

APPROVED DEVELOPMENT CONSENT DA 1468/2019/ZE

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SITE INFORMATION Real Property Description: DP 1230476

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE WITH: THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS & POLICIES CURRENT ISSUES OF AUSTRALIAN STANDARDS CURRENT MANUFACTURERS SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED



Transpire Constructions
Suite 2, Level 2, 15 Lake Street "The Atrium",
QLD 4227
p: 07 5588 3600
e: info@transpiregroup.com.au
w: www.transpiregroup.com.au



Yuantong Australia Pty Ltd

Lot 410 Macguires Road, Box Hill North
Lots 951 961 New Road The Hills Estate Maraylya NSW 2765

Figured dimensions take precedence ov must verify all dimensions on site before shop drawings.			
project number BHDA 4		drawn by MSC	checked MCR
drawing name Overall Site Plan		wind class	soll class
project status Development Application		TBA	ТВА
real property description Part of Lot 410 in DP 1230476	TBA	climate zone TBA	TBA
covenant DA	local authority Box HIII S.C.	parish TBA	county TBA
drawing number A1.2	scale 1:300@A3		rev B

SITE DATA

SITE AREA = 356.5M2

SITE COVERAGE

PERMISSABLE = 55% OR 198.07M2 PROVIDED = 37.21% OR 132.66M2

SOFT LANDSCAPE Refer to landscape intent plans

PRINCIPLE PRIVATE OPEN SPACE REQUIRED - 20M2 (5MX4M) PROVIDED - 165.16M2

Legend

Silt barrier

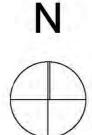
Driveway location

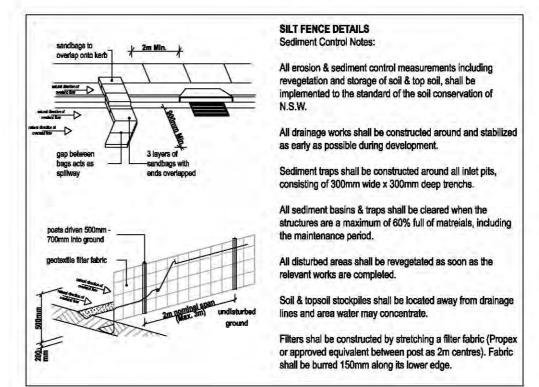
Stormwater drainage

Developer retaining

GENERAL NOTES

- Stormwater to discharge into designated discharge point to PCA requirements
- Sewer to local authorities requirements.
- All ground lines are to be varified on site by the builder
- Final location of buildings to be verified on-site by a registered surveyor.
- Written dimensions to take precedence over scaling. Any plan discrepencied to be preffered back to design before proceeding.
- Site classification TBA
- house platforn to RL 41.1m AHD Approx.
- House floor level RL 41.45m AHD Approx., 310-385mm above platform level, garage level approx. RL 41.37m AHD 310-385mm above platform



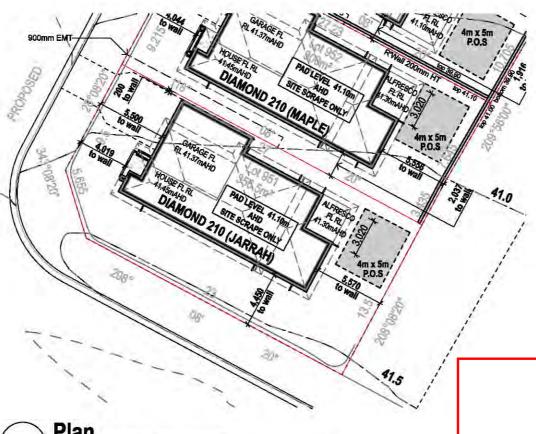




SU-001 Detail Section

Silt Fence Detail NSW

SCALE: 1:200



Plan Site Plan - Proposed

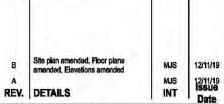
SCALE: 1:300

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Total Areas		
Alfresco	7.40	
Garage	36.36	
House Lower	86.35	
House Upper	77.06	
Porch	2.55	
	209.72 m ²	

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

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POLICIES CURRENT ISSUES OF AUSTRALIAN STANDARDS CURRENT MANUFACTURERS SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED



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A3.2

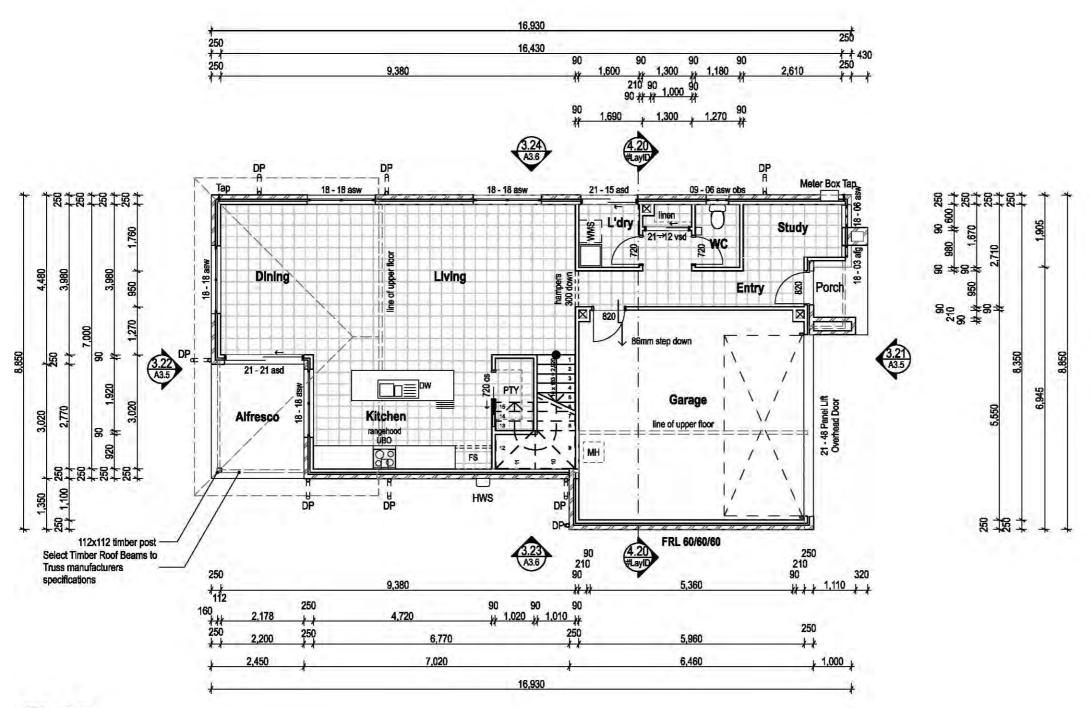
Diamond 210 (Jarrah Facade) Lot 951 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

project number		drawn by MSC	checked MCR/
drawing name Site Plan		wind class	MBA/ JSK soil class
project status DA		ТВА	TBA
real property description part of Lot 411 in DP	flood level TBA	climate zone TBA	BAL TBA
1230476	IDA	IDA	IDA
covenant	local authority	parish	county
DA	Box Hill S.C	ТВА	TBA
drawing number	scale		rev
A3.2	1:200, 1:300	1@A3	В

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В	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A REV.	DETAILS	MJS INT	12/11/19 Issue Date

Tot	al Areas
Alfresco 7.40	
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m ²

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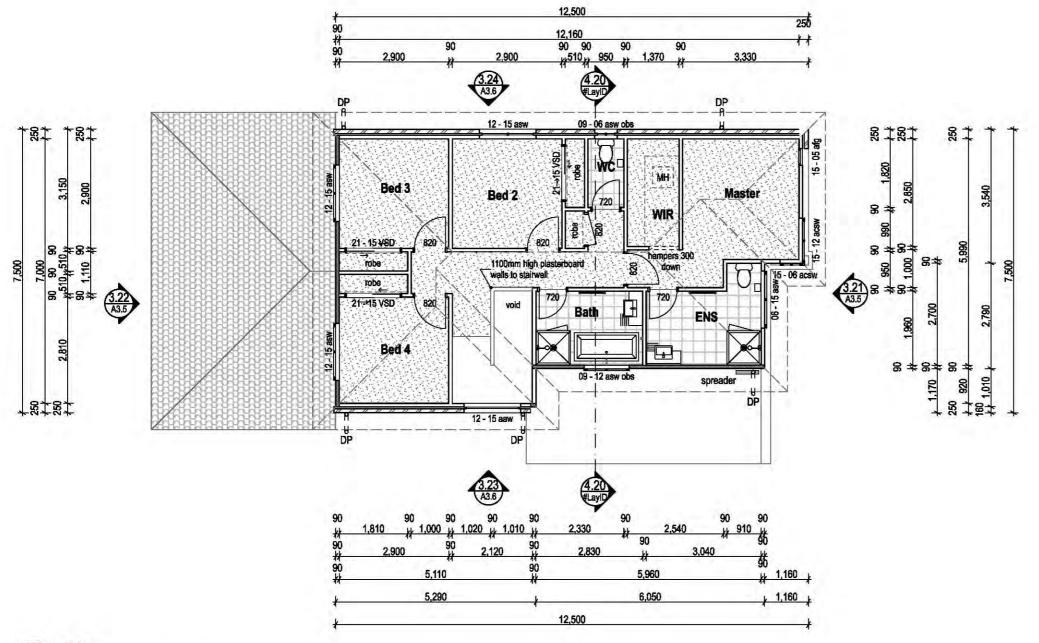
and and and and and			
project number		drawn by MSC	MCR/
drawing name			MBA/ JSK
Ground Floor Pl	an	wind class	soil clas
project status DA		TBA	ТВА
real property description part of Lot 411 in DP	flood level TBA	climate zone TBA	BAL TBA
1230476	146	104	IDA
covenant	local authority	parish	county
DA	Box Hill S.C	ТВА	TBA
decides accepted	nanie		POLZ

1:100@A3

A3.3

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Plan Upper Floor Plan SCALE: 1:100

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	Objective accorded Florendess		
В	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/
A		MJS	12/11/ ISSU
REV.	DETAILS	INT	Dat

Tot	al Areas	
Alfresco	7.40	-
Garage	36.36	
House Lower	86.35	
House Upper	77.06	
Porch	2.55	
,	209.72 m²	

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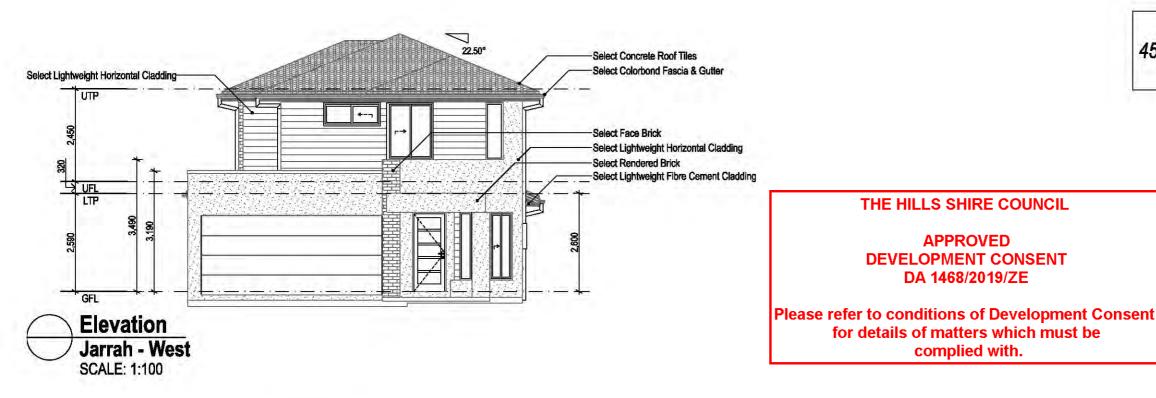
Diamond 210 (Jarrah Facade) Lot 951 New Road Marayiya NSW 2765

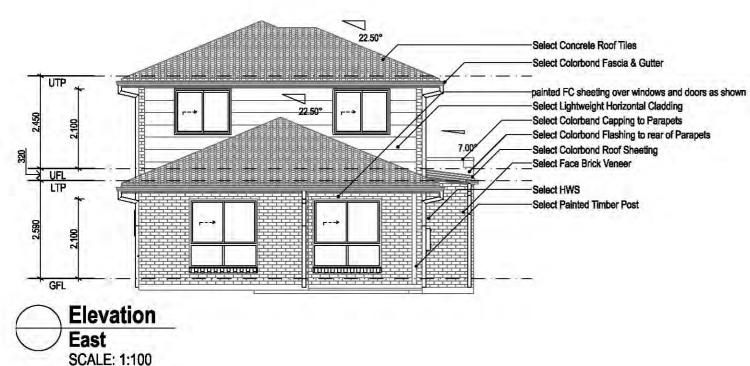
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project number		drawn by MSC	MCR/ MBA/
Upper Floor Pla	n	wind class	JSK soil clas
project status DA		TBA	ТВА
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	TBA
covenant DA	local authority Box Hill S.C	parish TBA	county TBA
Manufact according	2222		DD47

1:100@A3

A3.4





NOTE: 450mm EAVE (610MM TO FRAME)UNO

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Site plan amended, Floor plans amended, Elevations amended 12/11/19 MJS MJS INT 12/11/19 ISSUE REV. DETAILS

Tot	al Areas
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m ²

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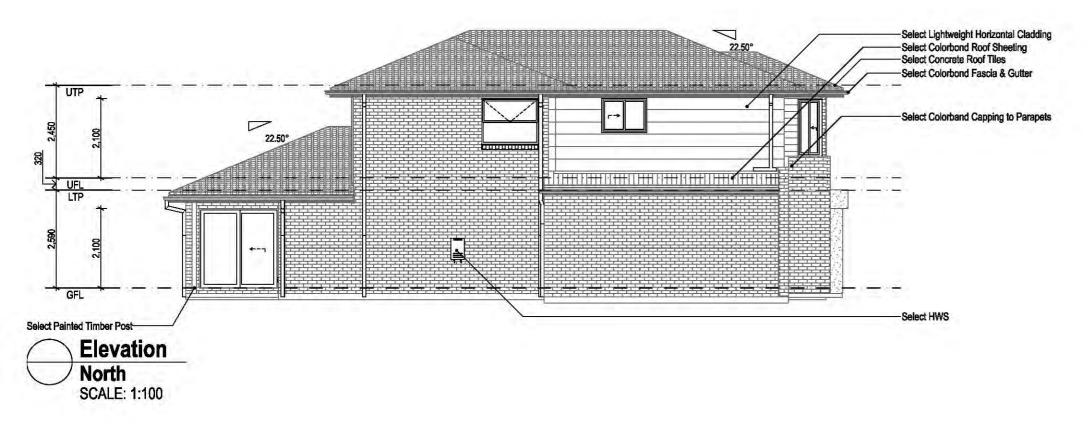
A3.5

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Diamond 210 (Jarrah Facade) Lot 951 New Road Maraylya NSW 2765

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project number		drawn by MSC	checked MCR/	
drawing name Elevations 1		wind class	MBA/ JSK soil class	
project status DA		TBA	ТВА	
real property description	flood level	climate zone	BAL	
part of Lot 411 in DP 1230476	TBA	TBA	ТВА	
covenant	local authority	parish	county	
DA	Box Hill S.C	ТВА	TBA	
drawing number	scale		rev	
A3.5	1:100@A3		В	





Elevation South SCALE: 1:100

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A REV.	DETAILS	MJS INT	12/11/19 Issue Date

Total Areas		
Alfresco	7.40	
Garage	36.36	
House Lower	86.35	
House Upper	77.06	
Porch	2.55	
	209.72 m ²	

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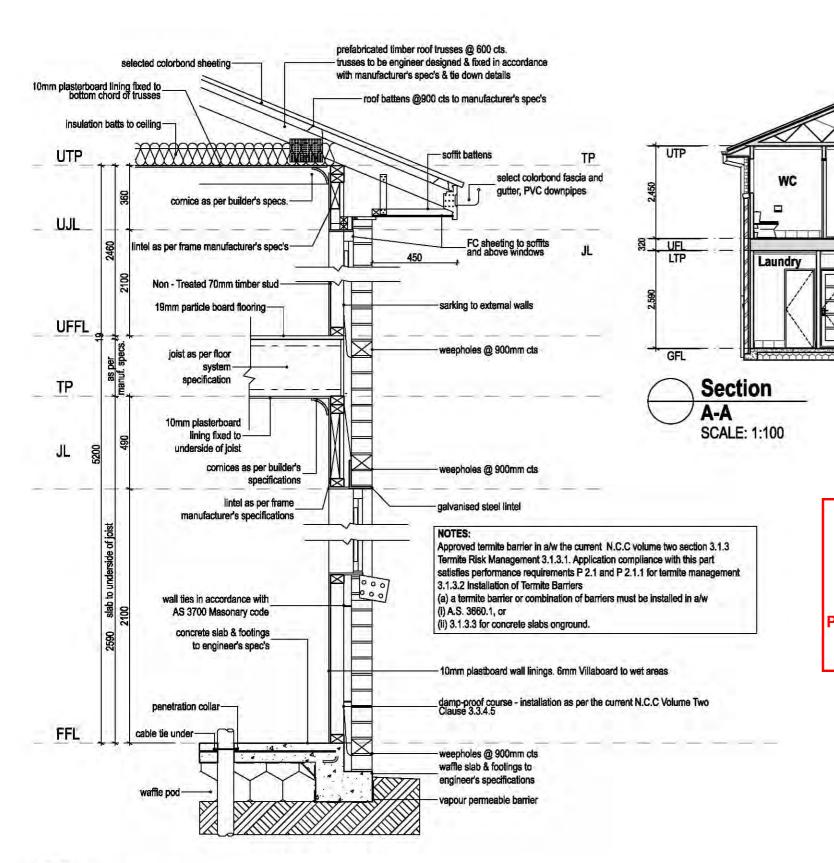
A3.6

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project number		drawn by MSC	MCR/ MBA/
drawing name			JSK soil class
Elevations 2		wind class	soil class
project status DA		TBA	TBA
real property description	flood level	climate zone	BAL
part of Lot 411 in DP 1230476	TBA	TBA	TBA
covenant	local authority	parish	county
DA	Box Hill S.C	ТВА	TBA
20.700	200		



EW-010 Detail Section

SCALE: 1:20

DS_BV_2590-2460TP_22.5Deg_SheetRoof_600Truss_450Eave

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22.50°

ENS

Garage

APPROVED DEVELOPMENT CONSENT DA 1468/2019/ZE

for details of matters which must be complied with.

Please refer to conditions of Development Consent

Select Concrete Roof Tiles

Select Plasterboard Cornice

-Select Plasterboard

Select Fibre Cement Sheeting

Select Colorbond Roof Sheeting

Select Colorbond Fascia & Gutter

Select Timber Skirting

-Select Colorband Capping to Parapets

-Select Colorbond Flashing to rear of Parapets

Select Structural Concrete to Engineers Spec.

Select Manufactured Roof Trusses at 600 crs

-Select Structural Floor System to Manufacturers Spec.

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Site plan amended, Floor plans amended, Elevations amended 12/11/19 MJS MJS 12/11/19 ISSUE REV. DETAILS INT

Total Areas			
Alfresco	7.40	į	
Garage	36.36		
House Lower	86.35		
House Upper	77.06		
Porch	2.55	ī	
1.27	209.72 m ²	7	

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A3.7

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project number		drawn by MSC	checked MCR/
drawing name Section and Def	tail	wind class	MBA/ JSK soil class TBA
project status DA		IDA	IDA
real property description part of Lot 411 in DP 1230476	flood level TBA	climate zone TBA	BAL TBA
covenant	local authority	parish	county
DA	Box Hill S.C	TBA	TBA

1:100, 1:20@A3

External Colour Scheme - NSW YARRA

		STANDARD	COMMENTS
COLORBOND ROOF	Custom Orb	Woodland Grey	
TILED ROOF	Bristile Classic Range	Gun Metal	
	Guttering	Woodland Grey	
	Fascia	Woodland Grey	
	Barge capping (if applicable)	Woodland Grey	
	Dry verge (if applicable)	Woodland Grey	
WINDOWS	Dowell	Woodland Grey	
BRICKS	PGH Naturals	Moon Dust	
MORTAR JOINTS	Ironed	Off-white	
EAVES		Builders White	
MAIN HOUSE COLOUR		Dulux Surfmist	
FEATURE COLOUR		Dulux Light Leather	
ENTRY DOOR		Dulux Surfmist	
PVC DOWNPIPES	Over Brick/Main Colour	Dulux Surfmist	
A CONTRACTOR OF THE PROPERTY O	Over Feature Colour	Dulux Light Leather	
TIMBER POST	Feature Colour	Dulux Light Leather	
LETTERBOX	Main Colour	Dulux Light Leather	
BUNKER LIGHTS		Silver	
CLOTHES LINE		Bark	
GARAGE DOOR	Flat Line	Surfmist	
COLOURED CONCRETE		Slate Grey	

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REV.	DETAILS	MJS INT	12/11/19 Issue Date

Total Areas			
Alfresco	7.40		
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	209.72 m²		

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A3.8

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project number		drawn by MSC	checked MCR/
drawing name External Colour	s	wind class	MBA/ JSK soil class
project status DA		ТВА	ТВА
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	BAL TBA
covenant	local authority	parish	county
DA	Box Hill S.C	TBA	TBA
4-1-1-1-1-1	A 100 to		

SITE DATA SITE AREA = 300M2

SITE COVERAGE PERMISSABLE = 55% OR 165M2 PROVIDED = 44.22% OR 132.66M2

SOFT LANDSCAPE Refer to landscape intent plans

PRINCIPLE PRIVATE OPEN SPACE REQUIRED - 20M2 (5MX4M) PROVIDED - 77.4M2

Legend

Silt barrier

Driveway location

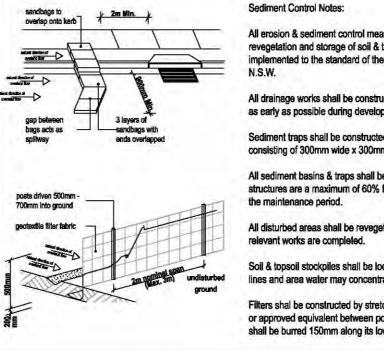
Stormwater drainage Developer retaining **GENERAL NOTES**

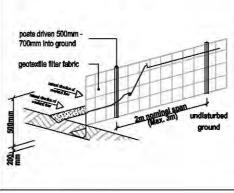
- Stormwater to discharge into designated discharge point to PCA requirements
- Sewer to local authorities requirements.
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- Site classification TBA
- house platforn to RL 41.10m AHD Approx.
- House floor level RL 41.45m AHD Approx., 310-385mm above platform level, garage level approx. RL 41.37m AHD 310-385mm above platform

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SILT FENCE DETAILS

All erosion & sediment control measurements including revegetation and storage of soil & top soil, shall be implemented to the standard of the soil conservation of

All drainage works shall be constructed around and stabilized as early as possible during development.

Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trenchs.

All sediment basins & traps shall be cleared when the structures are a maximum of 60% full of matreials, including

All disturbed areas shall be revegetated as soon as the

Soil & topsoil stockpiles shall be located away from drainage lines and area water may concentrate.

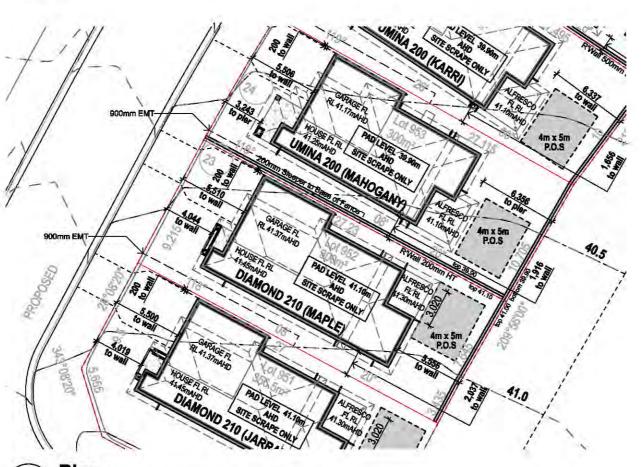
Filters shal be constructed by stretching a filter fabric (Propex or approved equivalent between post as 2m centres). Fabric shall be burred 150mm along its lower edge.



