.07.18
5 50MM SETDOWNS TO PWD / LDRY	JNO	2019.07.31
6 CERTIFIER RFI - DUCTING / PRIVACY / TERMITE	JNO	2019.08.06
7 CONSTRUCTION PLANS	JNO	2019.08.15
8 INTERIOR DOOR SCHEDULE CORRECTED	JNO	2020.01.19

CLIENT: COMPLETE BY MCDONALD JONES			LOT No: 3137
ADDRESS: 66 BARRALLIER DRIVE			DP No: 1230911
SUBURB: MARSDEN PARK	POSTCODE: 2765	COUNCIL: BLACKTOWN	SECTION No: -

HOUSE DESIGN: ANGSTON	HOUSE CODE: H-CCHANG10DA
FACADE DESIGN: EXECUTIVE	FACADE CODE: F-
SHEET TITLE: SITE PLAN	SCALES: 1:200
	SHEET No: 2 / 19

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPIPE DIRECTED TO TANK
 SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

ALL BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2150 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO SHEET 7 (DOOR & WINDOW SCHEDULES) FOR FULL DETAILS OF ALL DOORS AND WINDOWS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



50mm SETDOWNS TO PWD & LDRY

PROVIDE AND INSTALL 3 PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

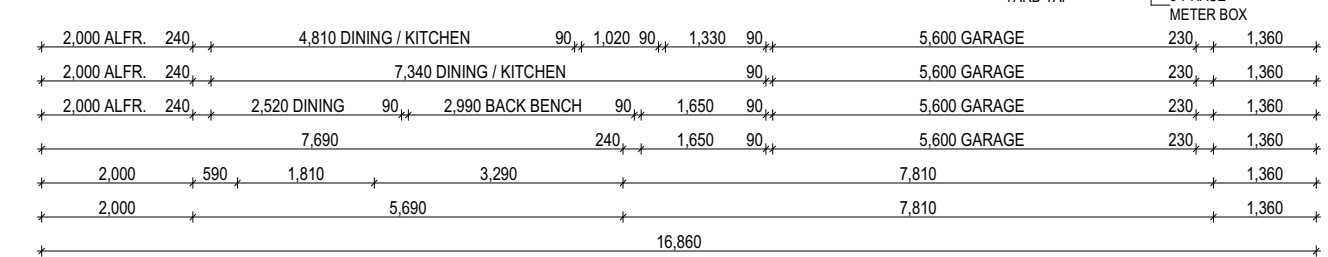
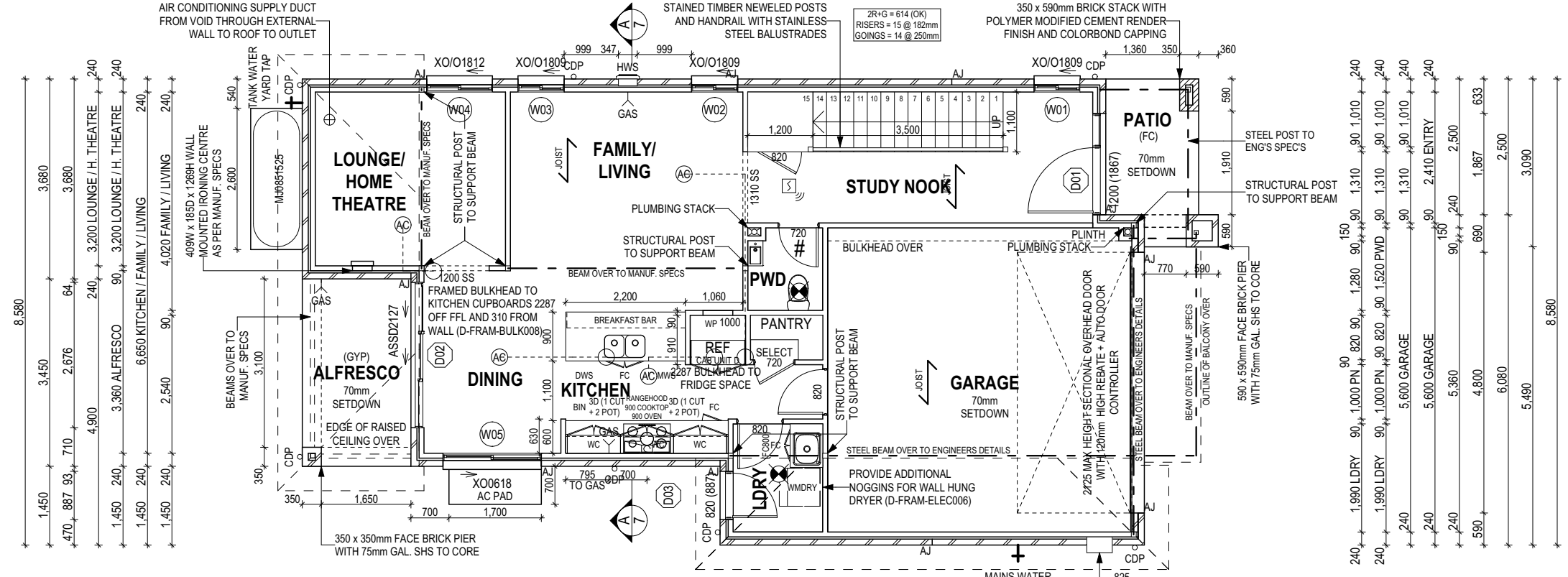
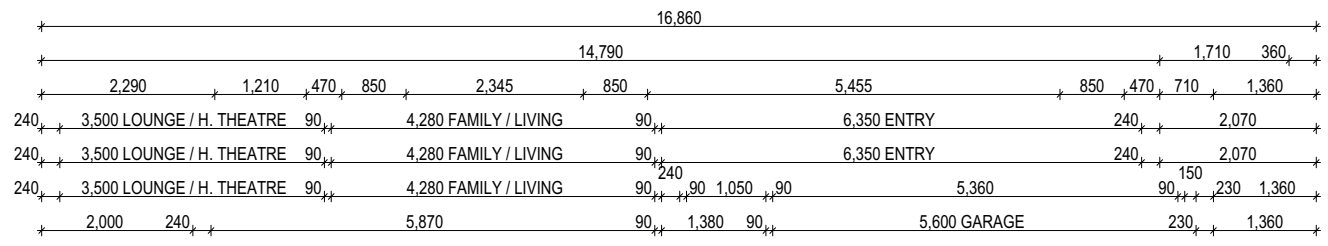
FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ALL ALFRESCO SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB (DOES NOT APPLY TO VERANDA / PATIO / PORCH SLABS).