Detail Section

Silt Fence Detail NSW

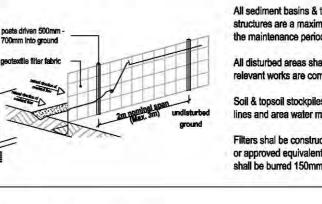
SCALE: 1:200



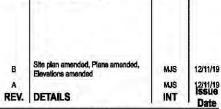
Plan

Site Plan - Proposed

SCALE: 1:300



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A3.2

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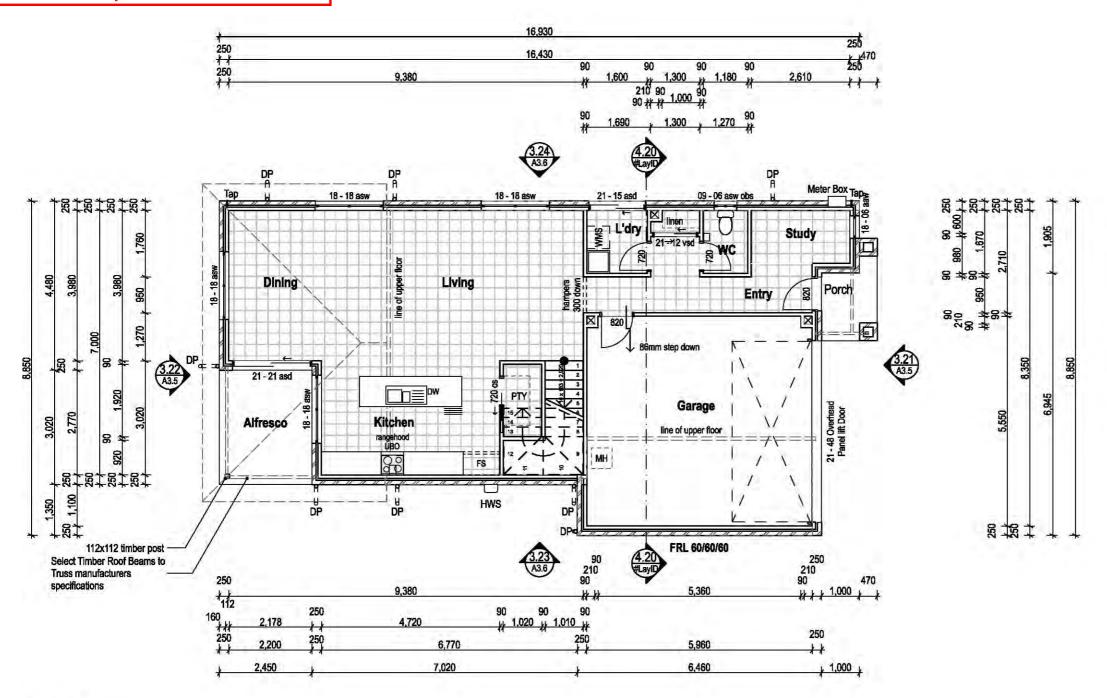
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drawing name Site Plan		wind class	MBA/ JSK soil class
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real property description part of Lot 411 in DP 1230476	flood level TBA	climate zone TBA	BAL TBA
covenant	local authority	parish	county
DA	Box Hill S.C	ТВА	TBA
discount of the second second	200		Acres 1

1:200. 1:300@A3

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REV.	DETAILS	INT	Issue Date

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Porch	2.55	
	209.72 m ²	

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A3.3



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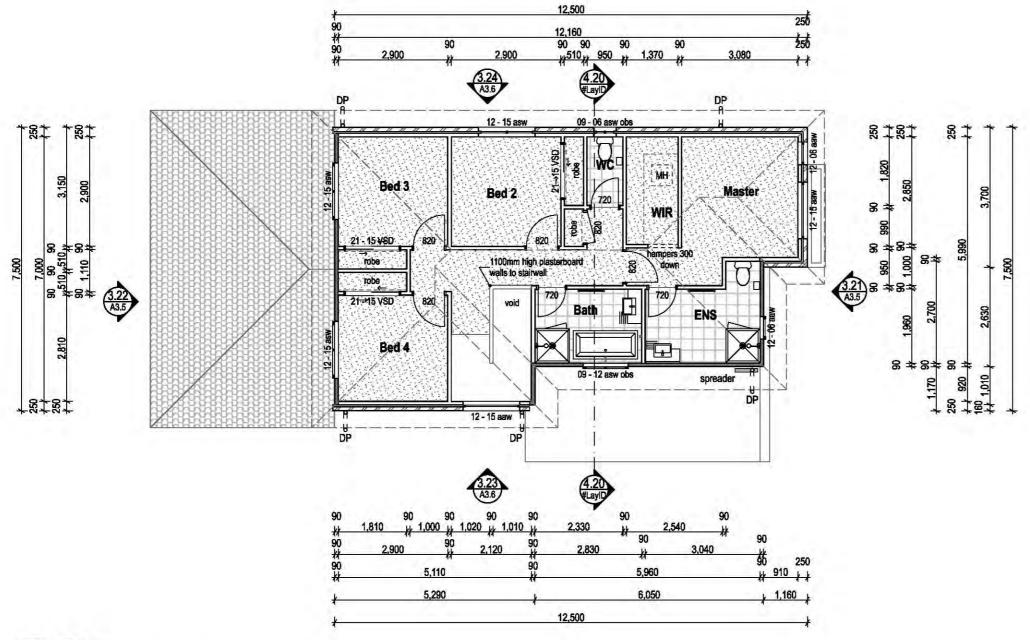
Diamond 210 (Maple Facade) Lot 952 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

stup diawings.			
project number #Pin		drawn by MSC	checked MCR/
drawing name Ground Floor Pl	lan	wind class	MBA/ JSK soil class
project status DA		TBA	TBA
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	BAL TBA
covenant	local authority	parish	county
DA	Box Hill S.C	ТВА	TBA
drawing number	scale		nev

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Plan Upper Floor Plan SCALE: 1:100

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	No. 1 a Leading of		
В	Site plan amended, Plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19 ISSUE
REV.	DETAILS	INT	Date

Tot	al Areas
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m ²

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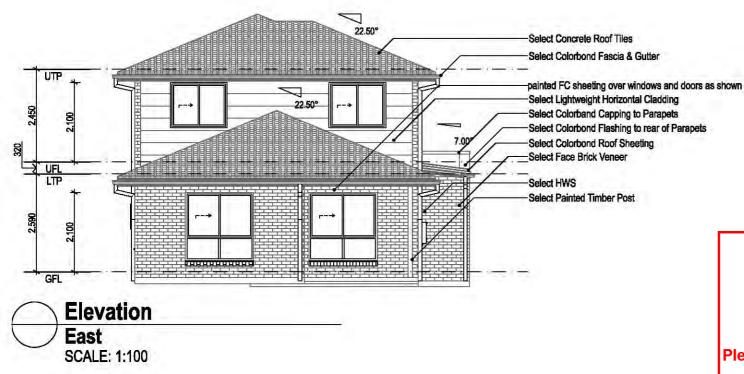
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

snop drawings.			
project number #Pin		drawn by MSC	MCR/
drawing name Upper Floor Pla project status DA	n	wind class TBA	MBA/ JSK soil clas TBA
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	BAL TBA
covenant DA	local authority Box Hill S.C	parish TBA	county TBA
drawing number	scale		rev

1:100@A3

A3.4





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NOTE: 450mm EAVE (610MM TO FRAME)UNO

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Site plan amended, Plans amended, 12/11/19 MJS MJS 12/11/19 ISSUE REV. DETAILS INT

Tot	al Areas
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m²

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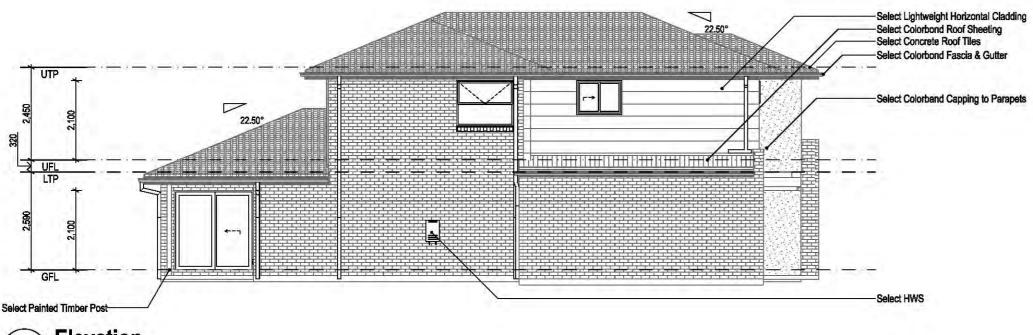
A3.5

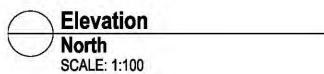
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stup diawings.			
project number #Pin		drawn by MSC	MCR/
drawing name Elevations 1		wind class	JSK soil clas
project status DA		TBA	TBA
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	TBA
covenant	local authority	parish	county
DA	Box Hill S.C	ТВА	TBA
drawing number	scale		nev







Elevation South SCALE: 1:100

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MJS	12/11/19 ISSUE
mended, MUS	12/11/19
	nended, MJS

Tot	al Areas	
Alfresco	7.40	-1
Garage	36.36	
House Lower	86.35	
House Upper	77.06	
Porch	2.55	
	209.72 m ²	

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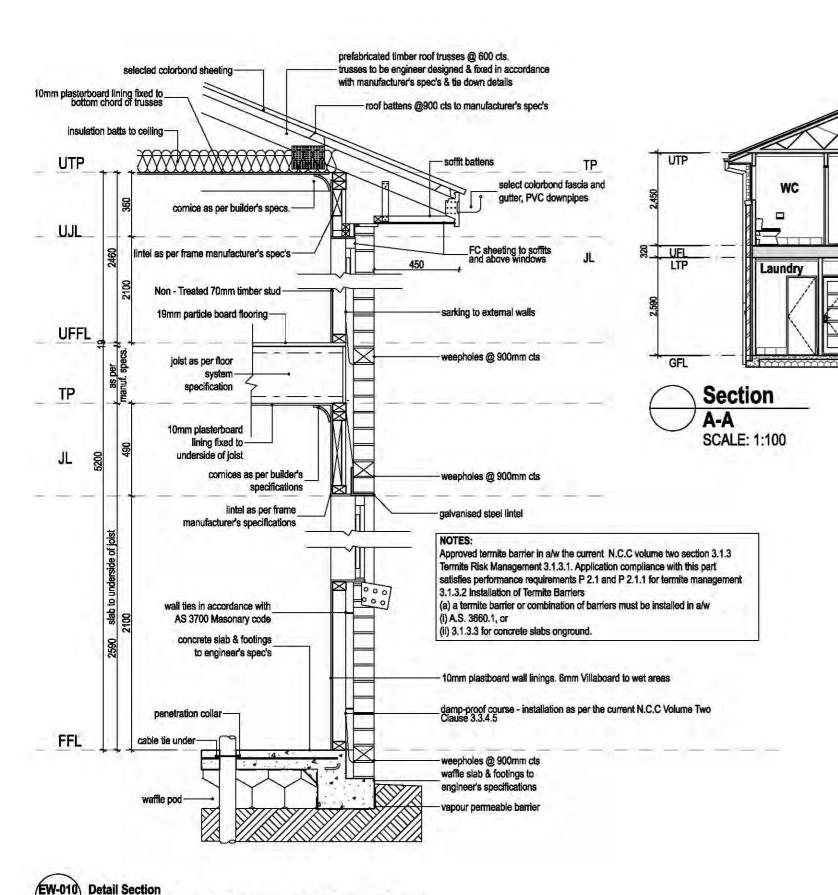
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Diamond 210 (Maple Facade) Lot 952 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

and annual			
project number #Pin		drawn by MSC	checker MCR/
drawing name Elevations 2		wind class	JSK soil clas
project status DA		TBA	ТВА
real property description part of Lot 411 in DP 1230476	flood level TBA	climate zone TBA	TBA
covenant DA	local authority Box Hill S.C	parish TBA	TBA
drawing number A3.6	scale 1:100@A3		nev B



DS_BV_2590-2460TP_22.5Deg_SheetRoof_600Truss_450Eave

SCALE: 1:20

THE HILLS SHIRE COUNCIL

22.50°

ENS

Garage

Select Concrete Roof Tiles

Select Plasterboard Cornice

-Select Plasterboard

Select Fibre Cement Sheeting

Select Colorbond Roof Sheeting

Select Colorbond Fascia & Gutter

Select Timber Skirting

-Select Colorband Capping to Parapets

-Select Colorbond Flashing to rear of Parapets

Select Structural Concrete to Engineers Spec.

Select Manufactured Roof Trusses at 600 crs

-Select Structural Floor System to Manufacturers Spec.

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A REV.	DETAILS	MJS INT	Issu Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m ²

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A3.7

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project number #Pin		drawn by MSC	checked MCR/
drawing name Section and Det	ail	wind class	JSK soil class
project status DA		TBA	TBA
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	BAL TBA
covenant DA	local authority Box Hill S.C	parish TBA	county TBA
drawing number	scale		nev

1:100, 1:20@A3

External Colour Scheme - NSW OXLEY

		STANDARD	COMMENTS
COLORBOND ROOF	Custom Orb	Basalt	
TILED ROOF	Bristile Classic Range	Mica	
	Guttering	Basalt	
	Fascia	Basalt	
	Barge capping (if applicable)	Basalt	
	Dry verge (if applicable)	Basalt	
WINDOWS	Dowell	Woodland Grey	
BRICKS	PGH Alfresco	Truffle	
MORTAR JOINTS	Ironed	Off-white	
EAVES		Builders White	
MAIN HOUSE COLOUR		Dulux Pale Tendril	
FEATURE COLOUR		Dulux Timeless Grey	
ENTRY DOOR		Dulux Basalt	
PVC DOWNPIPES	Over Brick/Main Colour	Dulux Pale Tendril	
	Over Feature Colour	Dulux Timeless Grey	
TIMBER POST	Feature Colour	Dulux Timeless Grey	
LETTERBOX	Main Colour	Dulux Pale Tendril	
BUNKER LIGHTS		Silver	
CLOTHES LINE		Bark	
GARAGE DOOR	Flat Line	Basalt	
COLOURED CONCRETE		Slate Grey	

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В	Elevations amended	MJS	12/11/19
A		MJS	12/11/19 ISSUE
REV.	DETAILS	INT	Date

Tot	al Areas		
Alfresco 7.40			
Garage	36.36		
House Lower	86.35		
House Upper	77.06		
Porch	2.55		
	209.72 m ²		

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A3.8

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Diamond 210 (Maple Facade) Lot 952 New Road Maraylya NSW 2765

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snop arawings.			
project number #Pin		drawn by MSC	checked MCR/
drawing name External Colour	S	wind class	JSK soil class
project status DA		TBA	ТВА
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	BAL TBA
covenant	local authority	parish	county
DA	Box Hill S.C	ТВА	TBA
drawing number	scale		nev

SITE DATA SITE AREA = 337M²

SITE COVERAGE PERMISSABLE = 55% OR 185.35M² PROVIDED = 36.29% OR 122.31M²

SOFT LANDSCAPE
Refer to landscape intent plans

PRINCIPLE PRIVATE OPEN SPACE REQUIRED - 20M² (5MX4M) PROVIDED - 107.12M²

GENERAL NOTES

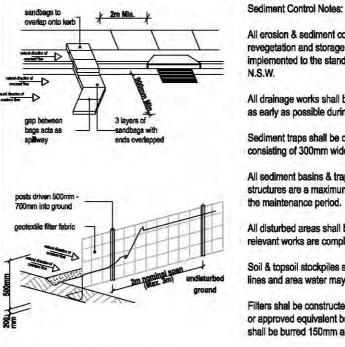
- Stormwater to discharge into designated discharge point to PCA requirements
- Sewer to local authorities requirements.
- All ground lines are to be varified on site by the builder
- Final location of buildings to be verified on-site by a registered surveyor.
- Written dimensions to take precedence over scaling. Any plan discrepencied to be preffered back to design before proceeding.
- Site classification TBA
- house platforn to RL 43.7m AHD Approx.
- House floor level RL 44.05m AHD Approx., 310-385mm above platform level, garage level approx. RL 43.97m AHD 310-385mm above platform level

Legend	
Silt barrier	
Driveway location	
Stormwater draina	ge — - —
Developer retaining	9

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DEVELOPMENT CONSENT
DA 1468/2019/ZE

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SILT FENCE DETAILS

All erosion & sediment control measurements including revegetation and storage of soil & top soil, shall be implemented to the standard of the soil conservation of N.S.W.

All drainage works shall be constructed around and stabilized as early as possible during development.

Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trenchs.

All sediment basins & traps shall be cleared when the structures are a maximum of 60% full of matreials, including the maintenance period.

All disturbed areas shall be revegetated as soon as the relevant works are completed.

Soil & topsoil stockpiles shall be located away from drainage lines and area water may concentrate.

Filters shal be constructed by stretching a filter fabric (Propex or approved equivalent between post as 2m centres). Fabric shall be burred 150mm along its lower edge.





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Total Areas

10.13

36.25

73.99

77.89

2.28

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200.54 m²

12/11/19

12/11/19 ISSUE

Date

MJS

MJS

INT

Site plan amended, Floor plans amended. Elevations amended

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

REV. DETAILS

House Lower

House Upper

DEVELOPMENT CODE (QDC);

Alfresco

Garage

Porch

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Umina 200 (Mahogany Facade) Lot 953 New Road Maraylya NSW 2765

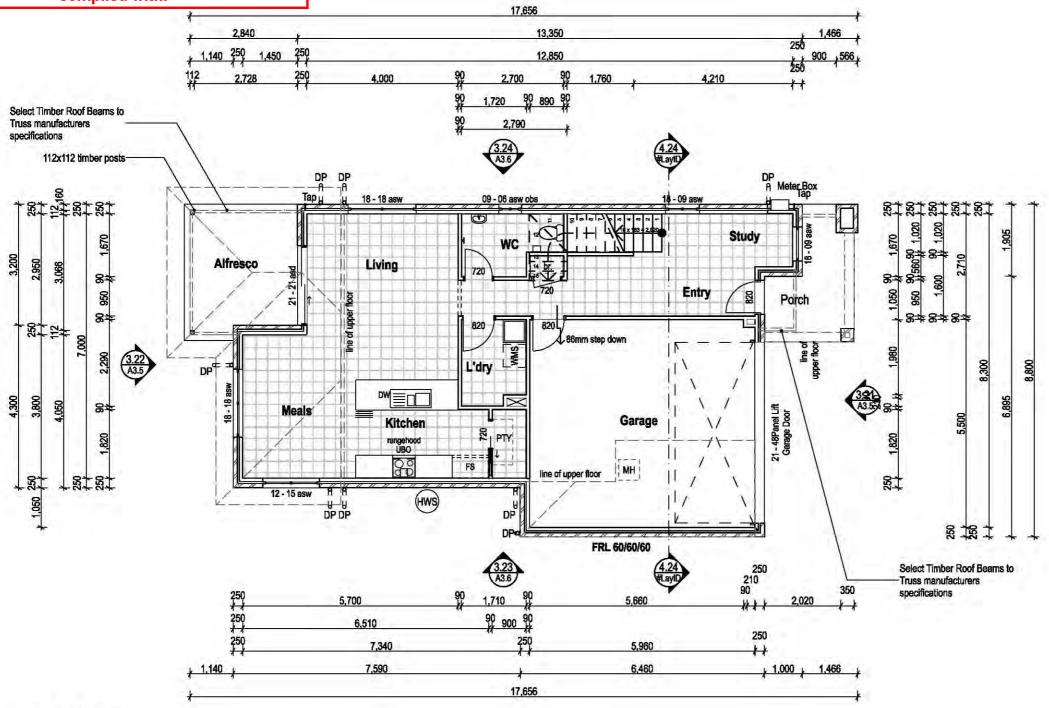
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project number		drawn by	Checked
		MSC	MCR
drawing name			MBA
			JSK
Site Plan		wind class	soil class
project status DA		TBA	TBA
real property description	flood level	climate zone	BAL
part of Lot 411 in DP	TBA	TBA	TBA
1230476	100	95.5	3863
covenant	local authority	parish	county
DA	Box Hill	TBA	TBA

S.C drawing number scale 1:200, 1:300@A3

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Plan

Ground Floor Plan - 90mm

SCALE: 1:100

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В	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A REV.	DETAILS	MJS INT	12/11/19 Issue Date

Tot	al Areas	
Alfresco 10.13		
Garage	36.25	
House Lower	73.99	
House Upper	77.89	
Porch	2.28	
	200.54 m ²	

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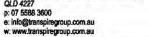
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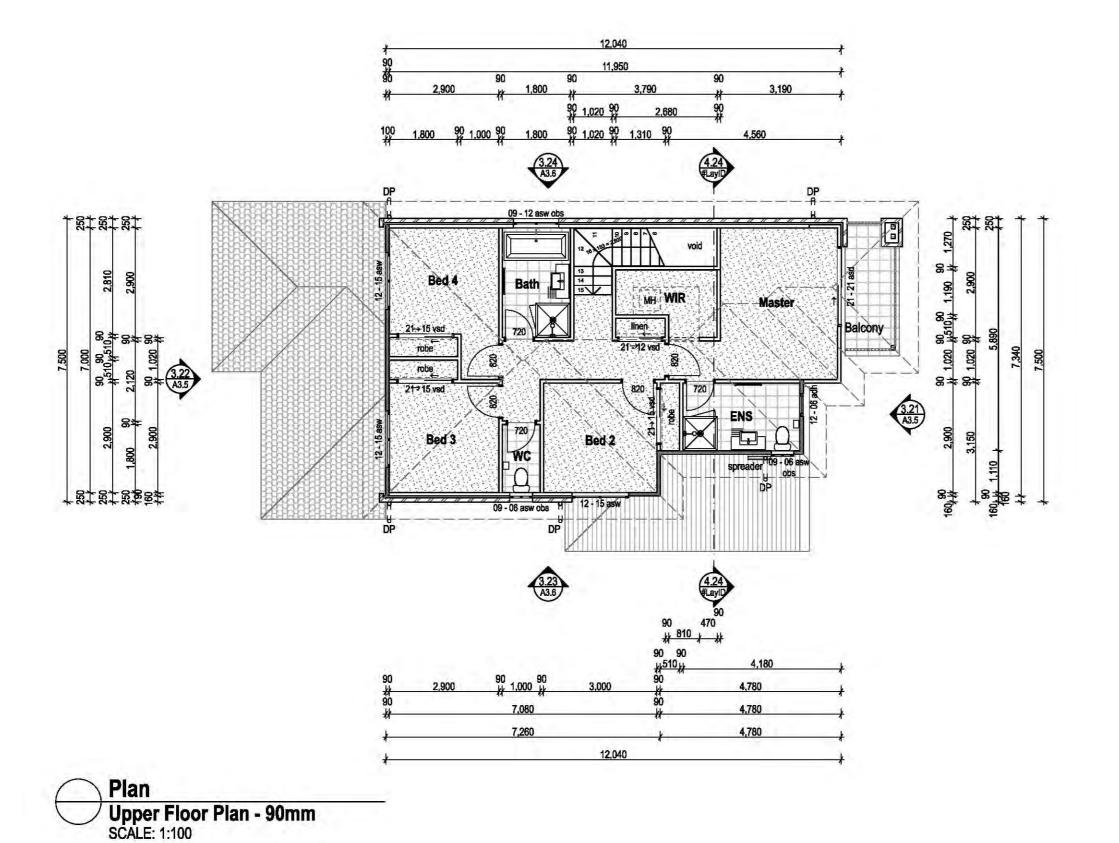
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number drawing name Ground Floor Plan project status DA real property description part of Lot 411 In DP 1230476 covenant drawin by MSC MCR/ MBA/ Sy wind class TBA TBA TBA TBA TBA TBA TBA TB	ariop distrings.				
Ground Floor Plan wind class TBA TBA real property description flood level climate zone BAL part of Lot 411 In DP TBA TBA TBA 1230476	project number				
part of Lot 411 in DP TBA TBA TBA 1230476	Ground Floor Pl project status	an	William State	JSK soil class	
covenant local authority parish county	part of Lot 411 in DP	1145 615151	5-10-10-0		
	covenant	local authority	parish	county	

A3.3

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	1.50		
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REV.	DETAILS	MJS INT	12/11/19 Issue Date

Total Areas		
Alfresco 10.13		
Garage	36.25	
House Lower	73.99	
House Upper	77.89	
Porch	2.28	
7. 1.	200.54 m ²	

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Umina 200 (Mahogany Facade) Lot 953 New Road Maraylya NSW 2765

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project number		drawn by MSC	MCR/
drawing name Upper Floor Pla	n	wind class	MBA/ JSK soil class TBA
project status DA		IDA	IDA
real property description	flood level	climate zone	BAL
part of Lot 411 in DP 1230476	TBA	TBA	TBA
covenant	local authority	parish	county

A3.4



3.21 Elevation

Mahogany - West SCALE: 1:100



3.22 Elevation

East

SCALE: 1:100

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A	DETAILS	MJS	12/11/19 Issue
В	ite plan amended, Floor plans mended, Elevations amended	MJS	12/11/19

Total Areas				
Alfresco	10.13			
Garage	36.25			
House Lower	73.99			
House Upper	77.89			
Porch	2.28			
	200.54 m ²			

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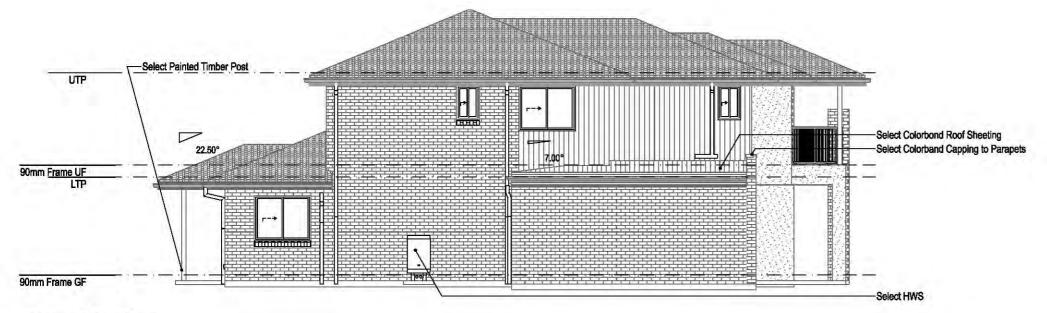
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A3.5

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project number		MSC	MCR/
drawing name Elevations 1		wind class	JSK soil clas
project status DA		ТВА	TBA
real property description	flood level	climate zone	BAL
part of Lot 411 in DP 1230476	TBA	TBA	TBA
covenant	local authority	parish	county
DA	Box Hill S.C	ТВА	TBA



3.23 Elevation North SCALE: 1:100



3.24 Elevation South SCALE: 1:100

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amended, Elevations amended MNS 12117	ations amended MNS 121719	A	MJS 1	2/11/19 ISSUE
		В	evations amended MUS	

Total Areas				
Alfresco	10.13			
Garage	36.25			
House Lower	73.99			
House Upper	77.89			
Porch	2.28			
	200.54 m ²			

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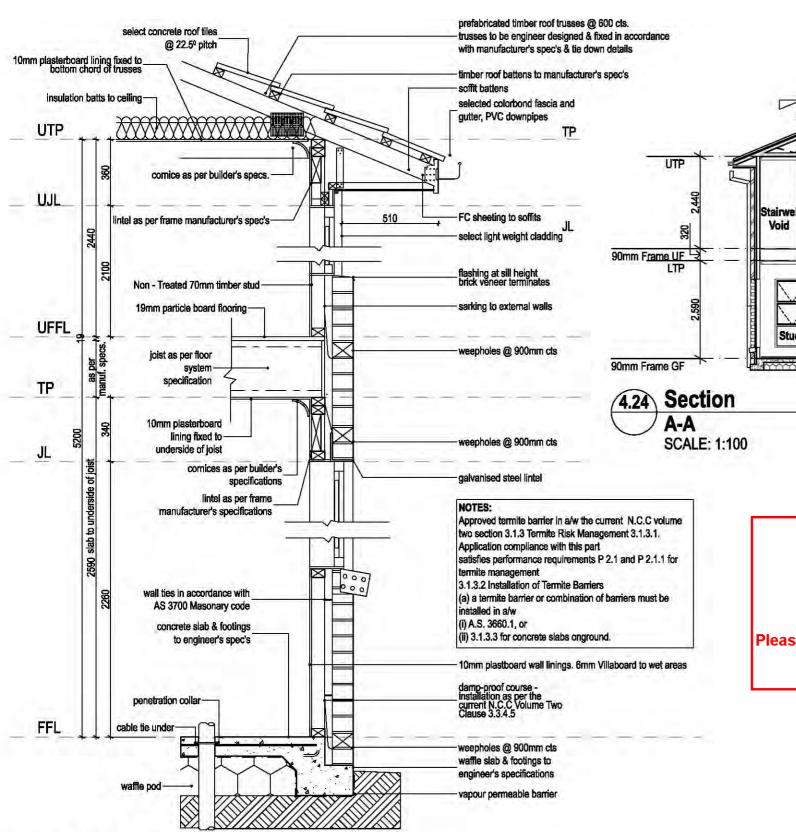
Umina 200 (Mahogany Facade) Lot 953 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

project number		drawn by MSC	checked MCR/
drawing name Elevations 2		wind class	MBA/ JSK soil class
project status DA		ТВА	TBA
real property description	flood level	climate zone	BAL
part of Lot 411 in DP 1230476	TBA	TBA	TBA

Box Hill

1:100@A3 A3.6



APPROVED DEVELOPMENT CONSENT DA 1468/2019/ZE

Please refer to conditions of Development Consent for details of matters which must be complied with.

Total Areas Alfresco 10.13 36.25 Garage 73.99 House Lower 77.89 House Upper Select Structural Floor System to Man. Spec. Porch 2.28

Site plan amended, Floor plans amended. Elevations amended

REV. DETAILS

Select Plasterboard

Select Concrete Roof Tiles

Select Fibre Cement Soffit Lining

Select Colorbond Fascia & Gutter

Select Timber roof trusses to

manufacturers specification

Select Lightweight Horizontal Cladding

Select Colorband Capping to Parapets

Select Colorbond Roof Sheeting

Select Concrete Foundations to

Engineers Design and Specification

Select Face Brick Veneer

Select Timber Skirting

Select Colorbond Flashing to rear of Parapets

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12/11/19

12/11/19 ISSUE

Date

MJS

MJS

INT

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); **BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS &**

200.54 m²

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Umina 200 (Mahogany Facade) Lot 953 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

project number drawn by checked MCR/ MRA/ Section & Detail wind class TBA TRA real property description climate zone part of Lot 411 in DP TBA TRA TBA 1230476

TBA

TBA

local authority **Box Hill** DA

S.C drawing number

1:100, 1:20@A3 A3.7

EW-036 Detail Section DS_BV_2590-2440TP_22.5Deg_TileRoof_600Truss_450Eave SCALE: 1:20

THE HILLS SHIRE COUNCIL

Ensuite

Garage

1

Void

Study

22.50°

WIR

External Colour Scheme MANNING

		STANDARD	COMMENTS
COLORBOND ROOF	Custom Orb	Jasper	
TILED ROOF	Bristile Classic Range	Bark	
	Guttering	Paperbark	
	Fascia	Paperbark	
	Barge capping (if applicable)	Paperbark	
	Dry verge (if applicable)	Paperbark	
WINDOWS	Dowell	Paperbark	
BRICKS	PGH Naturals	Chocolatto	
MORTAR JOINTS	Ironed	Off-white	
EAVES		Builders White	
MAIN HOUSE COLOUR		Dulux Ceylonese	
FEATURE COLOUR		Dulux Light Rice Quarter	
ENTRY DOOR		Dulux Paperbark	
PVC DOWNPIPES Over Brick/Main Colour Dulux Paperbark			
	Over Feature Colour	Dulux Paperbark	
TIMBER POST	Feature Colour	Dulux Paperbark	
LETTERBOX	Main Colour	Dulux Classic Cream	
BUNKER LIGHTS		Silver	
CLOTHES LINE		Classic Cream	
GARAGE DOOR	Flat Line	Jasper	
COLOURED CONCRETE		Slate Grey	

THE HILLS SHIRE COUNCIL

APPROVED DEVELOPMENT CONSENT DA 1468/2019/ZE

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B amended, Elevations amended	I MJS	1 12/11/19
Site plan amended, Floor plans	MJS	12/11/19

Total Areas				
Alfresco	10.13			
Garage	36.25			
House Lower	73.99			
House Upper	77.89			
Porch	2.28			
	200.54 m ²			

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); **BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS &**

CURRENT ISSUES OF AUSTRALIAN STANDARDS CURRENT MANUFACTURERS SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED



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w: www.transpiregroup.com.au

Yuantong Australia Pty Ltd

Umina 200 (Mahogany Facade) Lot 953 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number		drawn by MSC	checked MCR/
drawing name External Colours		wind class	MBA/ JSK soil class
project status DA		ТВА	TBA
real property description	flood level	climate zone	BAL
part of Lot 411 in DP 1230476	TBA	TBA	TBA

Box Hill

A3.8

SITE DATA SITE AREA = 300M2

SITE COVERAGE PERMISSABLE = 55% OR 165M2 PROVIDED = 40% OR 122.65M2

SOFT LANDSCAPE Refer to landscape intent plans

PRINCIPLE PRIVATE OPEN SPACE REQUIRED - 20M2 (5MX4M) PROVIDED - 124.23M2

GENERAL NOTES

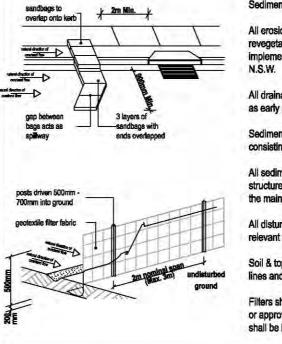
- Stormwater to discharge into designated discharge point to PCA requirements
- Sewer to local authorities requirements.
- All ground lines are to be varified on site by the builder
- Final location of buildings to be verified on-site by a registered surveyor.
- Written dimensions to take precedence over scaling. Any plan discrepencied to be preffered back to design before proceeding.
- Site classification TBA
- house platforn to RL 39.90m AHD Approx.
- House floor level RL 41.17m AHD Approx., 310-385mm above platform level, garage level approx. RL 41.25m AHD 310-385mm above platform

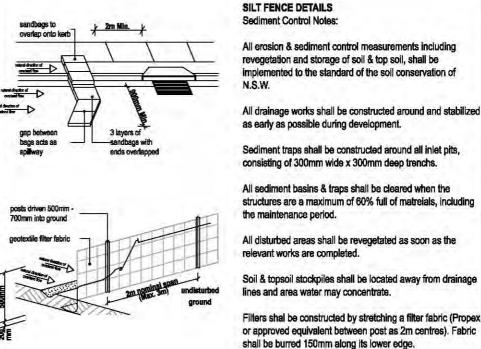
Legend	
Silt barrier	
Driveway location	
Stormwater draina	ge — —
Developer retaining	

THE HILLS SHIRE COUNCIL

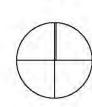
APPROVED DEVELOPMENT CONSENT DA 1468/2019/ZE

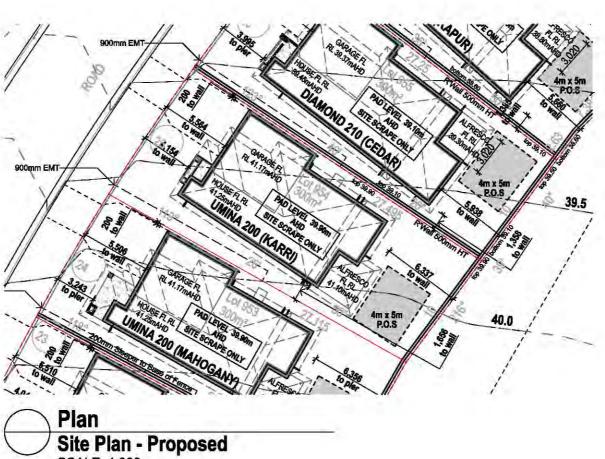
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SCALE: 1:300

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Site plan amended, Floor plans amended. Elevations amended 12/11/19 MJS MJS 12/11/19 ISSUE REV. DETAILS INT

Total Areas			
Alfresco	10.13		
Garage	36.25		
House Lower	73.99		
House Upper	77.89		
Porch	2.28		
	200.54 m ²		

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); **BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS &**

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Umina 200 (Karri Facade) Lot 954 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions, Contractors

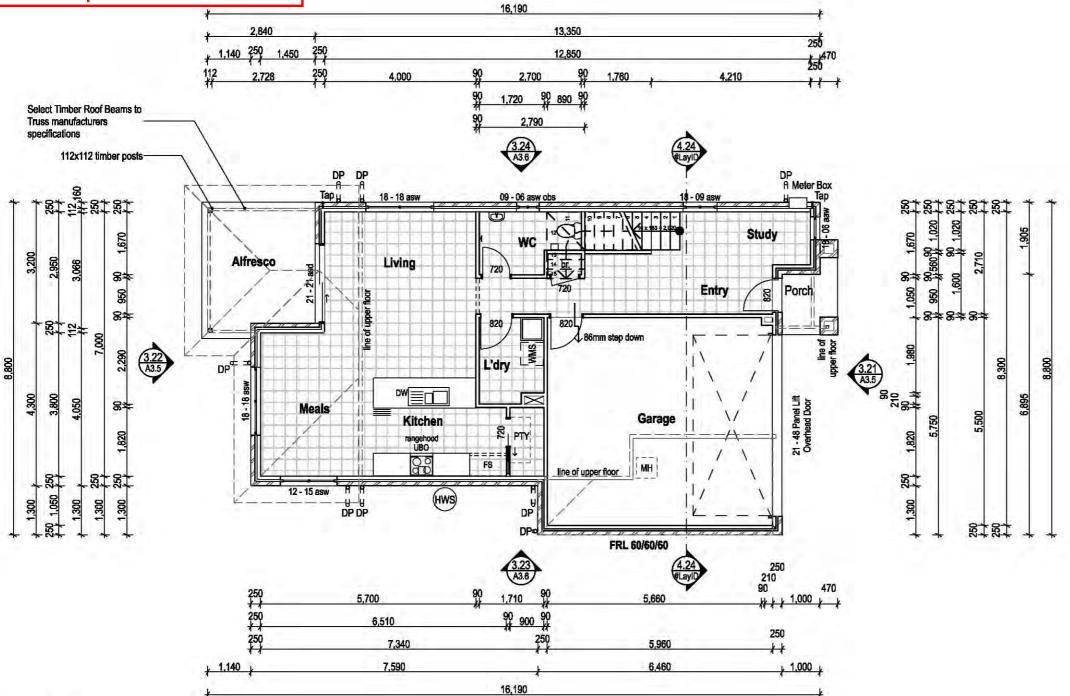
checked MCR/ MRA/ Site Plan wind class TBA TRA real property description part of Lot 411 in DP TRA TBA TRA 1230476

local authority TBA DA Box Hill

1:200, 1:300@A3 A3.2

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Plan

Ground Floor Plan - 90mm

SCALE: 1:100

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MJS	12/11/19 12/11/19 ISSUE
	1

Tot	al Areas
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	200.54 m ²

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

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A3.3

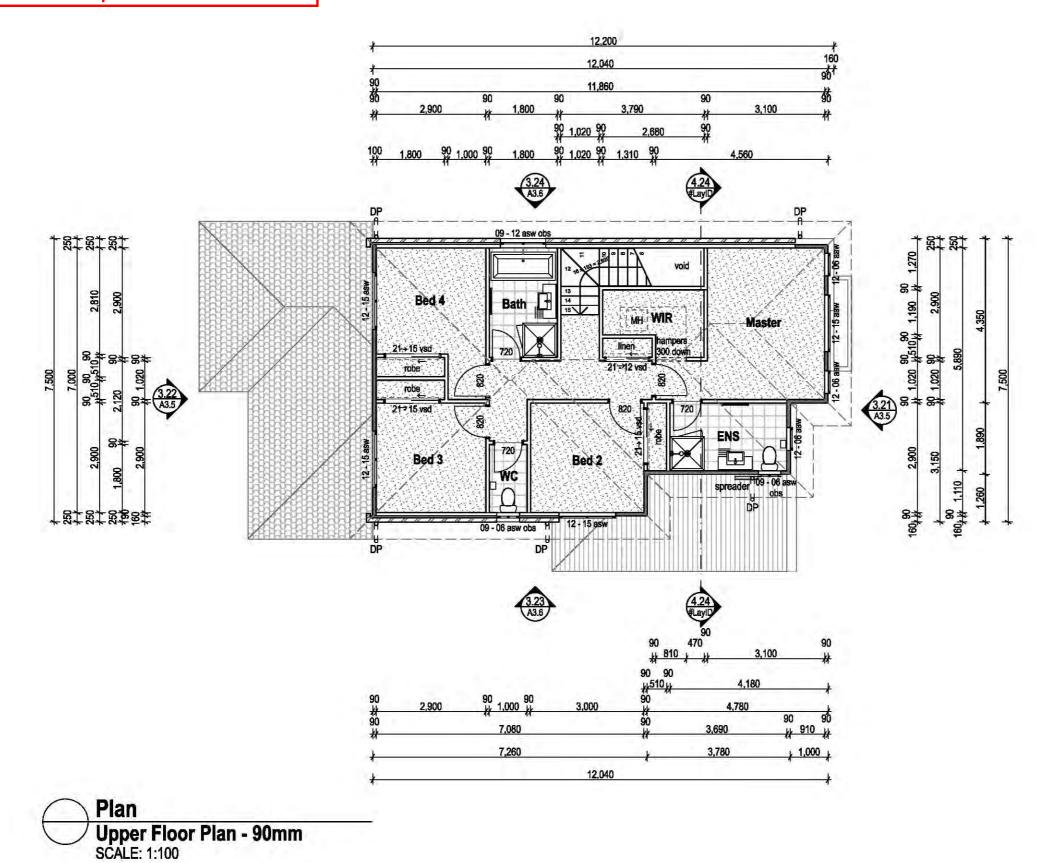
Umina 200 (Karri Facade) Lot 954 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

project number		drawn by	checked MCR/
drawing name		Mac	MBA/
Ground Floor P	lan	wind class	JSK soil class
project status DA		ТВА	TBA
real property description	flood level	climate zone	BAL
part of Lot 411 in DP 1230476	TBA	TBA	TBA
covenant	local authority	parish	county
DA	Box Hill S.C	ТВА	TBA

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В	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
REV.	DETAILS	MJS INT	12/11/19 Issue Date

Tot	al Areas
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	200.54 m ²

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); **BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS &**

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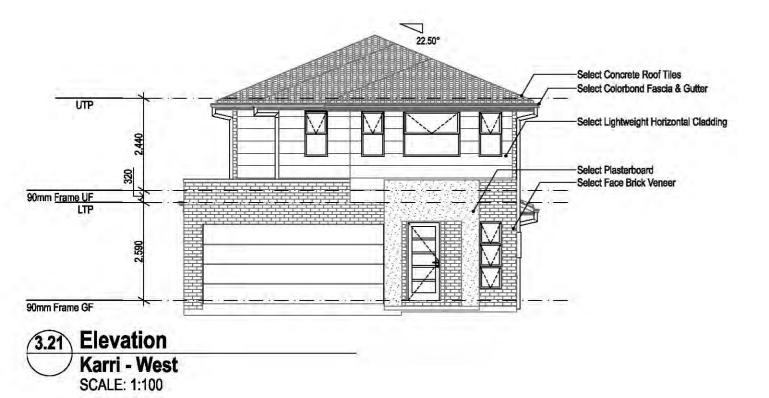
Umina 200 (Karri Facade) Lot 954 New Road Maraylya NSW 2765

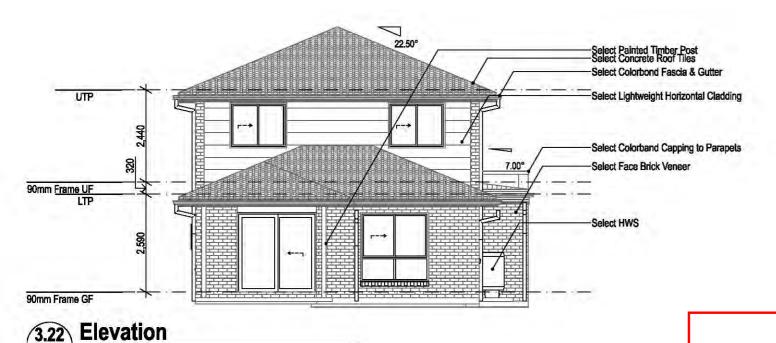
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

project number		drawn by MSC	checked MCR/
drawing name Upper Floor Pla	n	wind class	MBA/ JSK soil class
project status DA		TBA	TBA
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	TBA

Box Hill

A3.4





East

SCALE: 1:100

THE HILLS SHIRE COUNCIL

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amended, Elevations amended	ns amended MJS 12/11/19		MJS	12/11/19 ISSUE
amended, Elevations amended MNS 12/1/1	ns amended MUS 121//19	amended, Elevations amended		
		Site plan amended, Floor plans	7.00	

Tot	al Areas
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	200.54 m ²

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

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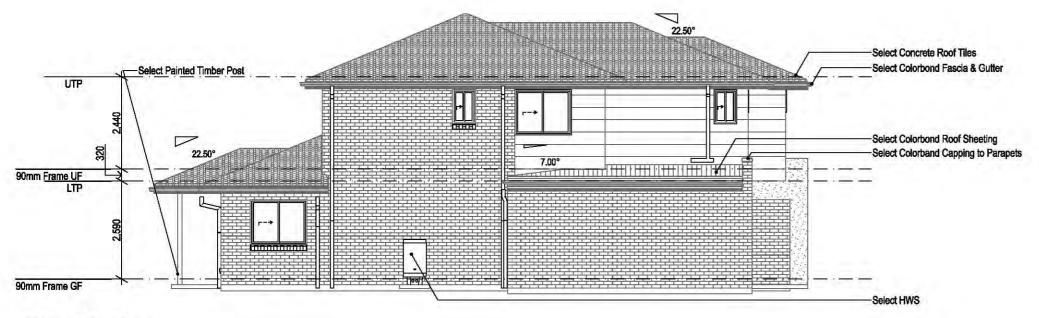
Umina 200 (Karri Facade) Lot 954 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

part of Lot 411 in DP 1230476	TBA	TBA	TBA
real property description	flood level	climate zone	BAL
project status DA		ТВА	TBA
drawing name Elevations 1		wind class	MBA/ JSK soil class
project number		drawn by MSC	checked MCR/
catop stantings.			

Box Hill

1:100@A3 A3.5







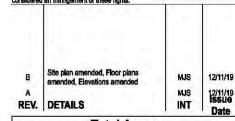
3.24 Elevation South SCALE: 1:100

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Tot	al Areas
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	200.54 m ²

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); **BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS &**

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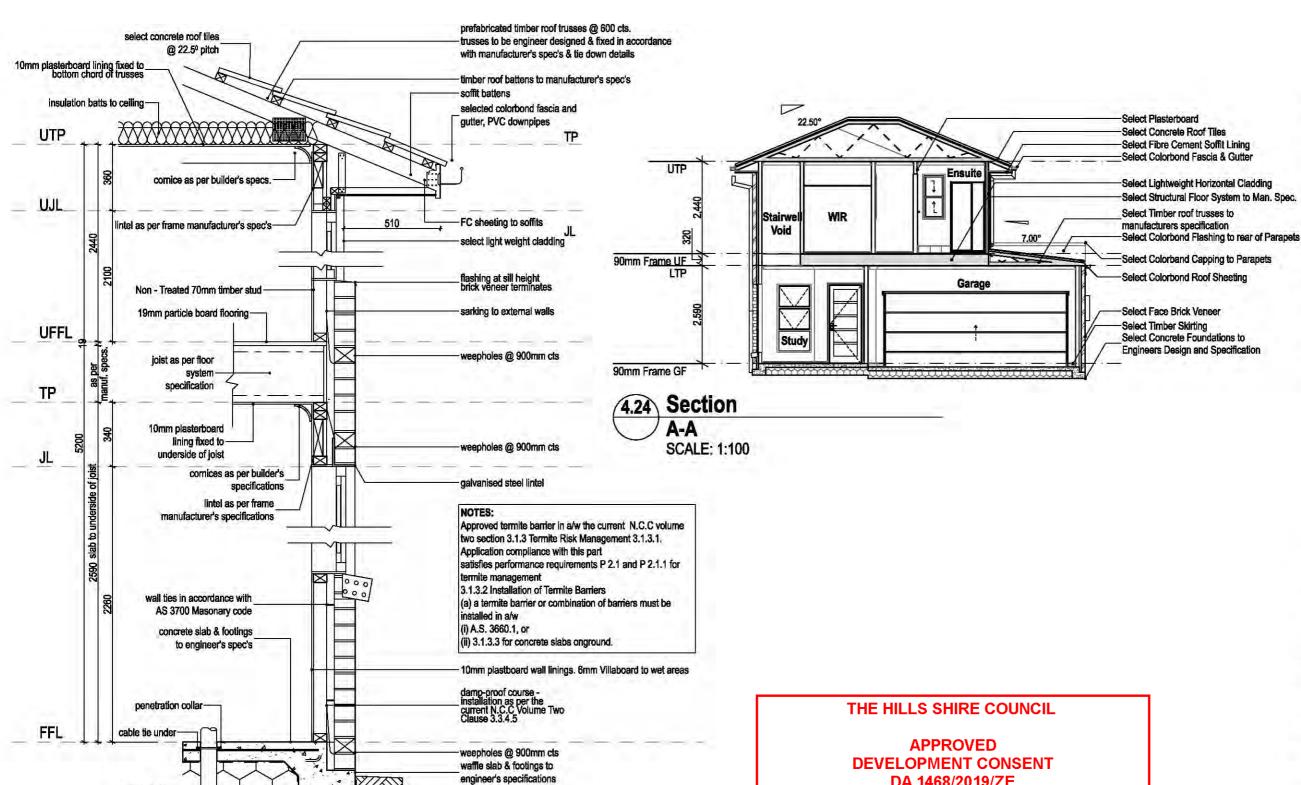
Umina 200 (Karri Facade) Lot 954 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

project number		drawn by MSC	checked MCR/
drawing name Elevations 2		wind class	MBA/ JSK soil class
project status DA		TBA	TBA
real property description	flood level	climate zone	BAL
part of Lot 411 in DP 1230476	TBA	TBA	TBA