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.7.1.7(c) OF THE NCC.

EXHAUST FANS TO BE DUCTED TO EXTERNAL AIRSPACE VIA FACADE OR ROOF IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.8.7 OF THE NCC.

KORDON TERMITE BARRIER TO BE INSTALLED TO ALL EXTERNAL WALLS IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.1.4 OF THE NCC.



FLOOR PLAN LEGEND

- HS / WS HOB SPOUT / WALL SPOUT
- [Symbol] FACE BRICK / COMMON BRICK
- [Symbol] HEBEL
- [Symbol] SOUND INSULATION
- AJ BRICK ARTICULATION JOINT
- 3D DENOTES DRAWER SIDE
- [Symbol] EXHAUST FAN
- L.B.W LOAD BEARING WALL
- [Symbol] THIS DOOR OPENS FIRST
- [Symbol] SMOKE ALARM
- # LIFT OFF HINGE
- † WATER POINT
- WP FRIDGE WATER POINT
- GAS GAS BAYONET

ALL DIMENSIONS ARE FRAME DIMENSIONS

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Total Floor Areas	
Area Name	Area (m²)
ALFRESCO	6.90
BALCONY	4.87
GARAGE	34.22
LIVING (FIRST FLOOR)	96.59
LIVING (GROUND FLOOR)	78.95
PATIO	5.08
	226.61 m²



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SUBURB: MARSDEN PARK	POSTCODE: 2765	COUNCIL: BLACKTOWN
	SECTION No: -	

HOUSE DESIGN: ANGSTON	HOUSE CODE: H-CCHANG10DA
FACADE DESIGN: EXECUTIVE	FACADE CODE: F-
SHEET TITLE: GROUND FLOOR PLAN	SCALES: 1:100
	SHEET No: 4 / 19

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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REFER TO DETAIL G-FACA-BALC02 FOR BALCONY JOIST CONNECTION

CDP CHARGED DOWNPIPE DIRECTED TO TANK
 SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

ALL BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2150 ABOVE FFL UNLESS NOTED OTHERWISE

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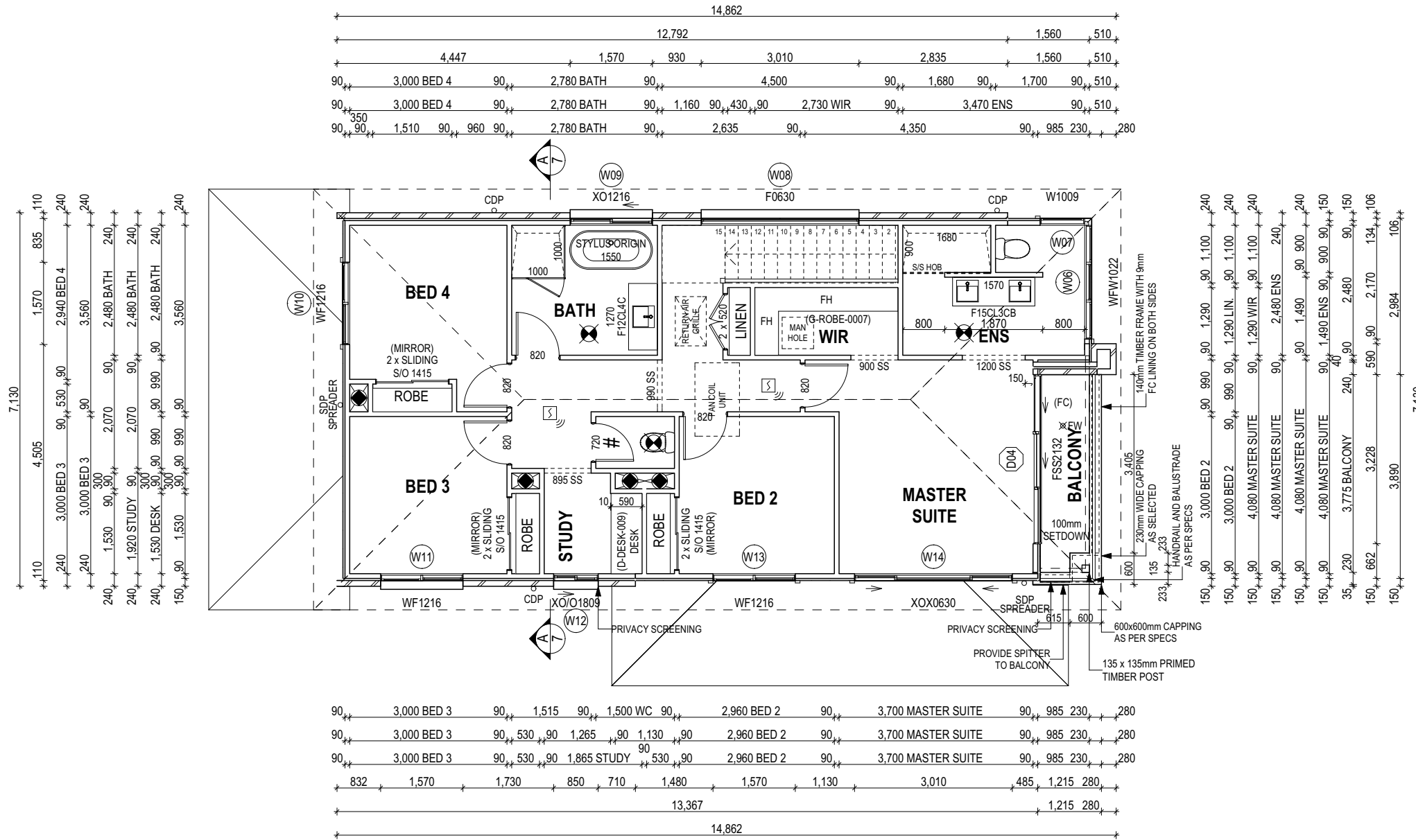
UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



FIRST FLOOR BEDROOM WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY NCC D2.24 (VOLUME ONE) AND/OR NCC 3.9.2.5 (VOLUME TWO)

ALL STAIR TRENDS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC 3.9.1 REQUIREMENTS