Box Hill

A3.6



vapour permeable barrier

waffle pod

DS_BV_2590-2440TP_22.5Deg_TileRoof_600Truss_450Eave

EW-036 Detail Section

SCALE: 1:20

DA 1468/2019/ZE

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B Stite plan amended, Floor plans amended, Elevations amended MJS 12/11/1 A REV. DETAILS INT	A amended, Elevations amended MJS	Date
amended, Elevations amended WNS 1211/	amended, Elevations amended MNS	12/11/1 ISSU
		12/11/1

Total Areas		
Alfresco	10.13	
Garage	36.25	
House Lower	73.99	
House Upper	77.89	
Porch	2.28	
7.7	200.54 m ²	

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); **BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS &**

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Umina 200 (Karri Facade) Lot 954 New Road Maraylya NSW 2765

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project number		drawn by MSC	checked MCR/
drawing name Section & Detail	10	wind class	MBA/ JSK soil class
project status DA		ТВА	TBA
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	TBA

Box Hill

1:100, 1:20@A3 A3.7

External Colour Scheme COOPER

		STANDARD	COMMENTS
COLORBOND ROOF	Custom Orb	Woodland Grey	
TILED ROOF	Bristile Classic Range	Gun Metal	
	Guttering	Woodland Grey	
	Fascia	Woodland Grey	
	Barge capping (if applicable)	Woodland Grey	
	Dry verge (if applicable)	Woodland Grey	
WINDOWS	Dowell	Paperbark	
BRICKS	PGH Velour	Brown	
MORTAR JOINTS	Ironed	Off-white	
EAVES		Builders White	
MAIN HOUSE COLOUR		Dulux Hog Bristile	
FEATURE COLOUR		Dulux Paperbark	
ENTRY DOOR		Dulux Brown Leaf	
PVC DOWNPIPES	Over Brick/Main Colour	Dulux Paperbark	
100000000000000000000000000000000000000	Over Feature Colour	Dulux Paperbark	
TIMBER POST	Feature Colour	Dulux Brown Leaf	
LETTERBOX	Main Colour	Dulux Paperbark	
BUNKER LIGHTS		Silver	
CLOTHES LINE		Classic Cream	
GARAGE DOOR	Flat Line	Terrain	
COLOURED CONCRETE		Chocolate	

THE HILLS SHIRE COUNCIL

APPROVED DEVELOPMENT CONSENT DA 1468/2019/ZE

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KEY.	DEIAILO	Luni	Date
A	DETAILS	INT	12/11/19 Issue
В	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
	1		

Total Areas		
Alfresco	10.13	
Garage	36.25	
House Lower	73.99	
House Upper	77.89	
Porch	2.28	
	200.54 m²	

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); **BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS &**

CURRENT ISSUES OF AUSTRALIAN STANDARDS CURRENT MANUFACTURERS SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED



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Umina 200 (Karri Facade) Lot 954 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings

snop arawings.			
project number		drawn by MSC	checked MCR/
drawing name External Colou project status DA	rs	wind class TBA	MBA/ JSK soil class TBA
real property description	flood level	climate zone	BAL
part of Lot 411 in DP 1230476	TBA	ТВА	TBA
Anunnant	land authorite	nadala	-

A3.8

Box Hill

TBA

SITE DATA SITE AREA = 300M2

SITE COVERAGE PERMISSABLE = 55% OR 165M2 PROVIDED = 44.22% OR 132.66M2

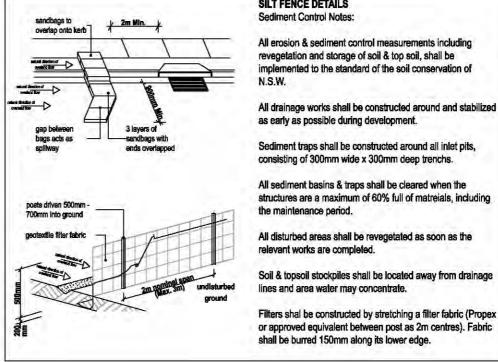
SOFT LANDSCAPE Refer to landscape intent plans

PRINCIPLE PRIVATE OPEN SPACE REQUIRED - 20M2 (5MX4M) PROVIDED - 112.6M²

GENERAL NOTES

- Stormwater to discharge into designated discharge point to PCA requirements
- Sewer to local authorities requirements.
- All ground lines are to be varified on site by the builder
- Final location of buildings to be verified on-site by a registered surveyor.
- Written dimensions to take precedence over scaling. Any plan discrepencied to be preffered back to design before proceeding.
- Site classification TBA
- house platforn to RL 39.10m AHD Approx.
- House floor level RL 39.45m AHD Approx., 310-385mm above platform level, garage level approx. RL 39.37m AHD 310-385mm above platform

Legend	
Silt barrier	
Driveway location	*******
Stormwater draina	
Developer retaining	





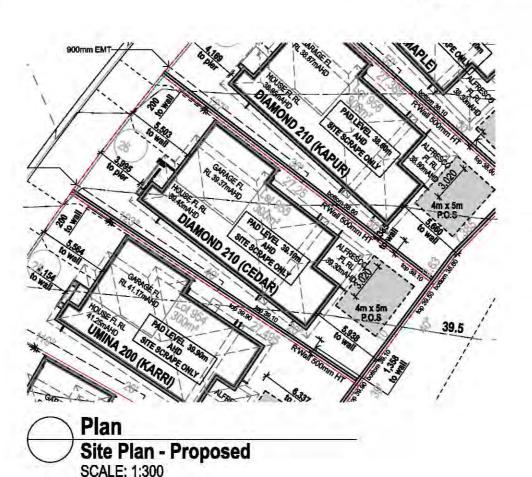
Detail Section Silt Fence Detail NSW

SCALE: 1:200

THE HILLS SHIRE COUNCIL

APPROVED DEVELOPMENT CONSENT DA 1468/2019/ZE

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SILT FENCE DETAILS

transpire

constructions

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Total Areas

7.40 36.36

86.35

77.06

2.55

209.72 m²

12/11/19

12/11/19 ISSUE

MJS

MJS

INT

Site plans amended, Floor plans amended. Elevations amended

ALL DESIGN CONSTRUCTION &

MATERIALS TO BE IN ACCORDANCE

THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND

BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS &

CURRENT ISSUES OF AUSTRALIAN STANDARDS CURRENT MANUFACTURERS SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED

REV. DETAILS

House Lower

House Upper

DEVELOPMENT CODE (QDC);

Alfresco

Garage

Porch

Transpire Constructions

Suite 2, Level 2, 15 Lake Street "The Atrium", QLD 4227 p: 07 5588 3600 e: info@transpiregroup.com.au w: www.transpiregroup.com.au

A3.2

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Diamond 210 (Cedar Facade) Lot 955 New Road Maraylya NSW 2765

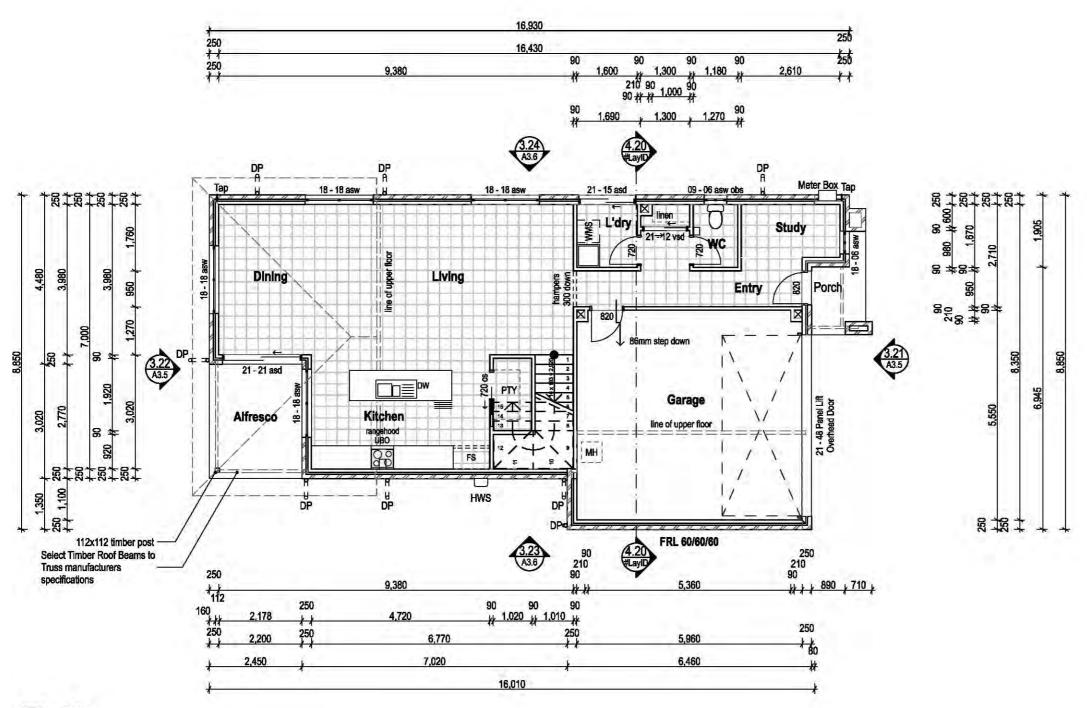
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

project number		drawn by MSC	MCR/ MBA/
drawing name Site Plan		wind class	JSK soil class
project status DA		TBA	TBA
real property description	flood level	climate zone	BAL
part of Lot 411 in DP 1230476	TBA	TBA	ТВА
covenant	local authority	parish	county
DA	Box Hill S.C	ТВА	TBA

1:200. 1:300@A3

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Plan **Ground Floor Plan** SCALE: 1:100

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В	Site plans amended, Floor plans amended, Elevations amended	MJS	12/11/19
Α		MJS	12/11/19 ISSUE
REV.	DETAILS	INT	Date

Tot	al Areas
Alfresco 7.40	
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m ²

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); **BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS & POLICIES**

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A3.3

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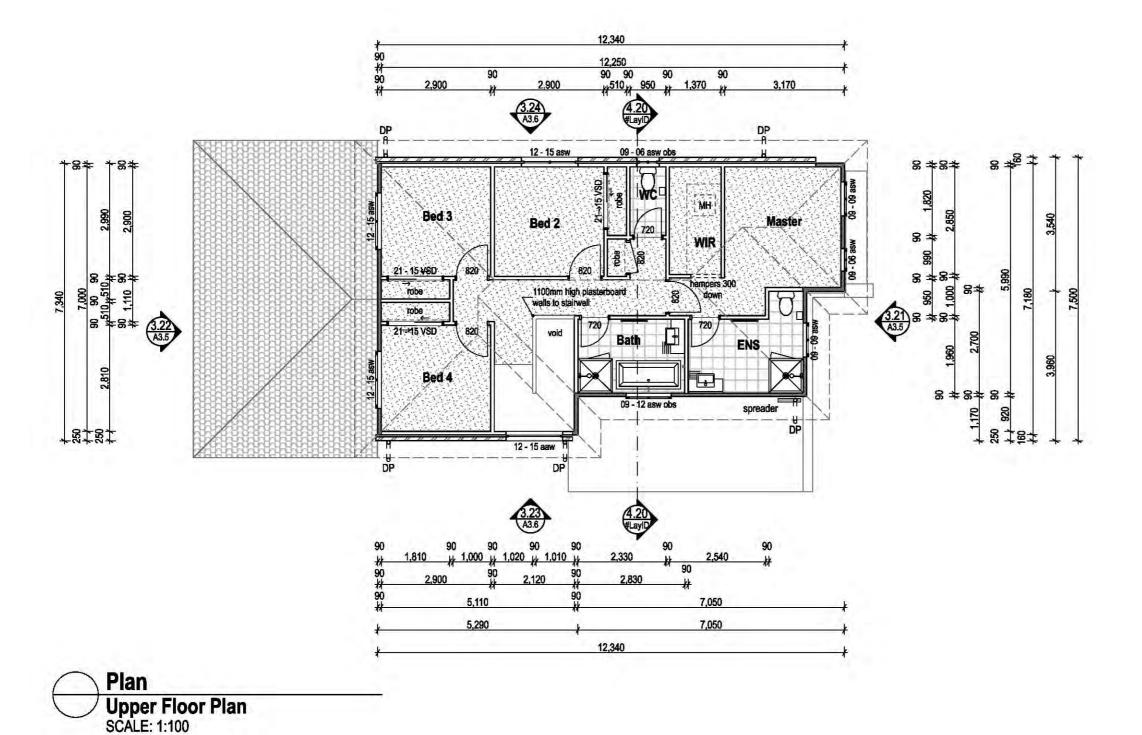
Diamond 210 (Cedar Facade) Lot 955 New Road Maraylya NSW 2765

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project number		drawn by MSC	checked MCR/
drawing name Ground Floor Pi	lan	wind class	MBA/ JSK soil class
project status DA		TBA	TBA
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	BAL TBA
covenant DA	local authority Box Hill S.C	parish TBA	county TBA
drawing number	scale 1:100@A3		rev B

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В	Site plans amended, Floor plans amended, Elevations amended	MJS	12/11/1
A		MJS	12/11/1 ISSU
REV.	DETAILS	INT	Date

Tot	al Areas
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m ²

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project number		drawn by MSC	MCR/ MBA/
drawing name			JSK soil clas
Upper Floor Pla	n	wind class	soil clas
project status DA		TBA	ТВА
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	BAL TBA
covenant	local authority	parish	county
DA	Box Hill S.C	ТВА	TBA
And the second			

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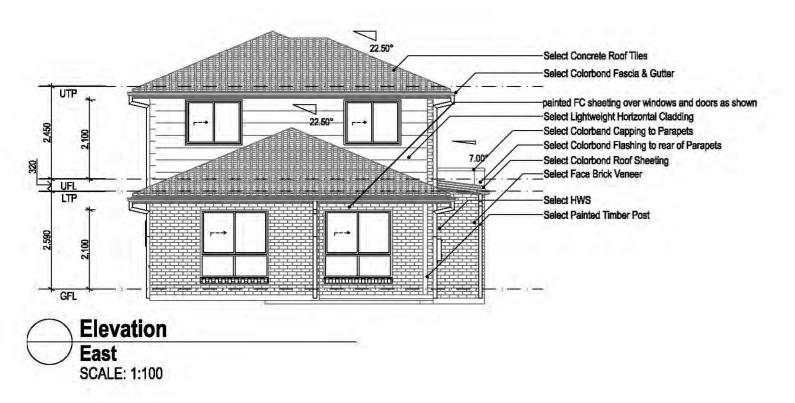
A3.4



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NOTE: 450mm EAVE (610MM TO FRAME)UNO

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Site plans amended, Floor plans amended, Elevations amended 12/11/19 MJS MJS 12/11/19 ISSUE REV. DETAILS INT

Tot	al Areas			
Alfresco 7.40				
Garage	36.36			
House Lower	86.35			
House Upper	77.06			
Porch	2.55			
	209.72 m²			

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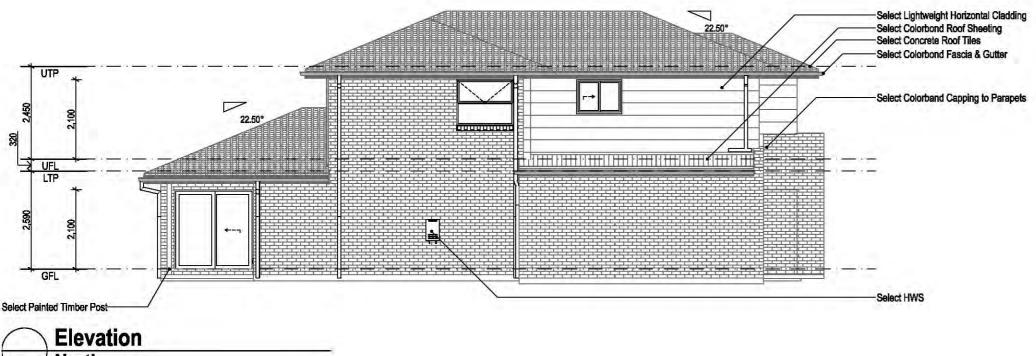
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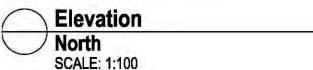
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Diamond 210 (Cedar Facade) Lot 955 New Road Maraylya NSW 2765

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project number		drawn by MSC	checked MCR/
drawing name Elevations 1		wind class	MBA/ JSK soil class
project status DA		TBA	TBA
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	TBA
covenant	local authority	parish	county
DA	Box Hill S.C	ТВА	TBA
drawing number	scale		rev
A3.5	1:100@A3		В







Elevation North SCALE: 1:100

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В	Site plans amended, Floor plans amended, Elevations amended	MJS	12/11/19
A REV.	DETAILS	MJS INT	12/11/19 ISSUE

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m ²

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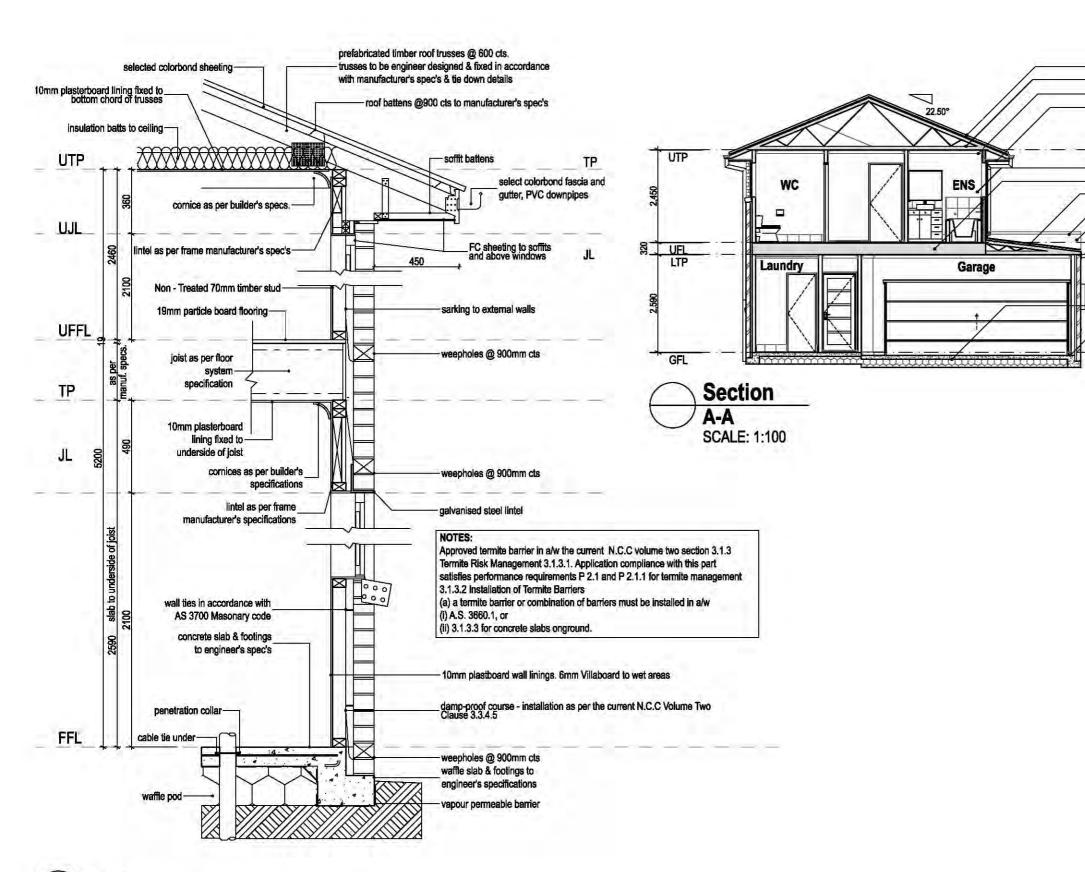
A3.6

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Diamond 210 (Cedar Facade) Lot 955 New Road Maraylya NSW 2765

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anop araninga.			
project number		drawn by MSC	checked MCR/
drawing name Elevations 2		wind class	MBA/ JSK soil clas
project status DA		ТВА	ТВА
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	BAL TBA
covenant DA	local authority Box Hill S.C	parish TBA	county TBA
dequine number	poole		new



EW-010 Detail Section

DS_BV_2590-2460TP_22.5Deg_SheetRoof_600Truss_450Eave SCALE: 1:20

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Please refer to conditions of Development Consent for details of matters which must be complied with.

Select Concrete Roof Tiles

Select Plasterboard Cornice

-Select Plasterboard

Select Fibre Cement Sheeting

Select Colorbond Roof Sheeting

Select Colorbond Fascia & Gutter

Select Timber Skirting

-Select Colorband Capping to Parapets

-Select Colorbond Flashing to rear of Parapets

Select Structural Concrete to Engineers Spec.

Select Manufactured Roof Trusses at 600 crs

-Select Structural Floor System to Manufacturers Spec.

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Site plans amended, Floor plans 12/11/19 MJS MJS 12/11/19 ISSUE REV. DETAILS INT

Tot	al Areas	
Alfresco	7.40	
Garage	36.36	Ц
House Lower	86.35	-
House Upper	77.06	ī
Porch	2.55	Ţ
7 - 2 - 2	209.72 m ²	Ŧ

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Diamond 210 (Cedar Facade) Lot 955 New Road Maraylya NSW 2765

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project number		drawn by MSC	checker MCR/
drawing name Section and Det project status DA	ail	wind class	MBA/ JSK soil clas TBA
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	BAL TBA
covenant DA	local authority Box Hill S.C	parish TBA	County

A3.7

1:100, 1:20@A3

External Colour Scheme -NSW MURRAY

		STANDARD	COMMENTS
COLORBOND ROOF	Colorbond Custom Orb	Evening Haze	
TILED ROOF	Bristile Classic Range	Pebble	
	Guttering	Evening Haze	
	Fascia	Evening Haze	
	Barge capping (if applicable)	Evening Haze	
	Dry verge (if applicable)	Evening Haze	
WINDOWS	Dowell	Monument	
BRICKS	PGH Alfresco	Truffle	
MORTAR JOINTS	Ironed	Off-white	
EAVES		Builders White	
MAIN HOUSE COLOUR		Dulux Self-Destruct	
FEATURE COLOUR		Dulux Irrigation	
ENTRY DOOR		Dulux Irrigation	
PVC DOWNPIPES	Over Brick/Main Colour	Dulux Self-Destruct	
	Over Feature Colour	Dulux Irrigation	
TIMBER POST	Feature Colour	Dulux Gully	
LETTERBOX	Main Colour	Dulux Self-Destruct	
BUNKER LIGHTS		Silver	
CLOTHES LINE		Bark	
GARAGE DOOR	Flat Line	Gully	
COLOURED CONCRETE		Granite	

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amended, Elevadons amended	REV.	INT Install
		amended MJS 1211/19

Total Areas			
Alfresco	7.40		
Garage	36.36		
House Lower	86.35		
House Upper	77.06		
Porch	2.55		
	209.72 m²		

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Diamond 210 (Cedar Facade) Lot 955 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

project number		drawn by MSC	checked MCR/
drawing name External Colours	S	wind class	MBA/ JSK soil class
project status DA		TBA	ТВА
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	BAL TBA
covenant DA	local authority Box Hill S.C	parish TBA	county TBA
drawing number	scale		rev B

SITE DATA SITE AREA = 300M2

SITE COVERAGE PERMISSABLE = 55% OR 165M2 PROVIDED = 44.22% OR 132.66M2

SOFT LANDSCAPE Refer to landscape intent plans

PRINCIPLE PRIVATE OPEN SPACE REQUIRED - 20M2 (5MX4M) PROVIDED - 112.6M2

GENERAL NOTES

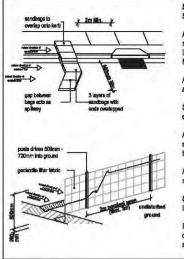
- Stormwater to discharge into designated discharge point to PCA regulrements
- Sewer to local authorities requirements.
 All ground lines are to be varified on site by the builder
- Final location of buildings to be verified on-site by a registered surveyor.
- Written dimensions to take precedence over scaling. Any plan discrepencied to be preferred back to design before proceeding. Site classification TBA
- house platforn to RL 38.60m AHD Approx.
- House floor level RL 38.95m AHD Approx., 310-385mm above platform level, garage level approx. RL 38.87 AHD 310-385mm above platform level.

Legend	
Sitt barrier	
Driveway location	
Stormweter drains	ge — · —
Develor or retainin	

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SUT FENCE DETAILS Sediment Control Notes:

All erosion & sediment control measurements including revegetation and storage of soil & top soil, shall be implemented to the standard of the soil conservation of

All drainage works shall be constructed around and stabilized as early as possible during development.

Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trenchs.

All sediment basins & traps shall be cleared when the structures are a maximum of 60% full of matreials, including the maintenance period.

All disturbed areas shall be revegetated as soon as the relevant works are completed.

Soil & topsoil stockpiles shall be located away from drainage lines and area water may concentrate.