PROVIDE FLOOR WASTE AND OVERFLOW SPITTERS TO UPPER FLOOR TANKED BALCONIES AS PER:
 - G-FACA-BALC02 (PFC/BRICKWORK)
 - G-FRAM-BALC001 (LIGHTWEIGHT CLADDING)



PROVIDE AND INSTALL 3 PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

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FLOOR PLAN LEGEND

- HS / WS HOB SPOUT / WALL SPOUT
- [Symbol] FACE BRICK / COMMON BRICK
- [Symbol] SOUND INSULATION
- AJ BRICK ARTICULATION JOINT
- 3D DENOTES DRAWER SIDE
- [Symbol] EXHAUST FAN
- L.B.W LOAD BEARING WALL
- [Symbol] THIS DOOR OPENS FIRST
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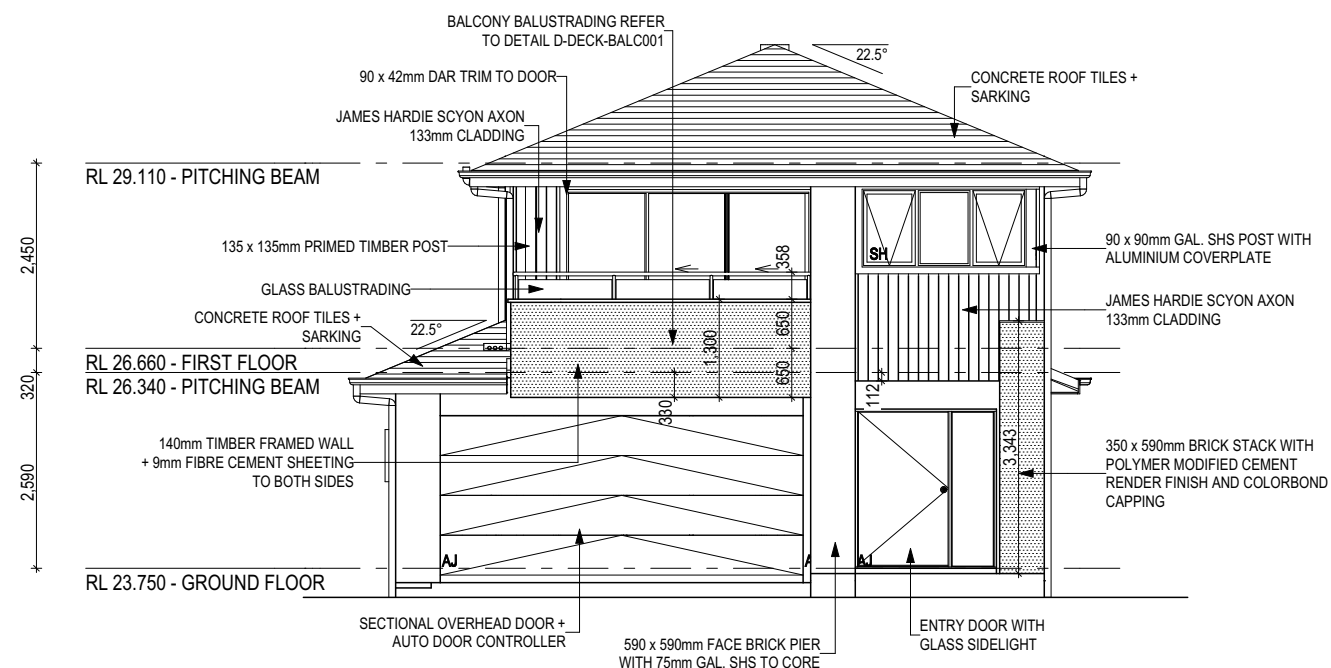
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SHEET TITLE: FIRST FLOOR PLAN	SCALES: 1:100
	SHEET No: 5 / 19

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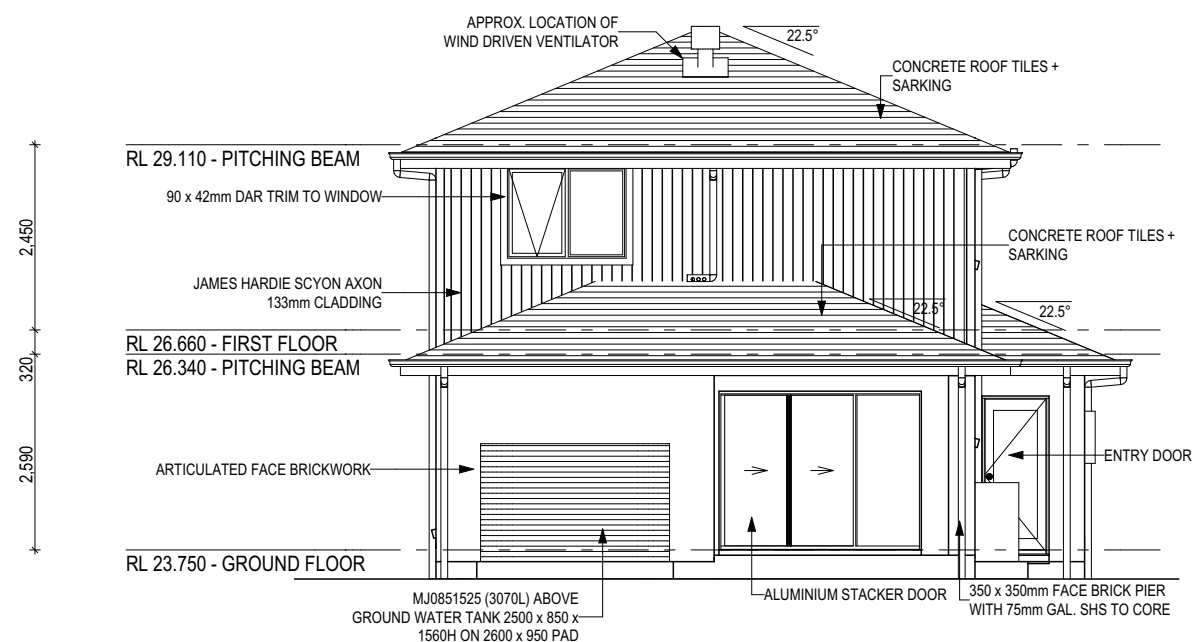
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SH = SNAP HEADER SILL

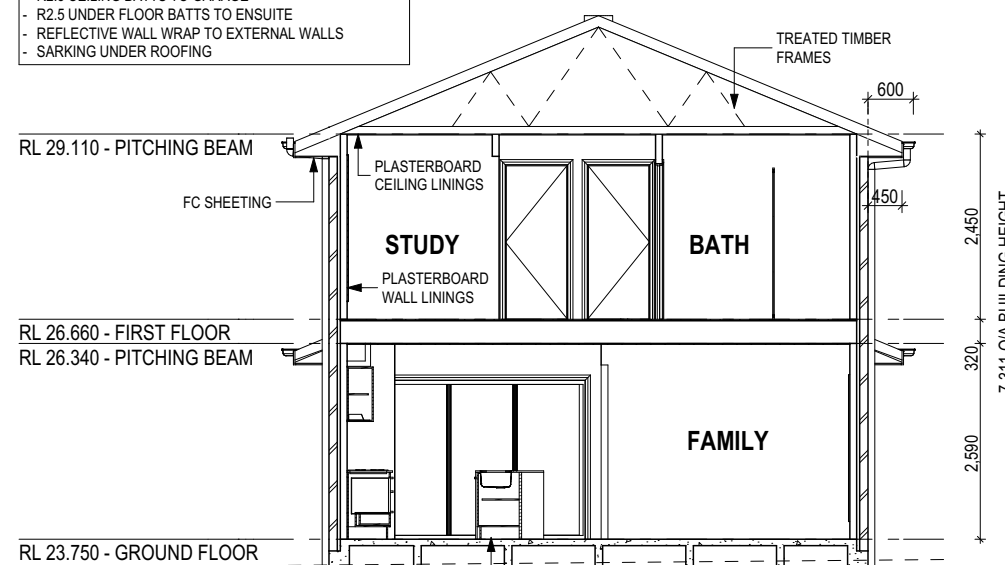


FRONT ELEVATION
Scale: 1:100

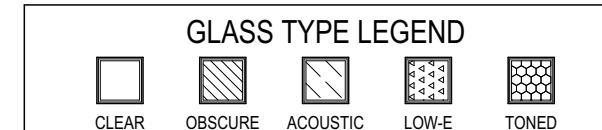
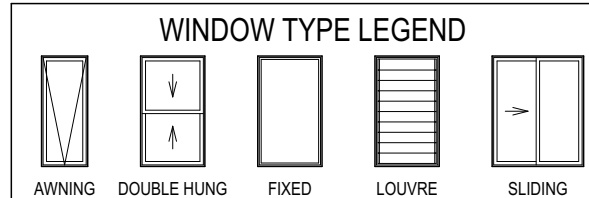