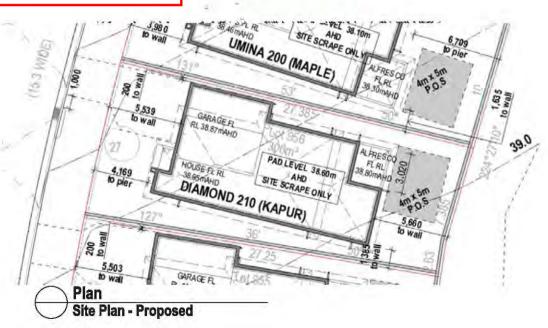
Filters shall be constructed by stretching a filter fabric (Propex or approved equivalent between post as 2m centres). Fabric shall be burred 150mm along its lower edge.



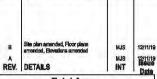
Detail Section

Silt Fence Detail NSW

SCALE: 1:200



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Tot	al Areas
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m ²

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CURRENT ISSUES OF AUSTRALIAN STANDARDS
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Yuantong Australia Pty Ltd

Diamond 210 (Kapur Facade) Lot 956 New Road Marsylya NSW 2765

Figured dimensions false precedence over scale dimensions. Contractors must verify all dimensions on alle before commencing any work or making

project number checks MCR/ MRAJ Site Plan TBA TBA project etable DA part of Lot 411 in DP TBA TBA

1230476 DA Box Hill TBA

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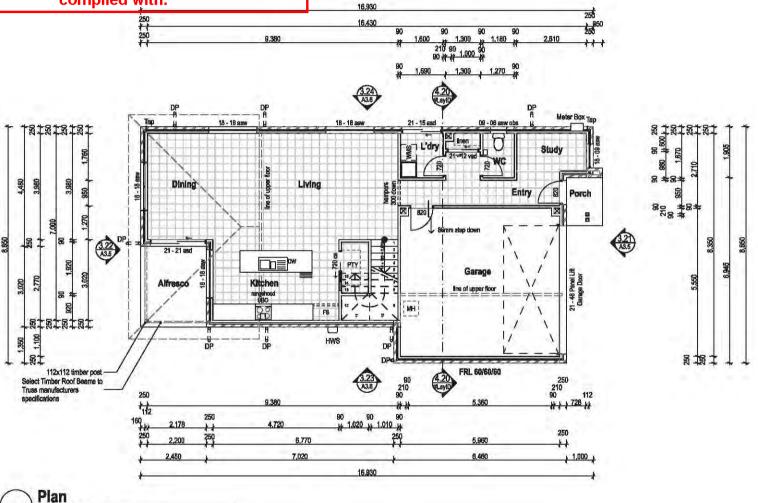
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Ground Floor Plan

SCALE: 1:100



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REV.	DETAILS	MJS	12/11/19 Date
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Tot	al Areas
Alfresco	7.40
Garage	36.36
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House Upper	77.06
Porch	2.55
	209.72 m²

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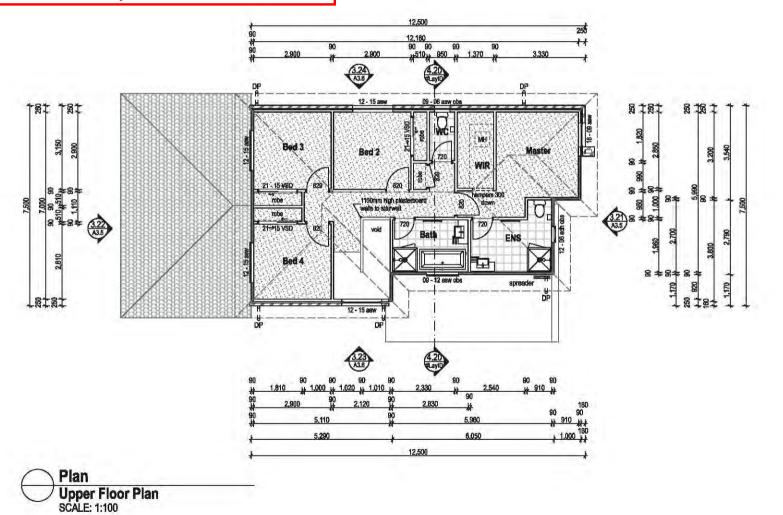
project number checker MCR/ MBA/ **Ground Floor Plan** TBA

part of Lot 411 in DP 1230476 TBA

TBA Box Hill S.C

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8	Site plan amended, Floor plans amended, Bevallers smended	MJS	12/11/19
REV.	DETAILS	MJS	12/11/19 Date

Tot	al Areas
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ex inte@finespiregroup.com.eu
w: www.irampinegroup.com.eu



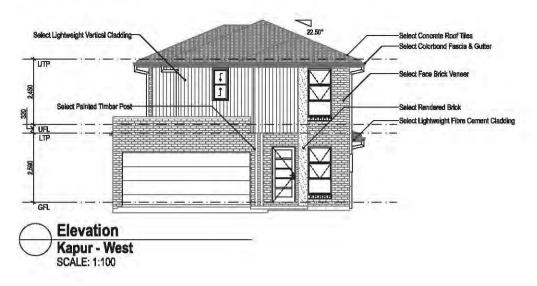
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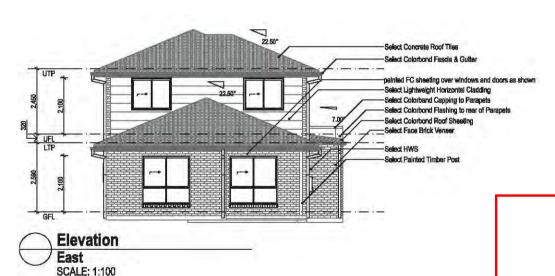
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anop drawings.				
project number		drawn by MSC	checked MCR/	
drewing name Upper Floor Pla project etable DA	n	wind class TBA	MBA/ JSK solicies TBA	
real property description part of Lot 411 in DP	flood level TBA	dimete zone	BAL TBA	

TBA	TBA	TBA
local authority	perlah	county
Box Hill S.C	TBA	TBA
	local authority Box Hill	local authority perish Box Hill TBA





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NOTE: 450mm EAVE (610MM TO FRAME)UNO

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Site plan amended, Floor plans 12/11/19 MJS MJS 12/11/19 Redue DETAILS REV.

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
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checker MCR/ MRA

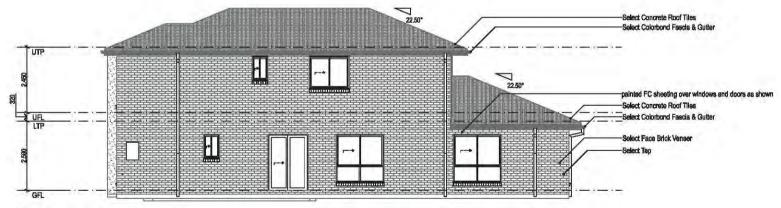
TBA

project number drewing name Elevations 1

part of Lot 411 in DP 1230476 TBA

Box Hill TBA S.C





Elevation South SCALE: 1:100

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Site plan entended, Floor plans amended MJS 12/11/1 A REV. DETAILS INT	A MJS 12/11/1	8.1-2.02	Total Areas		Dan
		REV.	DETAILS		12/11/1 1000
		8	Site plan amended, Floor plans amended, Bevalions amended	MJS	12/11/1

Tot	al Areas
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m ²

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); **BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS &**

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CURRENT MANUFACTURERS SPECIFICATIONS &
INSTALLATION DETAILS FOR MATERIALS USED



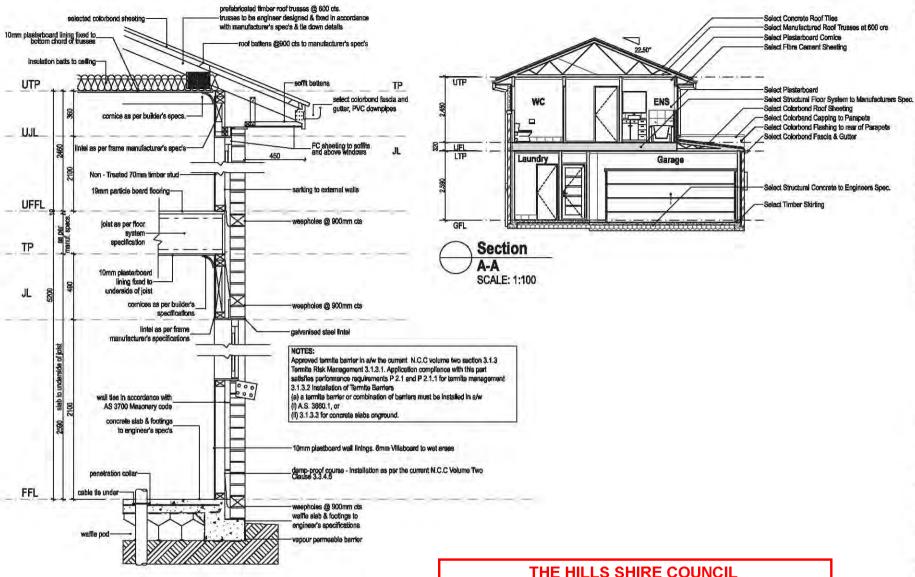
Transpire Constructions
Subs 2, Lewil 2, 15 Leke Street "The Abhum",
QLD 4227
pt 07 5889 8000
ex inte@finespiregroup.com.au
w: www.brampiregroup.com.au

Yuantong Australia Pty Ltd

Diamond 210 (Kapur Facade) Lot 956 New Road Maraylya NSW 2765

Figured dimensions false precedence over scale dimensions. Contractors must varify all dimensions on alle before commencing any work or making

and mountain			
project number		drawn by MSC	checked MCR/
drewing name Elevations 2		wind class	MBA/ JSK soli cless
project etatus DA		TBA	TBA
neal property description part of Lot 411 in DP 1230476	flood level TBA	dimete zone TBA	TBA
covenent	local authority	perteh	county
DA	Box Hill S.C	TBA	TBA
dequies number	enale		2004



EW-010 Detail Section

SCALE: 1:20

DS BV 2590-2460TP 22.5Deg SheetRoof 600Truss 450Eave

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Site plan amended, Floor plans 12/11/19 MJS MJS 12/11/19 Reduc REV. DETAILS.

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m ²

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

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A3.7

Yuantong Australia Pty Ltd

Diamond 210 (Kapur Facade) Lot 956 New Road Maraylya NSW 2765

Round dimensions take pracedance over scale dimensions. Contractors. must varify all dimensions on site before commencing any work or making

project number MCR/ MRA drewing name Section and Detail TBA TBA project etatus DA mel monerty description

1230476

1:100, 1:20@A3

part of Lot 411 in DP TBA TBA TRA local authoriti Box HIII TBA S.C drawing number

External Colour Scheme - NSW BURNET

		STANDARD	COMMENTS
COLORBOND ROOF	Colorbond Custom Orb	Woodland Grey	
TILED ROOF	Bristile Classic Range	Gun Metal	
	Guttering	Woodland Grey	
	Fascia	Woodland Grey	
	Barge capping (if applicable)	Woodland Grey	
	Dry verge (if applicable)	Woodland Grey	
WINDOWS	Dowell	Woodland Grey	
BRICKS	PGH Alfresco	Espresso	
MORTAR JOINTS	Ironed	Off-white	
EAVES		Builders White	
MAIN HOUSE COLOUR		Dulux Surfmist	
FEATURE COLOUR		Dulux Wallaby	
ENTRY DOOR		Dulux Wallaby	
PVC DOWNPIPES	Over Brick/Main Colour	Dulux Surfmist	
	Over Feature Colour	Dulux Wallaby	
TIMBER POST	Feature Colour	Dulux Wallaby	
LETTERBOX	Main Colour	Dulux Surfmist	
BUNKER LIGHTS		Silver	
CLOTHES LINE		Bark	
GARAGE DOOR	Flat Line	Wallaby	
COLOURED CONCRETE		Slate Grey	

THE HILLS SHIRE COUNCIL

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B Site plan amended, Floor plans amended, Blovestians amended MJS 12/11/19 AREV. DETAILS INT Distance				
	RÊV.	DETAILS		Date
B See plan amended, Floor plans MJS 12/11/19			MIG	49/44/40
	B	Site plan amended, Floor plans amended	MJS	12/11/19

Tot	Total Areas	
Alfresco	7.40	
Garage	36.36	
House Lower	86.35	
House Upper	77.06	
Porch	2.55	
	209.72 m²	

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QCC); **BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS &**

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Yuantong Australia Pty Ltd

Diamond 210 (Kapur Facade) Lot 956 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors

shop drawings.	ela boicia dall'ila	are A mil war	a manang
project number		drawn by MSC	checked MCR/
External Colour	8	wind class	MBA/ JSK solicises
project etatue DA		TBA	TBA
real property description	flood level	dimete zone	BAL
part of Lot 411 in DP 1230476	TBA	TBA	TBA
covenent	local authority	perlah	county

SITE DATA SITE AREA = 300M2

SITE COVERAGE PERMISSABLE = 55% OR 165M2 PROVIDED = 40% OR 122.65M2

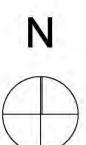
SOFT LANDSCAPE Refer to landscape intent plans

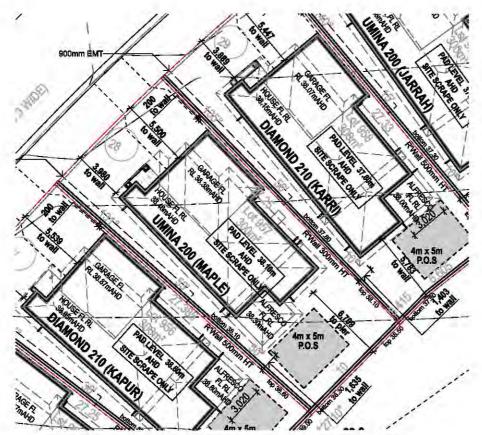
PRINCIPLE PRIVATE OPEN SPACE REQUIRED - 20M2 (5MX4M) PROVIDED - 124.23M2

GENERAL NOTES

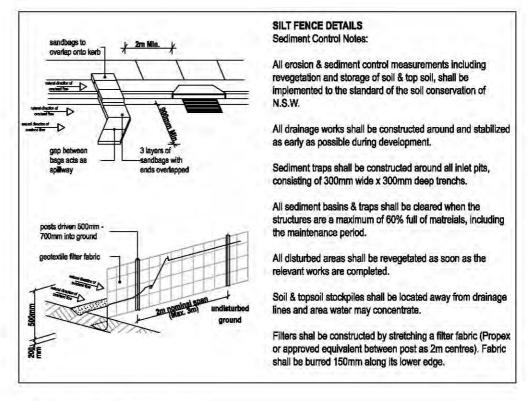
- Stormwater to discharge into designated discharge point to PCA requirements
- Sewer to local authorities requirements.
- All ground lines are to be varified on site by the builder
- Final location of buildings to be verified on-site by a registered surveyor.
- Written dimensions to take precedence over scaling. Any plan discrepencied to be preffered back to design before proceeding.
- Site classification TBA
- house platforn to RL 38.10m AHD Approx.
- House floor level RL 38.46m AHD Approx., 310-385mm above platform level, garage level approx. RL 38.38m AHD 310-385mm above platform

Legend	
Silt barrier	
Driveway location Stormwater draina	ge — —
Developer retaining	





Plan Site Plan - Proposed SCALE: 1:300





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Site Plan amended, Floor plans amended. Elevations amended 12/11/19 MJS MJS 12/11/19 ISSUE DETAILS REV. INT

Dau	-
al Areas	
10.13	
36.25	
73.99	
77.89	
2.28	
200.54 m ²	
	10.13 36.25 73.99 77.89 2.28

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

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TBA

Yuantong Australia Pty Ltd

Umina 200 (Maple Facade) Lot 957 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

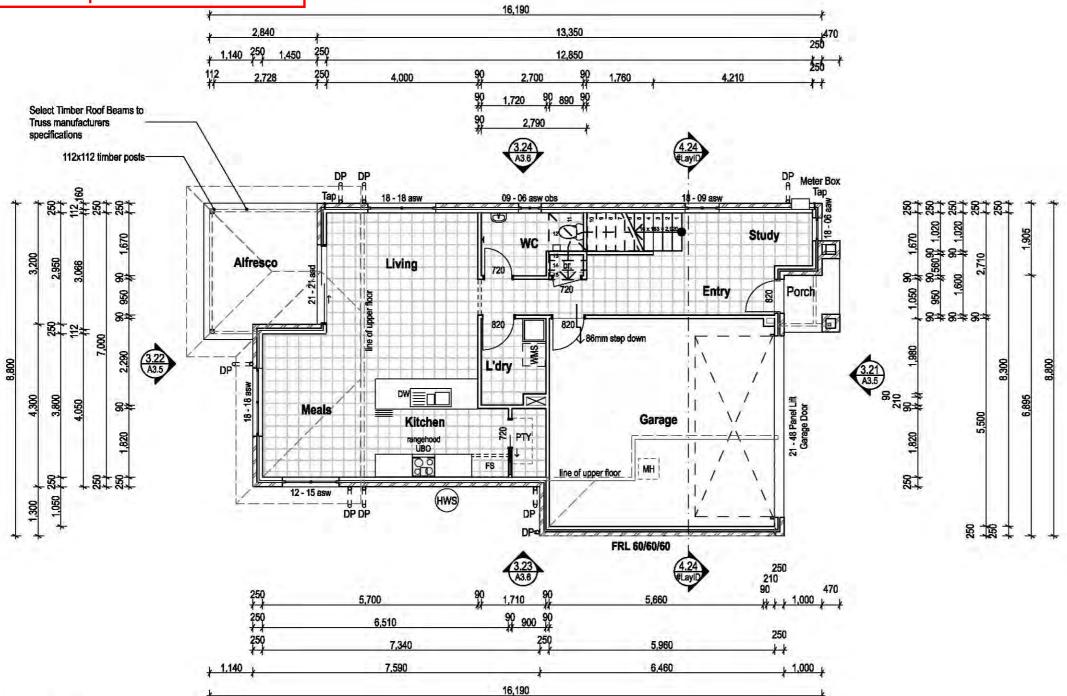
checked MCR/ MRA/ Site Plan wind class TBA TRA real property description part of Lot 411 in DP TRA TBA TRA 1230476 local authority

TBA DA Box Hill

1:200, 1:300@A3 A3.2

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Plan

Ground Floor Plan - 90mm

SCALE: 1:100

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В	Site Plan amended, Floor plans amended, Elevations amended	MJS	12/11/
A REV.	DETAILS	MJS INT	12/11/ ISSU Dat

Tot	al Areas
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
7.7	200.54 m ²

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

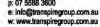
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A3.3

Umina 200 (Maple Facade) Lot 957 New Road Maraylya NSW 2765

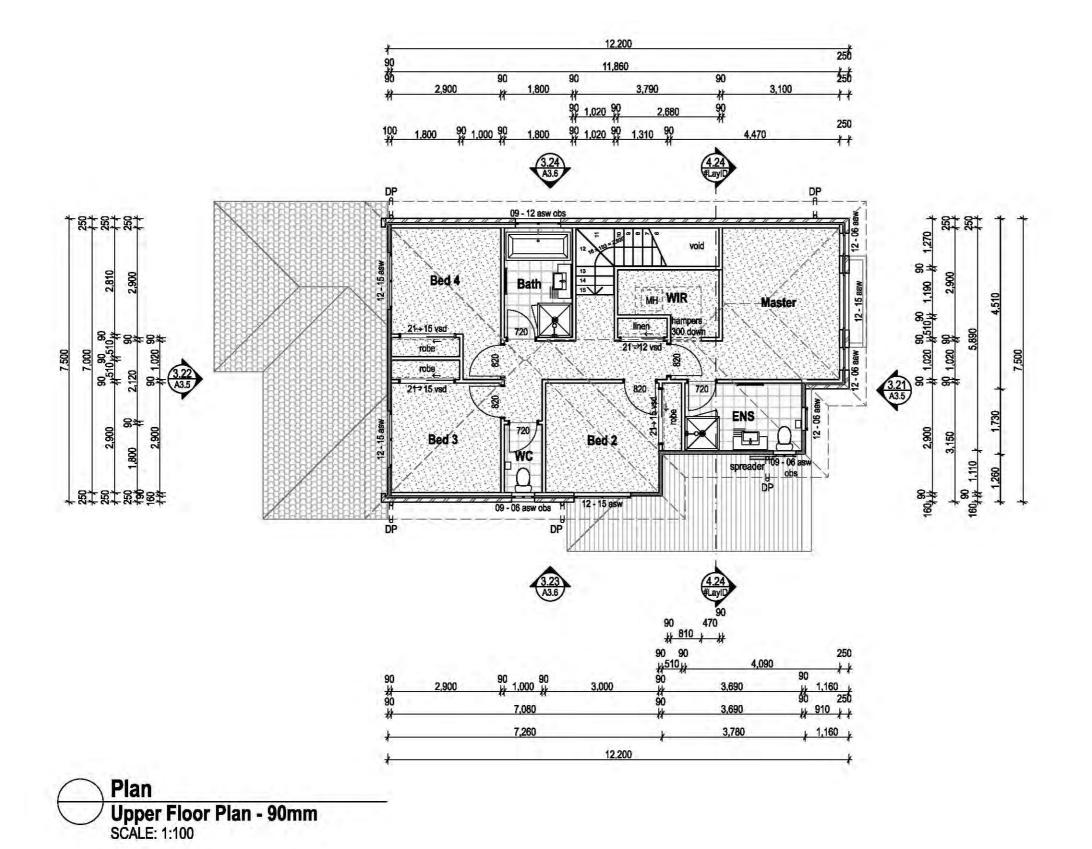
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

project number		drawn by MSC	checked MCR/
drawing name Ground Floor P	lan	wind class	MBA/ JSK soil class
project status DA		ТВА	TBA
real property description	flood level	climate zone	BAL
part of Lot 411 in DP 1230476	TBA	TBA	TBA
covenant	local authority	parish	county
DA	Box Hill	TBA	TBA

S.C

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В	Site Plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A REV.	DETAILS	MJS INT	12/11/19 Issue Date

Tot	al Areas
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	200.54 m ²

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

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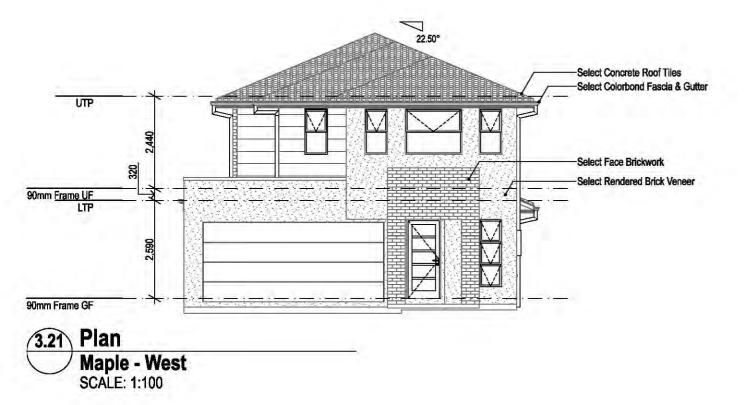


A3.4

Umina 200 (Maple Facade) Lot 957 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

projectionion		MSC	MCR/
drawing name Upper Floor Pla	n	wind class	MBA/ JSK soil class
project status DA		ТВА	TBA
real property description	flood level	climate zone	BAL
part of Lot 411 in DP 1230476	TBA	TBA	TBA
covenant	local authority	parish	county





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Site Plan amended, Floor plans amended, Elevations amended 12/11/19 MJS MJS INT 12/11/19 ISSUE REV. DETAILS

Tot	al Areas
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	200.54 m ²

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

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A3.5

umina 200 (Maple Facade) Lot 957 New Road Maraylya NSW 2765

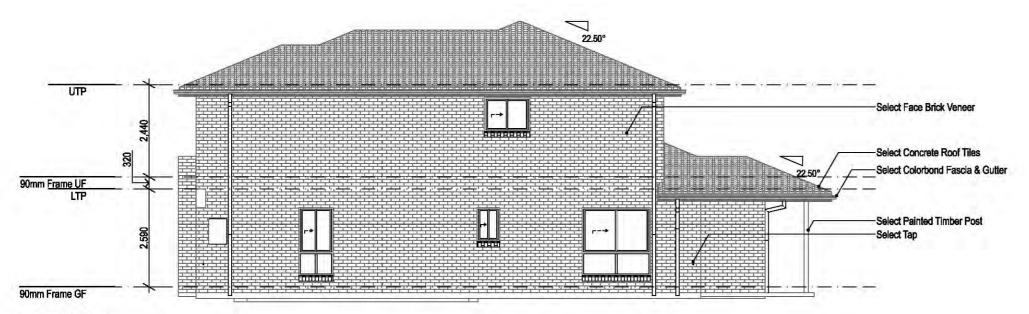
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number		drawn by	checked MCR/
drawing name Elevations 1 project status		wind class	MBA/ JSK soil class TBA
DA	flood level		BAL
real property description part of Lot 411 in DP 1230476	TBA	TBA	TBA
Amenant	local authority	narieh	county

Box Hill







3.24 Plan South SCALE: 1:100

THE HILLS SHIRE COUNCIL

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В	Site Plan amended, Floor plans	MJS	12/11/19
^	amended, Elevations amended	MJS	150000
A DEL	DETAILS	INT	12/11/19 Issue

Tot	al Areas
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	200.54 m ²

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

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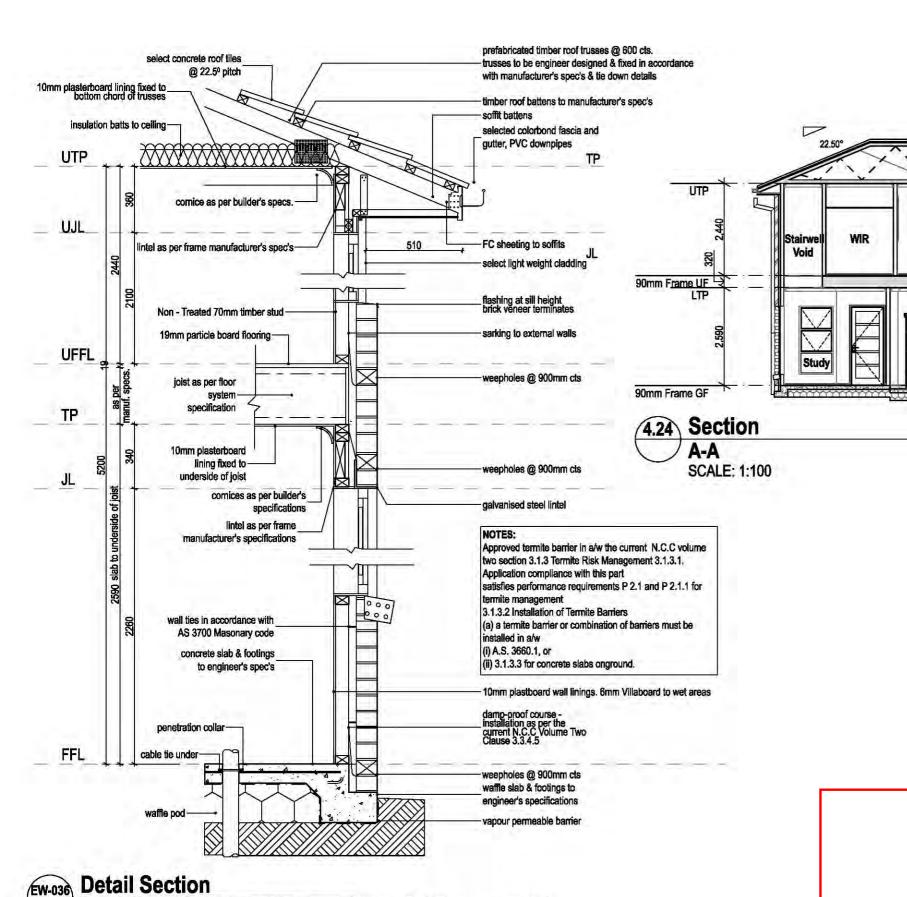
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Umina 200 (Maple Facade) Lot 957 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

and the second second			
project number		drawn by MSC	checked MCR/
drawing name Elevations 2 project status DA		wind class TBA	MBA/ JSK soil class TBA
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	BAL TBA
covenant	local authority	parish	county

Box Hill



DS_BV_2590-2440TP_22.5Deg_TileRoof_600Truss_450Eave

SCALE: 1:20

THE HILLS SHIRE COUNCIL

Ensuite

Garage

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B Site Plan amended, Floor plans amended, Elevations amended MJS 12/11/11 A MJS 12/11/11 ISSUE INT Date		Total Areas		
A amended, Elevations amended MJS 12/11/11	REV.	DETAILS	INT	Date
B Site Plan amended, Floor plans amended Elevations amended MJS 12/11/19	A		MJS	12/11/19
	В	Site Plan amended, Floor plans amended. Elevations amended	MJS	12/11/19

Total Areas	
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	200.54 m ²

Select Plasterboard

Select Concrete Roof Tiles

Select Fibre Cement Soffit Lining Select Colorbond Fascia & Gutter

Select Timber roof trusses to

manufacturers specification

Select Lightweight Horizontal Cladding Select Structural Floor System to Man. Spec.

Select Colorband Capping to Parapets

Select Colorbond Roof Sheeting

Select Concrete Foundations to

Engineers Design and Specification

Select Face Brick Veneer

Select Timber Skirting

Select Colorbond Flashing to rear of Parapets

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

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Yuantong Australia Pty Ltd

Umina 200 (Maple Facade) Lot 957 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

ALCO CONTRACTOR OF THE PARTY OF		MSC	MCR
drawing name Section & Detail		wind class	MBA/ JSK soil class
project status DA		ТВА	TBA
real property description	flood level	climate zone	BAL
part of Lot 411 in DP 1230476	TBA	TBA	TBA
covenant	local authority	parish	county
DA	Box Hill	TBA	TBA

A3.7

1:100, 1:20@A3

External Colour Scheme PAROO

		STANDARD	COMMENTS
COLORBOND ROOF	Custom Orb	Basalt	
TILED ROOF	Bristile Classic Range	Gunmetal	
	Guttering	Basalt	
	Fascia	Basalt	
	Barge capping (if applicable)	Basalt	
	Dry verge (if applicable)	Basalt	
WINDOWS	Dowell	Dune	
BRICKS	PGH Velour	Mineral	
MORTAR JOINTS	Ironed	Off-white	
EAVES		Builders White	
MAIN HOUSE COLOUR		Dulux Linseed	
FEATURE COLOUR		Dulux Male Quarter	
ENTRY DOOR		Dulux Surfmist	
PVC DOWNPIPES	Over Brick/Main Colour	Dulux Surfmist	
	Over Feature Colour	Dulux Surfmist	
TIMBER POST	Feature Colour	Dulux Surfmist	
LETTERBOX	Main Colour	Dulux Surfmist	
BUNKER LIGHTS		Silver	
CLOTHES LINE		Woodland Grey	
GARAGE DOOR	Flat Line	Surfmist	
COLOURED CONCRETE		Merino	

THE HILLS SHIRE COUNCIL

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amended, Elevadoris amended	_^	DETAILS	INT	12/11/19 ISSUE
		Total State Constitution	MJS	19/41/40
	В		MJS	12/11/19

Tot	al Areas
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
7.7.	200.54 m ²

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

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QLD 4227
p: 07 5588 3600
e: info@transpiregroup.com.au
w: www.transpiregroup.com.au

Yuantong Australia Pty Ltd

Umina 200 (Maple Facade) Lot 957 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number		drawn by MSC	checked MCR/
etrawing name External Colour project status DA	S	wind class TBA	MBA/ JSK soil class TBA
real property description	flood level	dimate zone	BAL
part of Lot 411 in DP 1230476	TBA	TBA	TBA

A3.8

Box Hill

S.C

TBA

SITE DATA SITE AREA = 300M2

SITE COVERAGE PERMISSABLE = 55% OR 165M2 PROVIDED = 44.22% OR 132.66M2

SOFT LANDSCAPE Refer to landscape intent plans

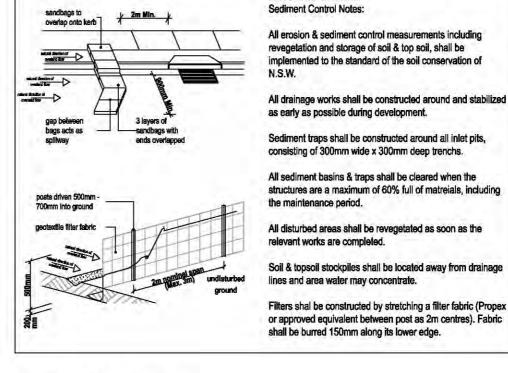
PRINCIPLE PRIVATE OPEN SPACE REQUIRED - 20M2 (5MX4M) PROVIDED - 112.6M²

Legend

GENERAL NOTES

- Stormwater to discharge into designated discharge point to PCA requirements
- Sewer to local authorities requirements.
- All ground lines are to be varified on site by the builder
- Final location of buildings to be verified on-site by a registered surveyor.
- Written dimensions to take precedence over scaling. Any plan discrepencied to be preffered back to design before proceeding.
- Site classification TBA
- house platforn to RL 37.8m AHD Approx.
- House floor level RL 38.15m AHD Approx., 310-385mm above platform level, garage level approx. RL 38.07m AHD 310-385mm above platform

Developer retainin	9 🔲
Stormwater draina	.ge
Driveway location	*******
Silt barrier	-



SILT FENCE DETAILS



SU-001 Detail Section

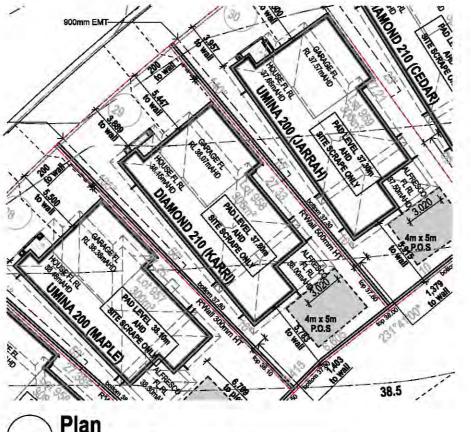
Silt Fence Detail NSW

SCALE: 1:200

THE HILLS SHIRE COUNCIL

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Plan Site Plan - Proposed SCALE: 1:300

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Site plan amended, Floor plans amended, Elevations amended 12/11/19 MJS MJS 12/11/19 ISSUE REV. DETAILS INT

Total Areas		
Alfresco	7.40	
Garage	36.36	
House Lower	86.35	
House Upper	77.06	
Porch	2.55	
	209.72 m ²	

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); **BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS &**

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Yuantong Australia Pty Ltd

A3.2

Diamond 210 (Karri Facade) Lot 958 New Road Maraylya NSW 2765

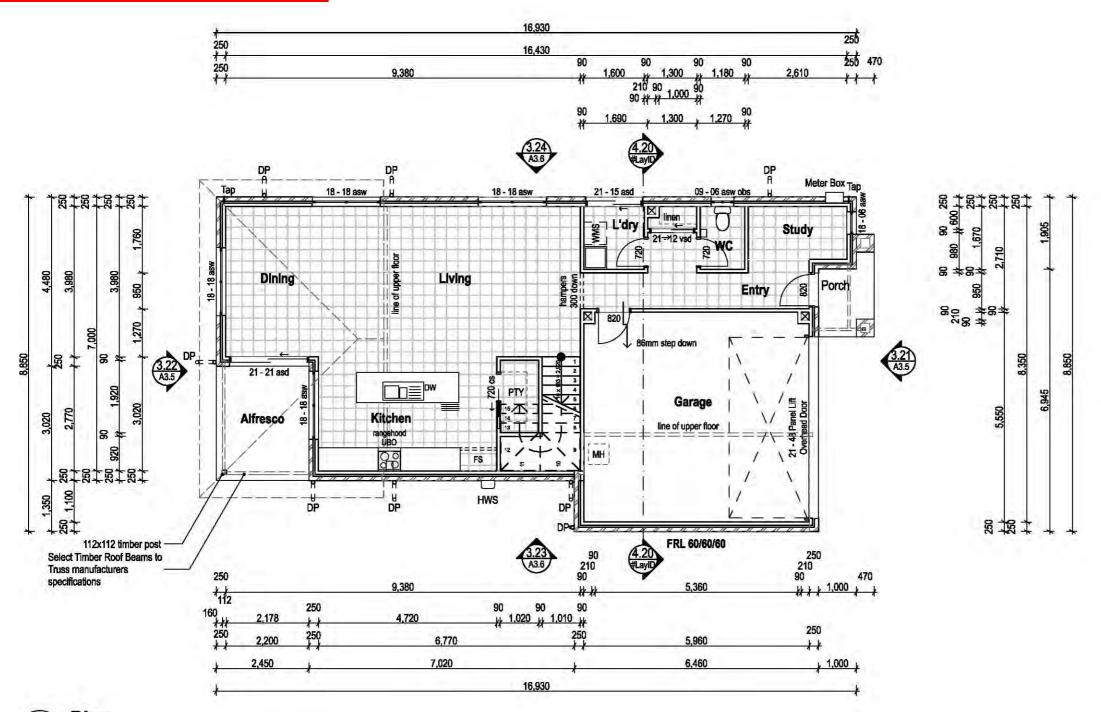
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

project number		drawn by MSC	MCR/
drawing name Site Plan		wind class	MBA/ JSK soil class
project status DA		TBA	TBA
real property description part of Lot 411 in DP 1230476	flood level TBA	climate zone TBA	BAL TBA
covenant	local authority	parish	county
DA	Box Hill S.C	TBA	TBA
distribute acceptant	aceta.		nest.

1:200, 1:300@A3

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Plan

Ground Floor Plan

SCALE: 1:100

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Site plan amended, Floor plans amended, Elevations amended 12/11/19 MJS MJS INT 12/11/19 ISSUE REV. DETAILS

Tot	al Areas
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m ²

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Diamond 210 (Karri Facade) Lot 958 New Road Maraylya NSW 2765

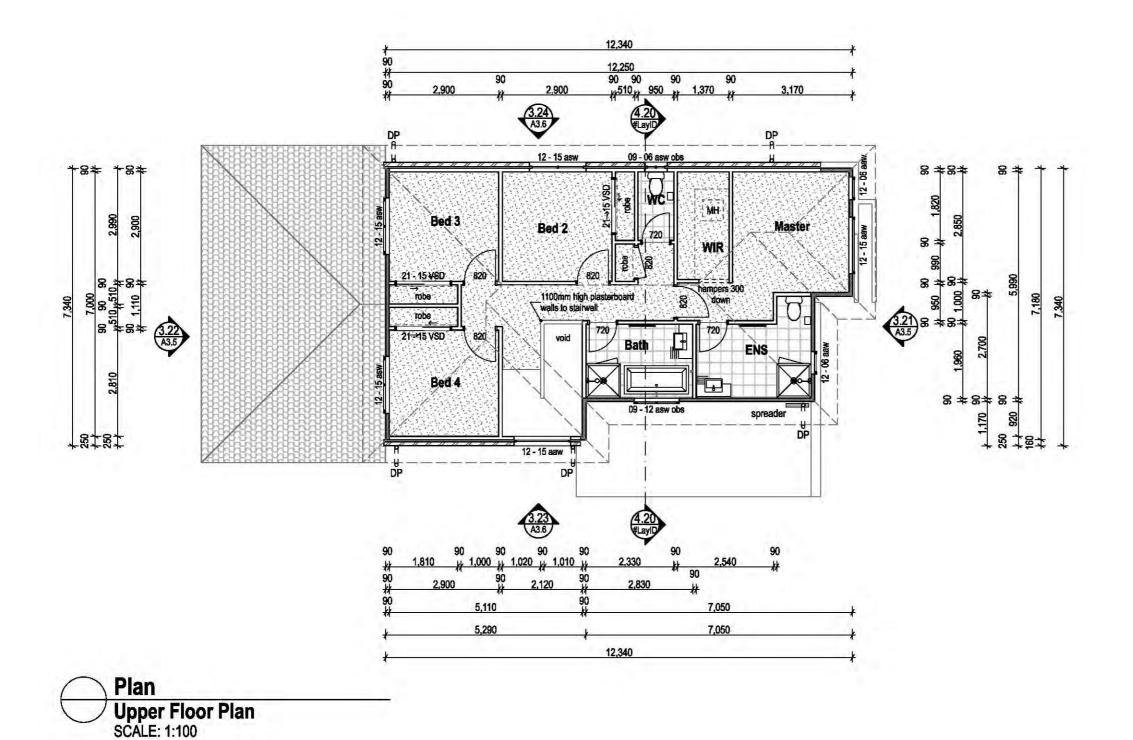
A3.3

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

project number		drawn by MSC	MCR/
Ground Floor Pl	an	wind class	JSK soil class TBA
project status DA			
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	BAL TBA
covenant DA	local authority Box Hill S.C	parish TBA	county TBA
drawing number	scale		nev

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В	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/
A	Carried and a control	MJS	12/11/ ISSU
REV.	DETAILS	INT	I

Total Areas		
Alfresco	7.40	
Garage	36.36	
House Lower	86.35	
House Upper	77.06	
Porch	2.55	
-	209.72 m ²	

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A3.4

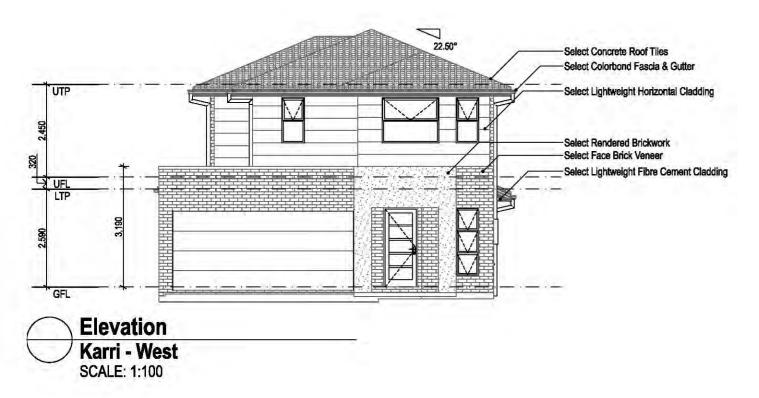


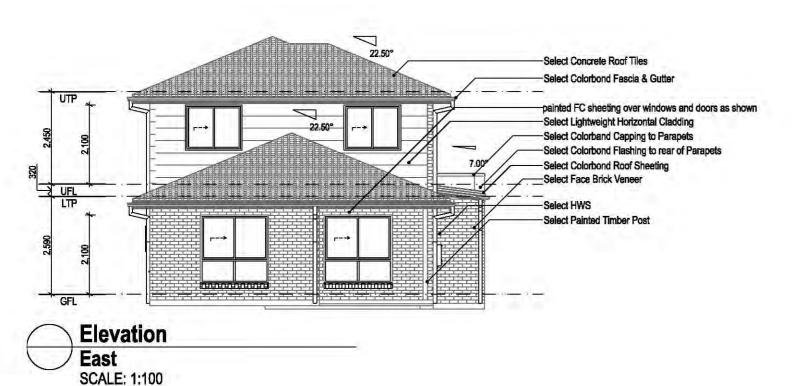
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Diamond 210 (Karri Facade) Lot 958 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

project number		drawn by MSC	MCR/
drawing name Upper Floor Pla project status DA	n	wind class TBA	MBA/ JSK soil clas TBA
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	BAL TBA
covenant	local authority	parish	county
DA	Box Hill S.C	ТВА	TBA
drawing number	scale		rev





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NOTE: 450mm EAVE (610MM TO FRAME)UNO

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Site plan amended, Floor plans amended, Elevations amended 12/11/19 MJS MJS INT 12/11/19 ISSUE REV. DETAILS

Tot	al Areas	
Alfresco	7.40	1
Garage	36.36	
House Lower	86.35	
House Upper	77.06	
Porch	2.55	
	209.72 m ²	1

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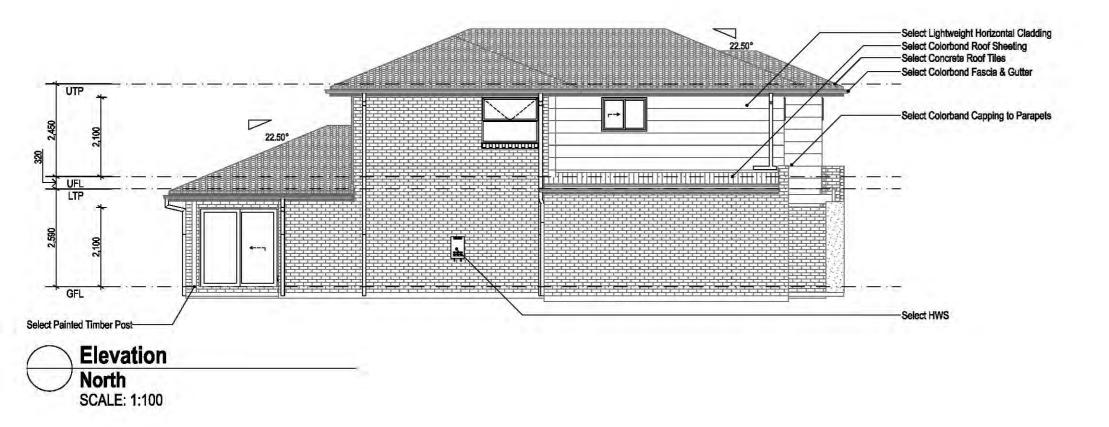
A3.5

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Diamond 210 (Karri Facade) Lot 958 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

project number		drawn by MSC	MCR/ MBA/
drawing name Elevations 1		THE STATE OF	JSK soil class
Elevations i		wind class	
project status DA		ТВА	ТВА
real property description	flood level	climate zone	BAL
part of Lot 411 in DP 1230476	ТВА	TBA	ТВА
covenant	local authority	parish	county
DA	Box Hill S.C	ТВА	TBA
The second secon			





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amended, Elevations amended		DETAILS	INT	12/11/1 ISSUE Date
	Α		MJS	12/11/1
	В		MJS	12/11/1

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m ²

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

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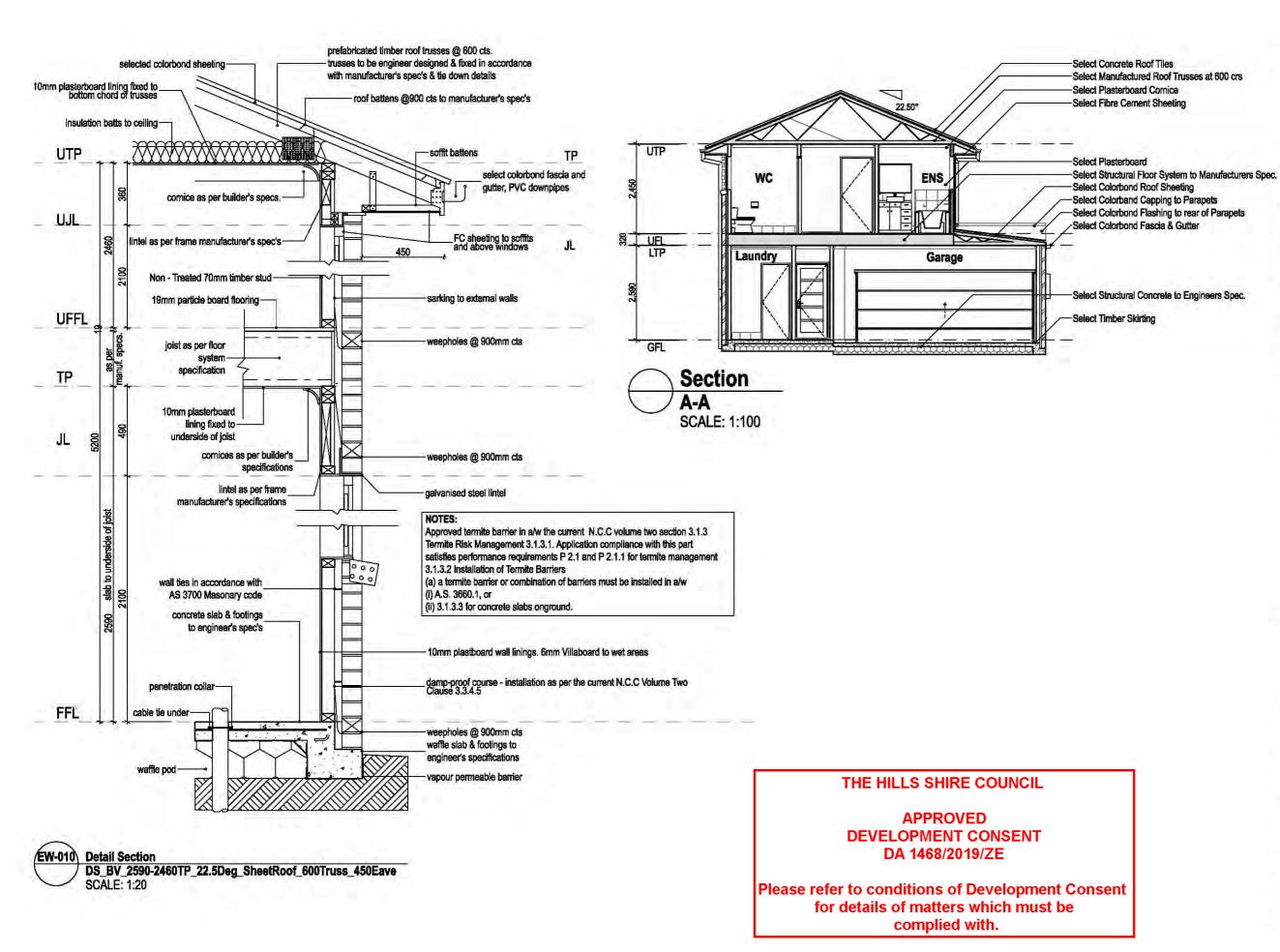
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Diamond 210 (Karri Facade) Lot 958 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

project number draw MS drawing name Elevations 2 wint project status DA	and the same
Elevations 2 wind project status	C MCR/
project status	MBA/ JSK d class soil clas
	а тва
real property description flood level clim part of Lot 411 In DP TBA TB 1230476	ate zone BAL A TBA
covenant local authority par DA Box Hill TE S.C	72.27
drawing number scale A3.6 1:100@A3	rev B