REAR ELEVATION
Scale: 1:100

INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS:
 - R2.0 BATTS TO EXTERNAL WALLS (EXCLUDING GARAGE)
 - R6.0 CEILING BATTS (EXCLUDING GARAGE & PATIO)
 - R2.5 CEILING BATTS TO GARAGE
 - R2.5 UNDER FLOOR BATTS TO ENSUITE
 - REFLECTIVE WALL WRAP TO EXTERNAL WALLS
 - SARKING UNDER ROOFING



SECTION A-A
Scale: 1:100



ALL CUT/FILL BATTERS ARE 1:1 MAX GRADIENT

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	SHEET No: 7 / 19

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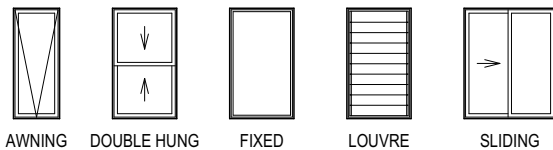
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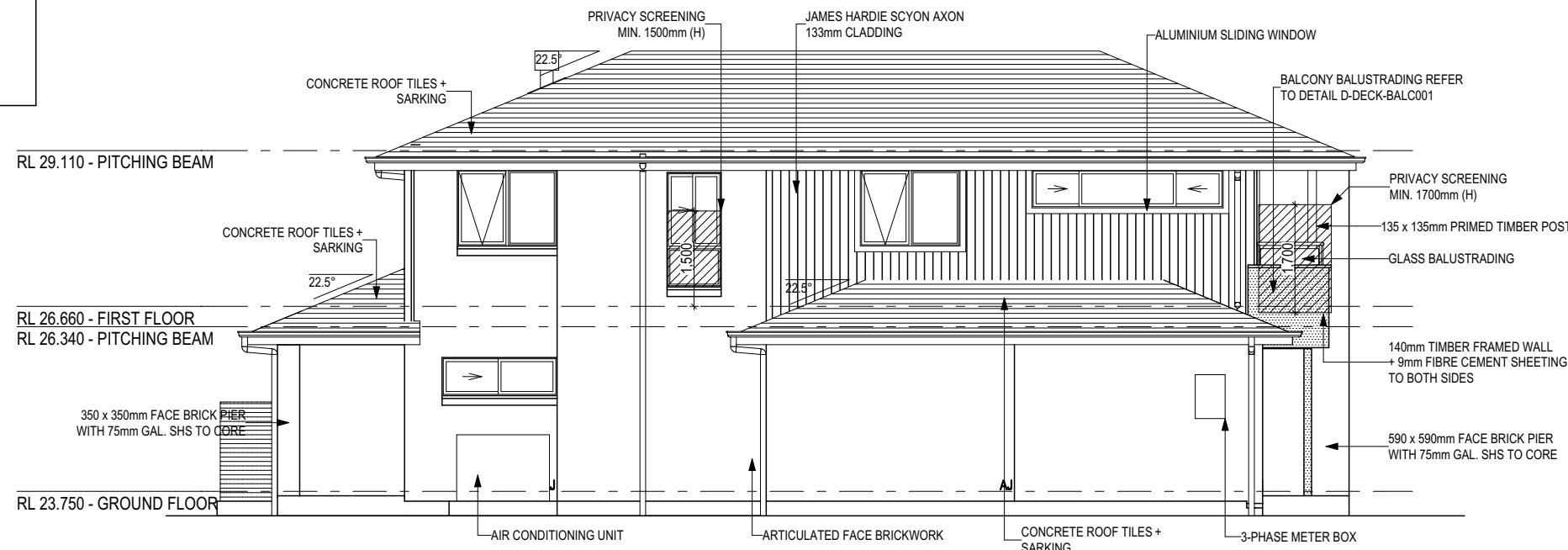
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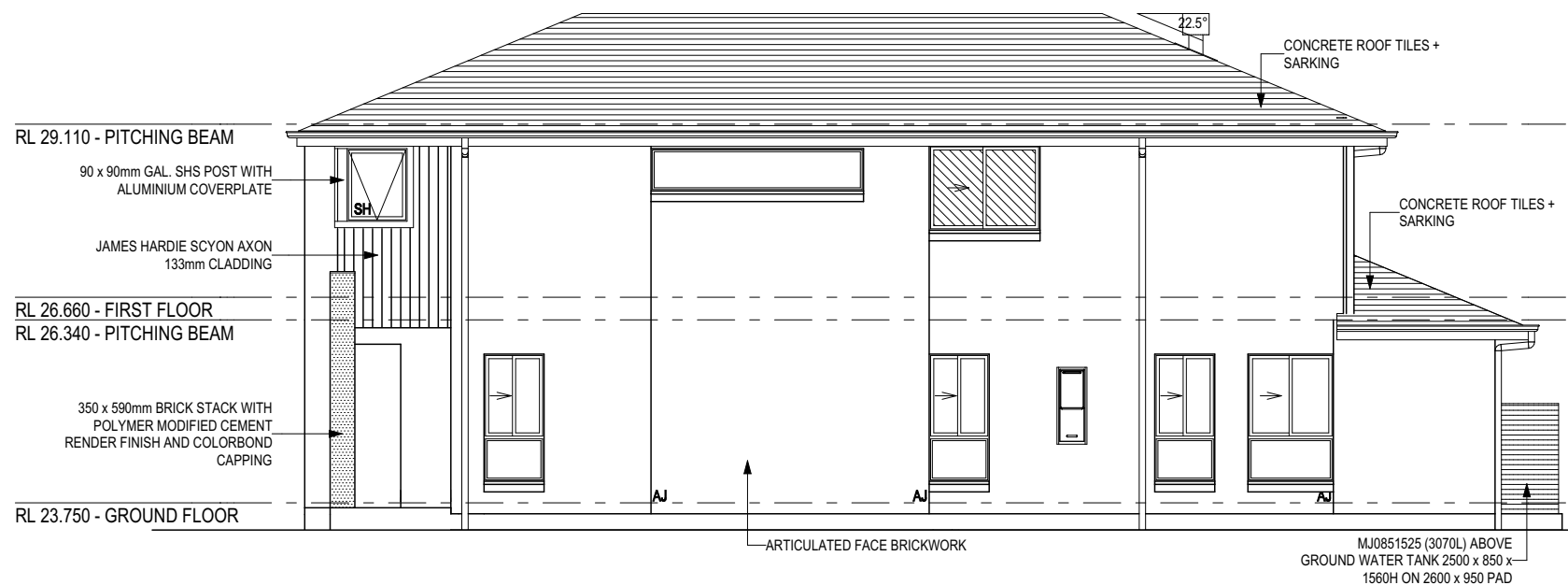
WINDOW TYPE LEGEND



GLASS TYPE LEGEND



LEFT ELEVATION
Scale: 1:100



RIGHT ELEVATION
Scale: 1:100

ALL CUT/FILL BATTERS ARE 1:1 MAX GRADIENT

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DRAWING	DRAWN	
4 SUBMISSION PLANS	JNO	2019.07.18
5 50MM SETDOWNS TO PWD / LDRY	JNO	2019.07.31
6 CERTIFIER RFI - DUCTING / PRIVACY / TERMITE	JNO	2019.08.06
7 CONSTRUCTION PLANS	JNO	2019.08.15
8 INTERIOR DOOR SCHEDULE CORRECTED	JNO	2020.01.19

CLIENT: COMPLETE BY MCDONALD JONES			LOT No: 3137
ADDRESS: 66 BARRALLIER DRIVE			DP No: 1230911
SUBURB: MARSDEN PARK	POSTCODE: 2765	COUNCIL: BLACKTOWN	SECTION No: -

HOUSE DESIGN: ANGASTON	HOUSE CODE: H-CCHANG10DA
FACADE DESIGN: EXECUTIVE	FACADE CODE: F-
SHEET TITLE: ELEVATIONS	SCALES: 1:100
	SHEET No: 8 / 19

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