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Site plan amended, Floor plans amended, Elevations amended 12/11/19 MJS MJS 12/11/19 ISSUE REV. DETAILS INT

Tot	al Areas	
Alfresco	7.40	
Garage	36.36	
House Lower	86.35	
House Upper	77.06	
Porch	2.55	
	209.72 m ²	

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Diamond 210 (Karri Facade) Lot 958 New Road Maraylya NSW 2765

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project number		drawn by MSC	MCR/ MBA/
drawing name Section and Det	ail	wind class	JSK soil class
project status DA		TBA	ТВА
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	TBA
anumant.	loopl nethods	norfole	es unh

Box Hill

1:100, 1:20@A3 A3.7

External Colour Scheme - NSW OXLEY

		STANDARD	COMMENTS
COLORBOND ROOF	Custom Orb	Basalt	
TILED ROOF	Bristile Classic Range	Mica	
	Guttering	Basalt	
	Fascia	Basalt	
	Barge capping (if applicable)	Basalt	
	Dry verge (if applicable)	Basalt	
WINDOWS	Dowell	Woodland Grey	
BRICKS	PGH Alfresco	Truffle	
MORTAR JOINTS	Ironed	Off-white	
EAVES		Builders White	
MAIN HOUSE COLOUR		Dulux Pale Tendril	
FEATURE COLOUR		Dulux Timeless Grey	
ENTRY DOOR		Dulux Basalt	
PVC DOWNPIPES	Over Brick/Main Colour	Dulux Pale Tendril	
	Over Feature Colour	Dulux Timeless Grey	
TIMBER POST	Feature Colour	Dulux Timeless Grey	
LETTERBOX	Main Colour	Dulux Pale Tendril	
BUNKER LIGHTS		Silver	
CLOTHES LINE		Bark	
GARAGE DOOR	Flat Line	Basalt	
COLOURED CONCRETE		Slate Grey	

THE HILLS SHIRE COUNCIL

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DEM			
A	DETAILS	MJS	12/11/19 ISSUE
В	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19

Tot	al Areas
Alfresco 7.40	
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m ²

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

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Diamond 210 (Karri Facade) Lot 958 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

anup urawings.			
project number		drawn by MSC	MCR/ MBA/
External Colour	s	wind class	JSK soil class TBA
project status DA		IDA	IDA
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	BAL TBA
covenant	local authority	parish	county
DA	Box Hill S.C	ТВА	TBA
drawing number	scale		rev
A3.8	@A3		В

SITE DATA SITE AREA = 300M2

SITE COVERAGE PERMISSABLE = 55% OR 165M2 PROVIDED = 40% OR 122.65M2

SOFT LANDSCAPE Refer to landscape intent plans

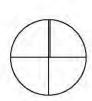
PRINCIPLE PRIVATE OPEN SPACE REQUIRED - 20M2 (5MX4M) PROVIDED - 124.23M2

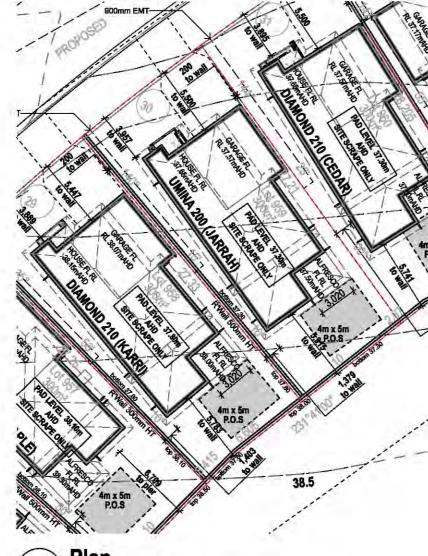
GENERAL NOTES

- Stormwater to discharge into designated discharge point to PCA requirements
- Sewer to local authorities requirements.
- All ground lines are to be varified on site by the builder
- Final location of buildings to be verified on-site by a registered surveyor.
- Written dimensions to take precedence over scaling. Any plan discrepencied to be preffered back to design before proceeding.
- Site classification TBA
- house platforn to RL 37.30m AHD Approx.
- House floor level RL 37.65m AHD Approx., 310-385mm above platform level, garage level approx. RL 37.57m AHD 310-385mm above platform

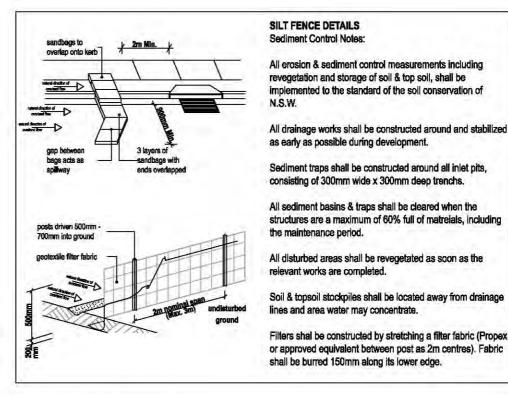
Legend	
Silt barrier Driveway location	
Stormwater draina	ge — —
Developer retaining	







Plan Site Plan - Proposed SCALE: 1:300





SCALE: 1:200

THE HILLS SHIRE COUNCIL

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Site plan amended, Floor plans amended. Elevations amended 12/11/19 MJS MJS 12/11/19 ISSUE DETAILS INT REV.

Total Areas				
Alfresco	10.13			
Garage	36.25			
House Lower	73.99			
House Upper	77.89			
Porch	2.28			
7.4	200.54 m ²			

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

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Umina 200 (Jarrah Facade) Lot 959 New Road Maraylya NSW 2765

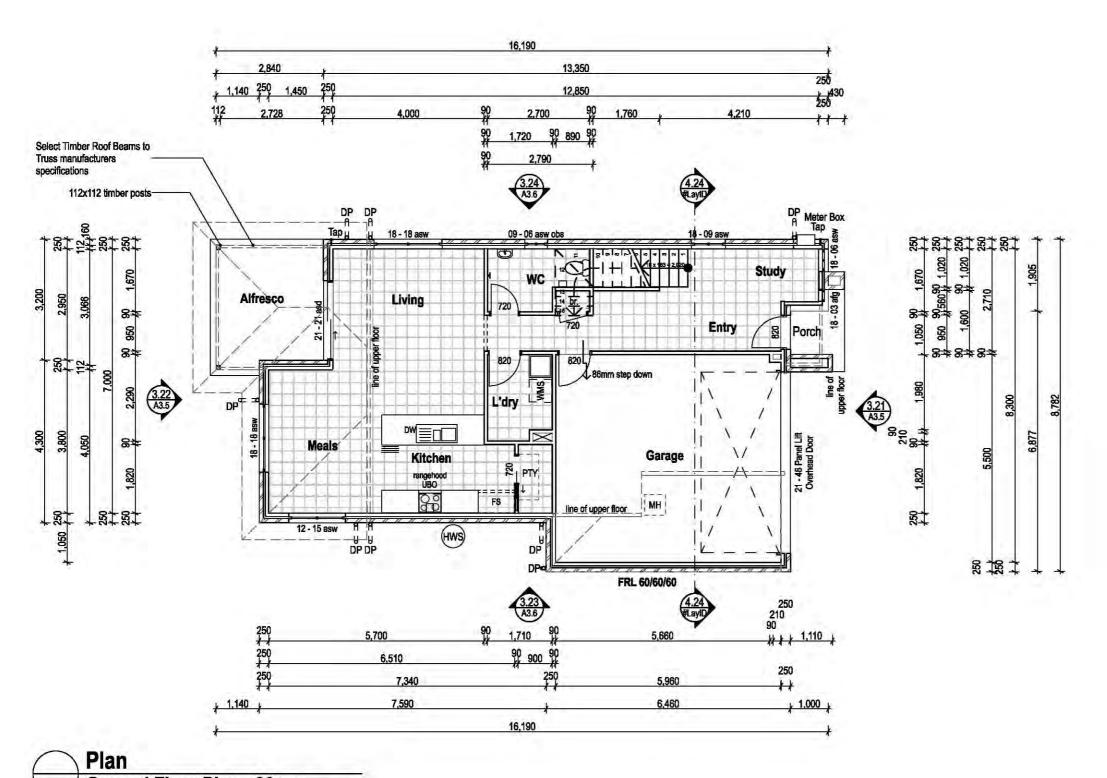
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

checked MCR/ MRA/ Site Plan wind class TBA TRA real property description part of Lot 411 in DP TRA TBA TRA 1230476

local authority TBA Box Hill DA

A3.2

1:200, 1:300@A3



Ground Floor Plan - 90mm THE HILLS SHIRE COUNCIL SCALE: 1:100

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-				
R	A REV.	DETAILS	INT	12/11/1 Issue Date
	В	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/1

Total Areas				
Alfresco	10.13			
Garage	36.25			
House Lower	73.99			
House Upper	77.89			
Porch	2.28			
	200.54 m ²			

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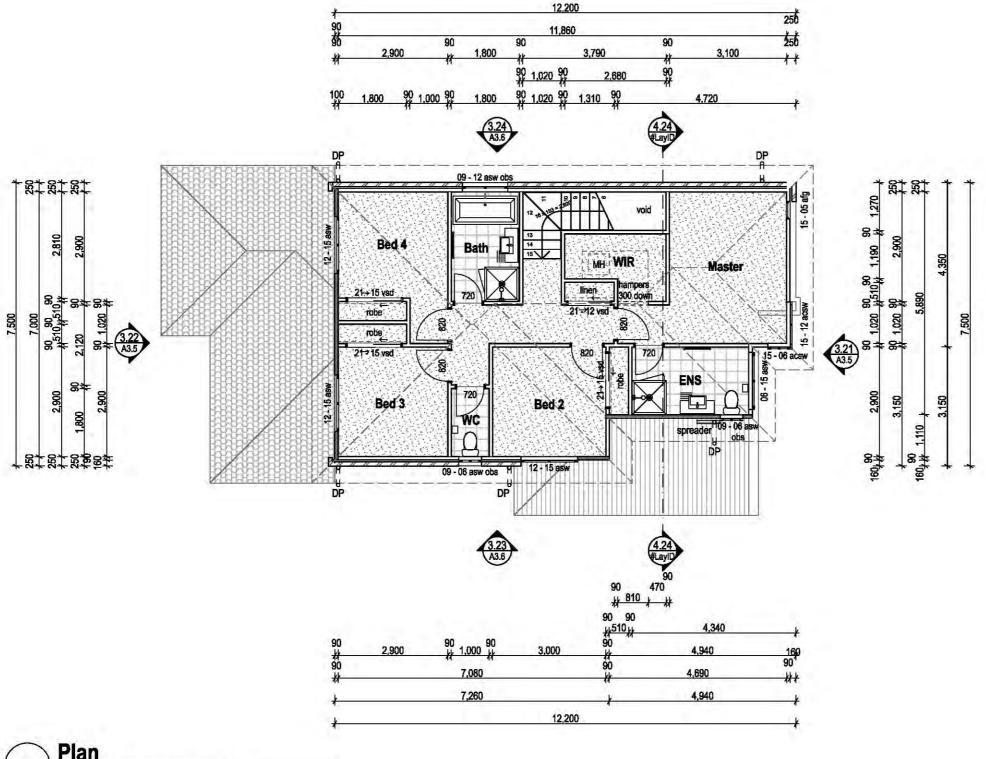
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

project number		drawn by MSC	checked MCR/
drawing name Ground Floor Plan		wind class	MBA/ JSK soil class
project status DA		TBA	TBA
real property description	flood level	climate zone	BAL
part of Lot 411 in DP 1230476	TBA	ТВА	TBA

Box Hill

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Upper Floor Plan - 90mm SCALE: 1:100

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12/11/19 12/11/19 ISSUE
VJS VJS NT

Tot	al Areas
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	200.54 m ²

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

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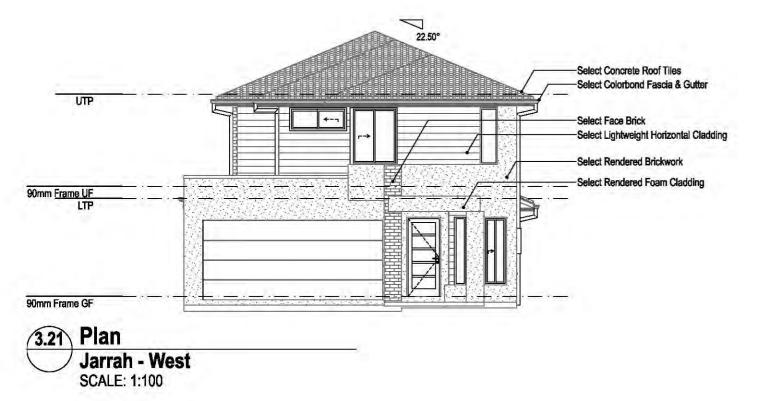
Umina 200 (Jarrah Facade) Lot 959 New Road Maraylya NSW 2765

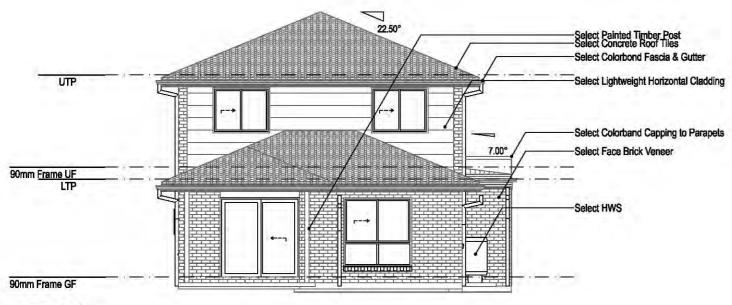
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making

project number		drawn by MSC	checked MCR/
drawing name Upper Floor Pla project status DA	n	wind class TBA	MBA/ JSK soil class TBA
real property description part of Lot 411 In DP 1230476	flood level TBA	dimate zone TBA	BAL TBA
72.787.76	Design design	2.10	22.78

A3.4

Box Hill





3.22 Plan East SCALE: 1:100

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Site plan amended, Floor plans amended, Elevations amended 12/11/19 MJS MJS INT 12/11/19 ISSUE REV. DETAILS

Tot	al Areas
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	200.54 m ²

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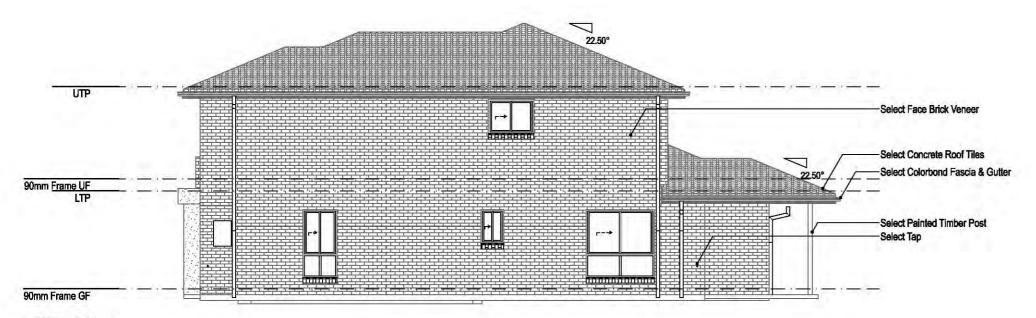
snop drawings.		
project number	drawn by	checks
	MSC	MCR
drawing name		MBA
		JSK
Elevations 1	wind class	JSK soil cla
project status	TBA	TBA
DA		

part of Lot 411 in DP TBA 1230476

local authority Box Hill TBA S.C





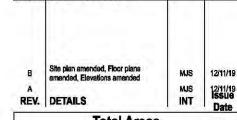




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Tot	al Areas
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	200.54 m ²

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE

THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); **BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS &** POLICIES

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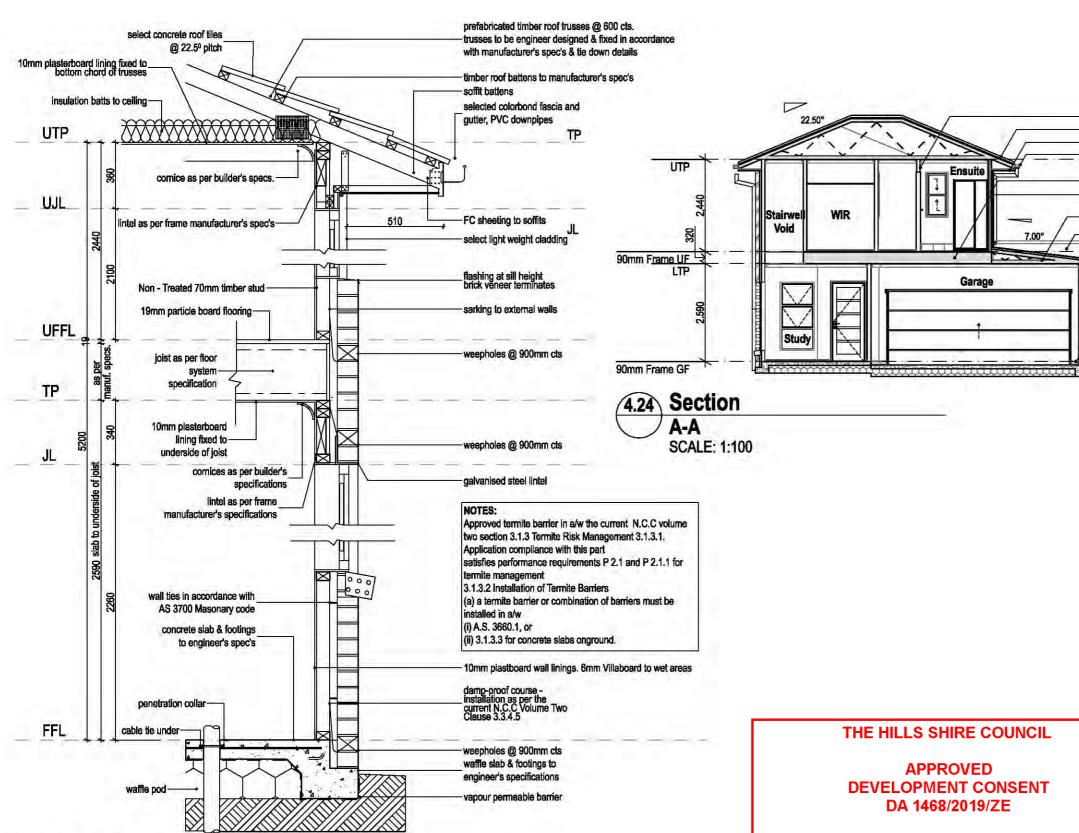
Yuantong Australia Pty Ltd

Umina 200 (Jarrah Facade) Lot 959 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number		drawn by MSC	checked MCR/	
drawing name Elevations 2 project status DA		wind class TBA	MBA/ JSK soil class TBA	
real property description part of Lot 411 in DP 1230476	flood level TBA	dimate zone TBA	TBA	
72.75.30	Land and design	2.176	20.00	

Box Hill



EW-036 Detail Section

SCALE: 1:20

DS_BV_2590-2440TP_22.5Deg_TileRoof_600Truss_450Eave

Please refer to conditions of Development Consent for details of matters which must be complied with.

Select Plasterboard

Select Concrete Roof Tiles

Select Fibre Cement Soffit Lining Select Colorbond Fascia & Gutter

Select Timber roof trusses to

manufacturers specification

Select Lightweight Horizontal Cladding Select Structural Floor System to Man. Spec.

Select Colorband Capping to Parapets

Select Colorbond Roof Sheeting

Select Concrete Foundations to

Engineers Design and Specification

Select Face Brick Veneer

Select Timber Skirting

Select Colorbond Flashing to rear of Parapets

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B Site plan amended, Floor plans amended, Elevations amended MJS 12/11/19 A MJS 12/11/19 ISSUE			UL YXC	Date
amended, Elevations amended MUS 1211/18	REV.	DETAILS	INT	4157.4470
	A		MJS	12/11/19
	В		MJS	12/11/19
	considered	an intringement of these rights.	1	1

Total Areas			
Alfresco	10.13		
Garage	36.25		
House Lower	73.99		
House Upper	77.89		
Porch	2.28		
	200.54 m ²		

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Yuantong Australia Pty Ltd

Umina 200 (Jarrah Facade) Lot 959 New Road Maraylya NSW 2765

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project number		drawn by MSC	checked MCR/
drawing name Section & Detail	6	wind class	MBA/ JSK soil class
project status DA		TBA	TBA
real property description	flood level	climate zone	BAL
part of Lot 411 in DP 1230476	TBA	TBA	TBA

Box Hill

1:100, 1:20@A3 A3.7

External Colour Scheme COOPER

		STANDARD	COMMENTS
COLORBOND ROOF	Custom Orb	Woodland Grey	
TILED ROOF	Bristile Classic Range	Gun Metal	
	Guttering	Woodland Grey	
	Fascia	Woodland Grey	
	Barge capping (if applicable)	Woodland Grey	
	Dry verge (if applicable)	Woodland Grey	
WINDOWS	Dowell	Paperbark	
BRICKS	PGH Velour	Brown	
MORTAR JOINTS	Ironed	Off-white	
EAVES		Builders White	
MAIN HOUSE COLOUR		Dulux Hog Bristile	
FEATURE COLOUR		Dulux Paperbark	
ENTRY DOOR	7.7	Dulux Brown Leaf	
PVC DOWNPIPES	Over Brick/Main Colour	Dulux Paperbark	
	Over Feature Colour	Dulux Paperbark	
TIMBER POST	Feature Colour	Dulux Brown Leaf	
LETTERBOX	Main Colour	Dulux Paperbark	
BUNKER LIGHTS		Silver	
CLOTHES LINE	- Table 1	Classic Cream	
GARAGE DOOR	Flat Line	Terrain	
COLOURED CONCRETE		Chocolate	

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REV.	DETAILS	INT	Date
A	AT THE RESERVE OF THE PARTY OF	MJS	12/11/19 ISSUE
В	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19

Tot	al Areas
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	200.54 m ²

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A3.8

Yuantong Australia Pty Ltd

Umina 200 (Jarrah Facade) Lot 959 New Road Maraylya NSW 2765

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shop drawings.				
project number		drawn by MSC	checked MCR/	
drawing name External Colour project status DA	5	wind class TBA	MBA/ JSK soil class TBA	
real property description part of Lot 411 in DP 1230476	flood level TBA	climate zone TBA	TBA	
covenant	local authority	parish	county	

SITE DATA SITE AREA = 300M2

SITE COVERAGE PERMISSABLE = 55% OR 185M2 PROVIDED = 44.22% OR 132.66M2

SOFT LANDSCAPE Refer to landscape intent plans

PRINCIPLE PRIVATE OPEN SPACE REQUIRED - 20M2 (5MX4M) PROVIDED - 112.6M2

GENERAL NOTES

- Stormweter to discharge into designated discharge point to PCA regulrements
- Sewer to local authorities requirements.

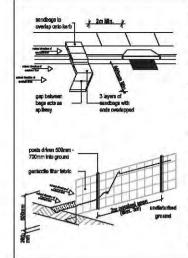
 All ground lines are to be varified on site by the builder
- Final location of buildings to be verified on-site by a registered surveyor. - Prints received to the precedence over scaling. Any plan discrepencied to be prefilted back to design before proceeding. - Site classification TBA
- house platforn to RL 37.3m AHD Approx.
- House floor level RL 37.65m AHD Approx., 310-385mm above platform level, garage level approx. RL 37.57m AHD 310-385mm above platform level

Legend Sitt barrier **Driveway location** Stormweter drainage Developer retaining

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APPROVED **DEVELOPMENT CONSENT** DA 1468/2019/ZE

N Please refer to conditions of Development Consent for details of matters which must be



SUT FENCE DETAILS Sediment Control Notes:

All erosion & sediment control measurements including revegetation and storage of soil & top soil, shall be implemented to the standard of the soil conservation of

All drainage works shall be constructed around and stabilized as early as possible during development.

Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trenchs.

All sediment basins & traps shall be cleared when the structures are a maximum of 60% full of matreials, including the maintenance period.

All disturbed areas shall be revegetated as soon as the relevant works are completed.

Soil & topsoil stockpiles shall be located away from drainage lines and area water may concentrate.

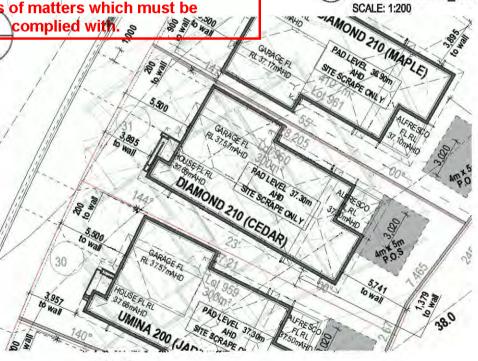
Filters shal be constructed by stretching a filter fabric (Propex or approved equivalent between post as 2m centres). Fabric shall be burred 150mm along its lower edge.

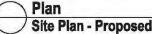


Detail Section

Silt Fence Detail NSW

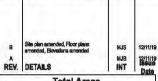
SCALE: 1:200







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Total Areas			
Alfresco	7.40		
Garage	36.36		
House Lower	86.35		
House Upper	77.06		
Porch	2.55		
	209.72 m ²		

ALL DESIGN CONSTRUCTION & **MATERIALS TO BE IN ACCORDANCE**

THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC): **BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS &**

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Yuantong Australia Pty Ltd

Diamond 210 (Cedar Facade) Lot 960 New Road Mareylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must varify all dimensions on site before commencing any work or making

project number checks MCR/ MRAJ Site Plan TBA part of Lot 411 in DP TBA 1230476

Box Hill

A3.2

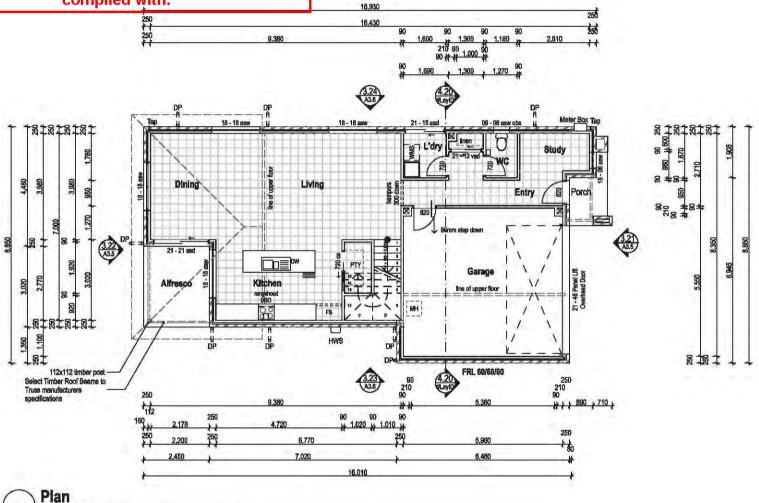
1:200. 1:300@A3

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Ground Floor Plan

SCALE: 1:100



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Site plan amended, Floor plans 12/11/19 MJS MJS 12/11/19 15646 REV. DETAILS

Total Areas			
Alfresco	7.40		
Garage	36.36		
House Lower	86.35		
House Upper	77.06		
Porch	2.55		
	209.72 m²		

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checker MCR/

MBA/

TBA

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Diamond 210 (Cedar Facade) Lot 960 New Road Mareylya NSW 2765

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project number **Ground Floor Plan**

> part of Lot 411 in DP 1230476 TBA

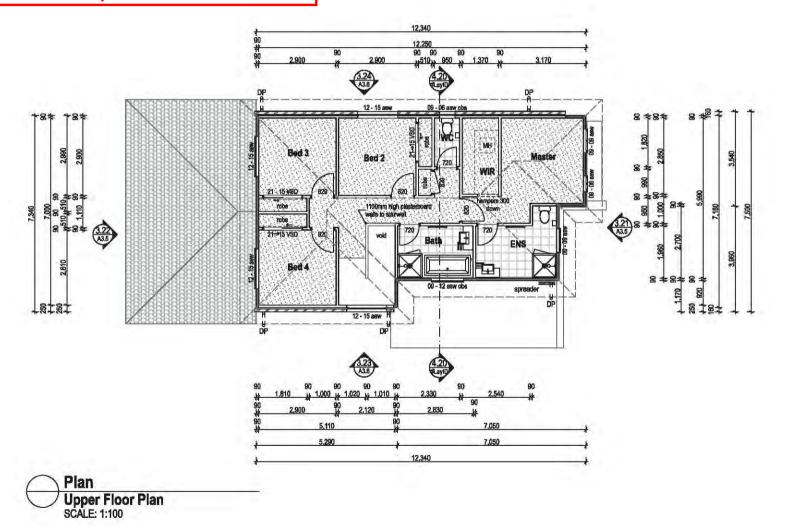
Box Hill S.C

TBA

A3.3

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A MJS 12	lede:
B Site plan amended, Floor plans amended MJS 12	/11/19
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Total Areas		
Alfresco	7.40	
Garage	36.36	
House Lower	86.35	
House Upper	77.06	
Porch	2.55	
	209.72 m ²	

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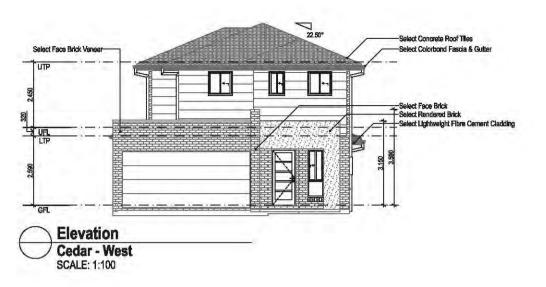
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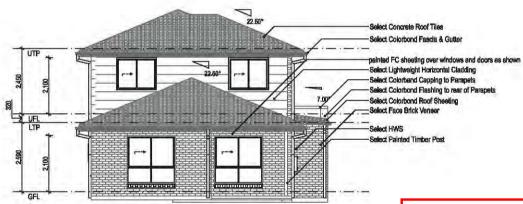
Diamond 210 (Cedar Facade) Lot 960 New Road Mareylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must varify all dimensions on alta before commencing any work or making

and acountries			
project number		drawn by MSC	MCR/
Upper Floor Pla project status DA	n	wind class TBA	MBA/ JSK sol clear TBA
real property description part of Lot 411 in DP	flood level TBA	dimete zone TBA	TBA

1230476	IDA	IDA	IDA
covenent	local authority	perlah	county
DA	Box HIII S.C	TBA	TBA
	0.0		





Elevation East SCALE: 1:100

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NOTE: 450mm EAVE (610MM TO FRAME)UNO

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Site plan amended, Floor plans 12/11/19 MJS MJS 12/11/19 Reue REV. DETAILS

Total Areas		
Alfresco 7.40		
Garage	36.36	
House Lower	86.35	
House Upper	77.06	
Porch	2.55	
	209.72 m ²	

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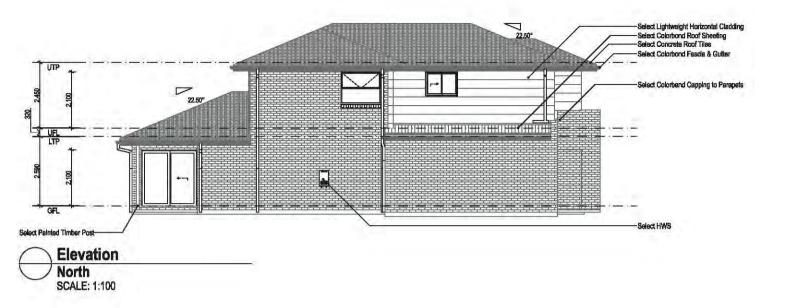
Diamond 210 (Cedar Facade) Lot 960 New Road Mareylya NSW 2765

Figured dimensions false precedence over scale dimensions. Contractors must varify all dimensions on site before commencing any work or making

project number checker MCR/ MRA drewing name Elevations 1 TBA

part of Lot 411 in DP 1230476 TBA

TBA Box Hill S.C





South

SCALE: 1:100

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	Total Assess		-
REV.	DETAILS	INT	Date
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Total Areas	
Alfresco 7.40	
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m ²

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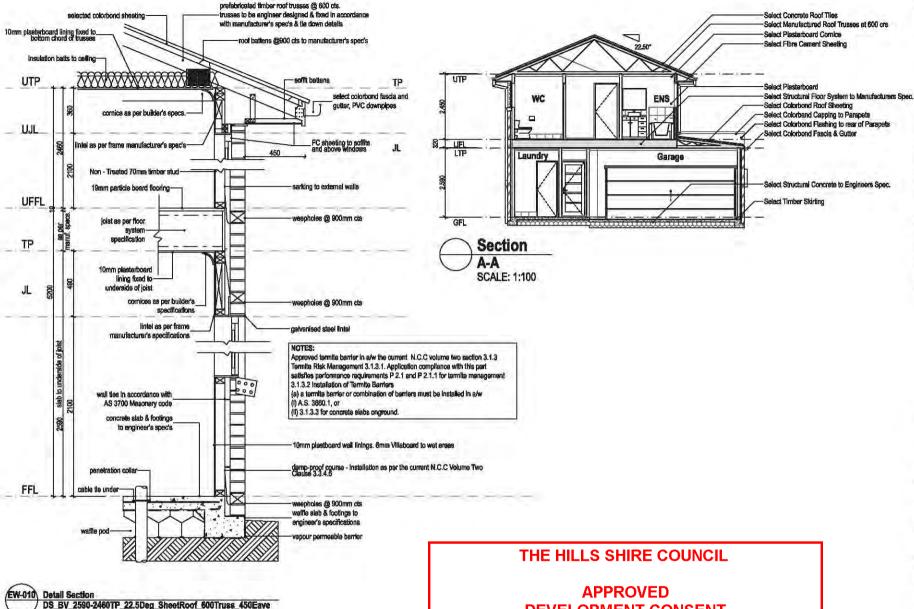
Yuantong Australia Pty Ltd

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Diamond 210 (Cedar Facade) Lot 960 New Road Mareylya NSW 2765

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earch orestractive				
project number		drawn by MSC	checked MCR/	
drewing name Elevations 2		wind class	MBA/ JSK sol cless	
project etable DA		TBA	TBA	
real property description part of Lot 411 in DP 1230476	flood level TBA	dimete zone TBA	TBA	
covenent	local authority	perish	county	
DA	Box Hill S.C	TBA	TBA	
drawing number	scole		rev	



SCALE: 1:20

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REV.	DETAILS	INT	Red
8	Site plan amended, Floor plans amended, Bevations amended	MJS	12/11/1

Tot	al Areas
Alfresco 7.40	
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m²

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project number		drawn by MSC	checked MCR/
Section and Det	all	wind class	MBA/ JSK soli cless
project etatus DA		TBA	TBA
ned property description part of Lot 411 in DP 1230476	flood level TBA	dimete zone TBA	TBA
covenent	local authority	perteh	county

A3.7

1:100, 1:20/BA3

External Colour Scheme - NSW YARRA

		STANDARD	COMMENTS
COLORBOND ROOF	Custom Orb	Woodland Grey	
TILED ROOF	Bristile Classic Range	Gun Metal	
	Guttering	Woodland Grey	
	Fascia	Woodland Grey	
	Barge capping (if applicable)	Woodland Grey	
	Dry verge (if applicable)	Woodland Grey	
WINDOWS	Dowell	Woodland Grey	
BRICKS	PGH Naturals	Moon Dust	
MORTAR JOINTS	Ironed	Off-white	
EAVES		Builders White	
MAIN HOUSE COLOUR		Dulux Surfmist	
FEATURE COLOUR		Dulux Light Leather	
ENTRY DOOR		Dulux Surfmist	
PVC DOWNPIPES	Over Brick/Main Colour	Dulux Surfmist	
1 1 A CONTRACT	Over Feature Colour	Dulux Light Leather	
TIMBER POST	Feature Colour	Dulux Light Leather	
LETTERBOX	Main Colour	Dulux Light Leather	
BUNKER LIGHTS		Silver	
CLOTHES LINE		Bark	
GARAGE DOOR	Flat Line	Surfmist	
COLOURED CONCRETE		Slate Grey	

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	Total Same		
REV.	DETAILS	INT	Date
В	Site plan amended, Floor plans amended, Bevaliens smended	MJS	12/11/19
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	the second		

Total Areas		
Alfresco	7.40	
Garage	36.36	
House Lower	86.35	
House Upper	77.06	
Porch	2.55	
	209.72 m²	

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Yuantong Australia Pty Ltd

Diamond 210 (Cedar Facade) Lot 960 New Road Maraylya NSW 2765

Figured dimensions lake precedence over scale dimensions. Contractors must varify all dimensions on site before commencing any work or making

atrop drawings.		1000	
project number		drawn by MSC	checked MCR/
External Colour	8	wind class	MBA/ JSK soli class
project etable DA		TBA	TBA
real property description	flood level	dimete zone	BAL
part of Lot 411 in DP 1230476	TBA	TBA	TBA
covenent	local authority	perlah	county
DA	Box Hill 8.C	TBA	TBA

SITE DATA SITE AREA = 410M2

SITE COVERAGE PERMISSABLE = 55% OR 225.5M2 PROVIDED = 32.35% OR 132.66M2

SOFT LANDSCAPE Refer to landscape intent plans

PRINCIPLE PRIVATE OPEN SPACE REQUIRED - 20M2 (5MX4M) PROVIDED - 203.91M²

GENERAL NOTES

- Stormwater to discharge into designated discharge point to PCA regulrements
- Sewer to local authorities requirements.

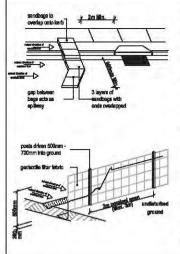
 All ground lines are to be varified on site by the builder
- Final location of buildings to be verified on-site by a registered surveyor.
- Prints received to the precedence over scaling. Any plan discrepencied to be prefilted back to design before proceeding. Site classification TBA
- house platforn to RL 36.90m AHD Approx.
- House floor level RL 37.25m AHD Approx., 310-385mm ebove platform level, garage level approx. RL 37.17m AHD 310-385mm above platform level

Silt barrier

Developer retaining THE HILLS SHIRE COUNCIL

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Please refer to conditions of Development Consent for details of matters which must be complied with.



SILT FENCE DETAILS Sediment Control Notes:

All erosion & sediment control measurements including revegetation and storage of soil & top soil, shall be implemented to the standard of the soil conservation of

All drainage works shall be constructed around and stabilized as early as possible during development.

Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trenchs.

All sediment basins & traps shall be cleared when the structures are a maximum of 60% full of matreials, including the maintenance period.

All disturbed areas shall be revegetated as soon as the relevant works are completed.

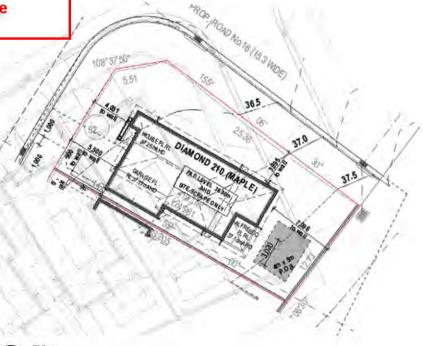
Soil & topsoil stockpiles shall be located away from drainage lines and area water may concentrate.

Filters shall be constructed by stretching a filter fabric (Propex or approved equivalent between post as 2m centres). Fabric shall be burred 150mm along its lower edge.

Detail Section

Silt Fence Detail NSW

SCALE: 1:200

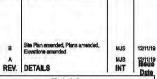


Plan

Site Plan - Proposed



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Total Areas			
Alfresco 7.40			
Garage	36.36		
House Lower	86.35		
House Upper	77.06		
Porch	2.55		
	209.72 m²		

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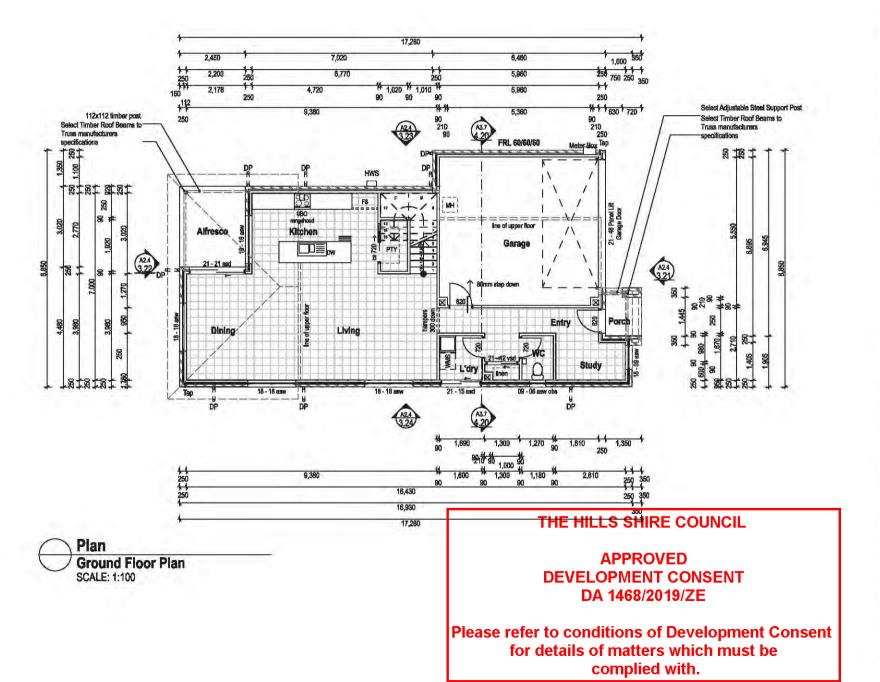
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project number MCR MRA Site Plan TBA part of Lot 411 in DP TBA 1230476

Box Hill

A3.2

1:200. 1:300@A3



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	Total Assess		
REV.	DETAILS	INT	Date
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		177	

Tot	al Areas	
Alfresco 7.40		
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Porch	2.55	
	209.72 m²	

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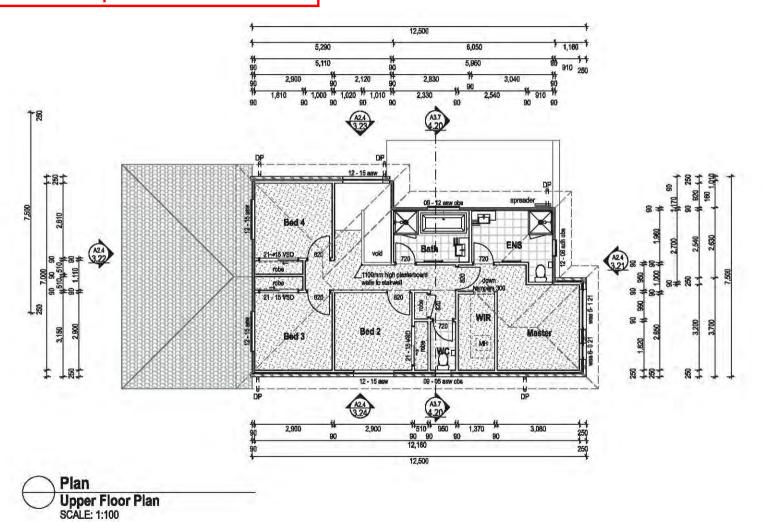
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Ground Floor Plan		wind class	MBA/ JSK soliciess
project etatue DA		TBA	TBA
real property description part of Lot 411 in DP	flood level TBA	dimete zone TBA	TBA

1230476 Box Hill

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8	Site Plan amended, Plans amended, Elevations amended	MJS	12/11/19
REV.	DETAILS	MJS INT	12/11/19 Date

Tot	al Areas
Alfresco	7.40
Garage	36.36
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	209.72 m ²

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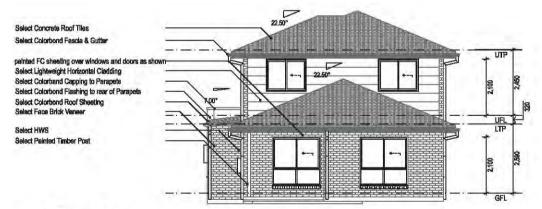
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drewing name Upper Floor Pla project etable DA	n	wind class TBA	MBA/ JSK solicies TBA
real property description	flood level	dimete zone	BAL
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part of Lot 411 in DP 1230476	TBA	TBA	TBA	
enunnent	local authority	norleh	county	

Box Hill A3.4 1:100@A3







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NOTE: 450mm EAVE (610MM TO FRAME)UNO

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Tot	al Areas		
Alfresco 7.40			
Garage	36.36		
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House Upper	77.06		
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	209.72 m ²		

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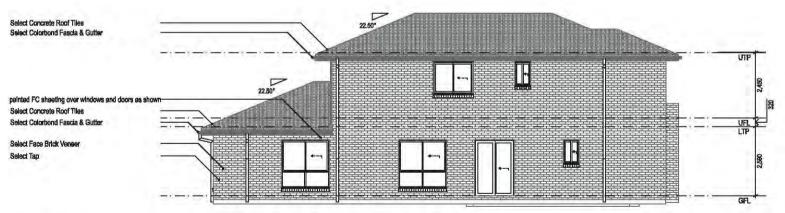
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1230476	IDA	IDA	TDA

Box HIII





Elevation North SCALE: 1:100

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		Site Plan amended, Plans amended,	uie	40/44/4

Total Areas		
Alfresco	7.40	
Garage	36.36	
House Lower	86.35	
House Upper	77.06	
Porch	2.55	
	209.72 m ²	

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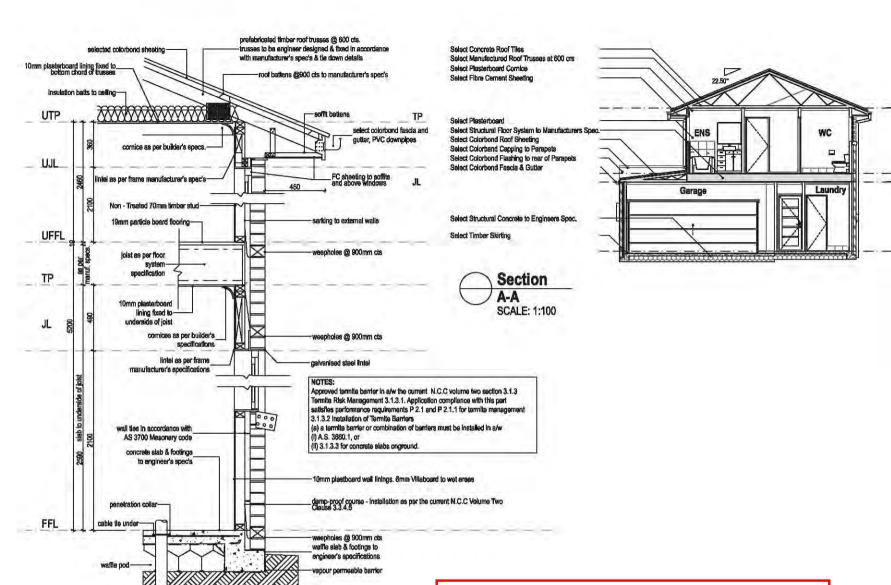
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real property description part of Lot 411 in DP 1230476	flood level TBA	dimete zone TBA	TBA

Box HIII



EW-010 Detail Section

SCALE: 1:20

DS BV 2590-2460TP 22.5Deg SheetRoof 600Truss 450Eave

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UTP

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Total Areas		
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Garage	36.36	
House Lower	86.35	
House Upper	77.06	
Porch	2.55	
	209 72 m ²	

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A3.7

1:100, 1:20/BA3

External Colour Scheme PAROO

		STANDARD	COMMENTS
COLORBOND ROOF	Custom Orb	Basalt	
TILED ROOF	Bristile Classic Range	Gunmetal	
	Guttering	Basalt	
	Fascia	Basalt	
	Barge capping (if applicable)	Basalt	
	Dry verge (if applicable)	Basalt	
WINDOWS	Dowell	Dune	
BRICKS	PGH Velour	Mineral	
MORTAR JOINTS	Ironed	Off-white	
EAVES		Builders White	
MAIN HOUSE COLOUR	hi .	Dulux Linseed	
FEATURE COLOUR		Dulux Male Quarter	
ENTRY DOOR		Dulux Surfmist	
PVC DOWNPIPES	Over Brick/Main Colour	Dulux Surfmist	
	Over Feature Colour	Dulux Surfmist	
TIMBER POST	Feature Colour	Dulux Surfmist	
LETTERBOX	Main Colour	Dulux Surfmist	
BUNKER LIGHTS		Silver	
CLOTHES LINE		Woodland Grey	
GARAGE DOOR	Flat Line	Surfmist	
COLOURED CONCRETE	Agricultural de la constantina della constantina	Merino	

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part of Lot 411 in DP 1230476	TBA	TBA	TBA

Box Hill



APPROVED DEVELOPMENT CONSENT DA 1468/2019/ZE

LOTS 951-961

STREET TREES

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YUANTONG AUSTRALIA PTY. LIMITED

PROJECT.
PROPOSED INTEGRATED HOUSING &
SUBDVISION, LOTS 411-410 XXX
MARAYLYA

DRAWING. STREET TREE PLANTING. JOCELYN RAMSAY & ASSOC. PTY. LTD
A.B.N. 38 097 146 999
LANDSCAPE ARCHITECTS. P.O. BOX 292 CHERRYBROOK NSW 2126 ph. 0417 227843 email:jocelyn@jrla.com.au

