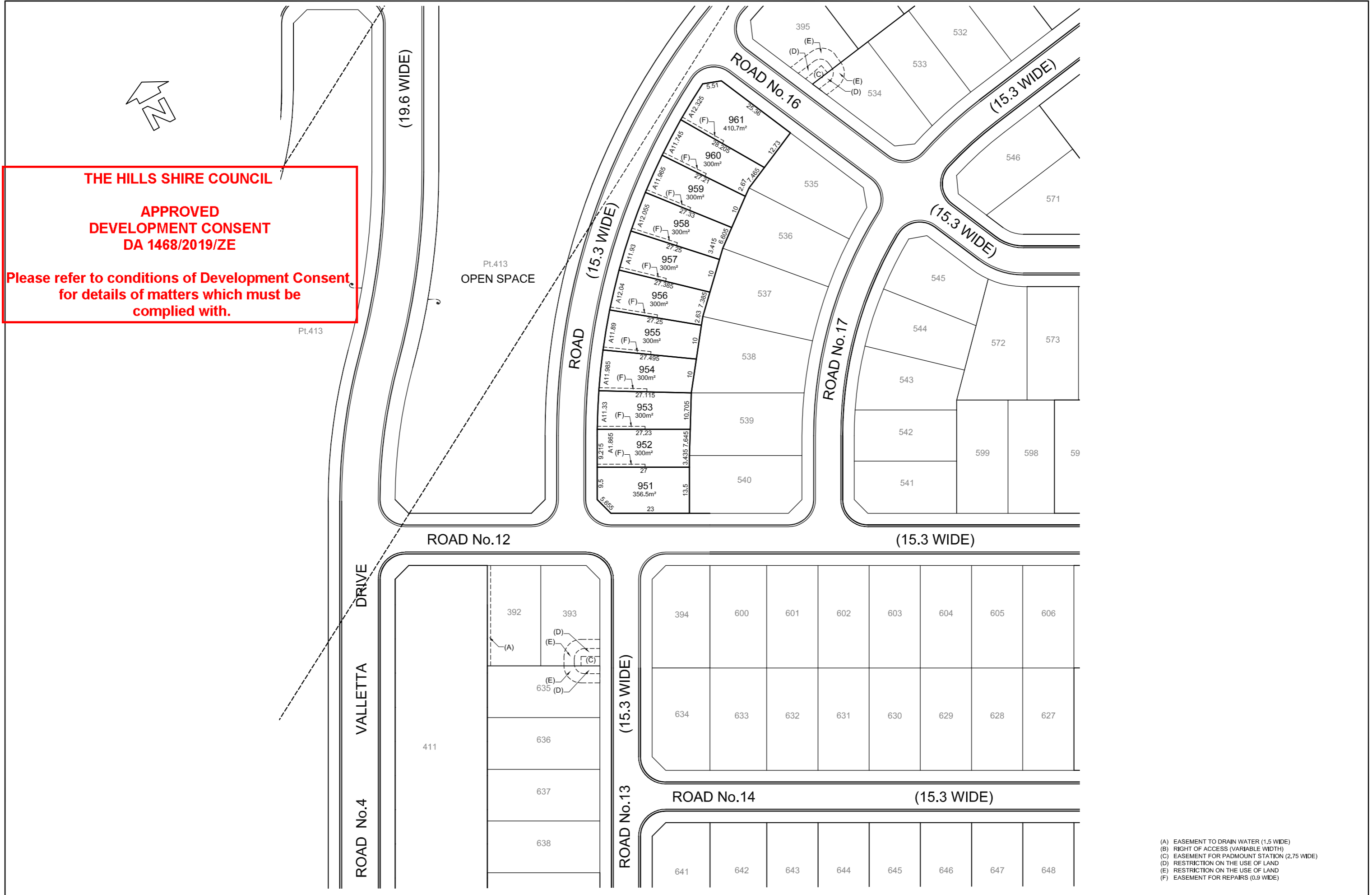




**THE HILLS SHIRE COUNCIL**  
**APPROVED**  
**DEVELOPMENT CONSENT**  
**DA 1468/2019/ZE**

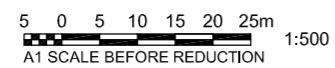
Please refer to conditions of Development Consent  
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 complied with.

Pt.413



- (A) EASEMENT TO DRAIN WATER (1.5 WIDE)
- (B) RIGHT OF ACCESS (VARIABLE WIDTH)
- (C) EASEMENT FOR PADMOUNT STATION (2.75 WIDE)
- (D) RESTRICTION ON THE USE OF LAND
- (E) RESTRICTION ON THE USE OF LAND
- (F) EASEMENT FOR REPAIRS (0.9 WIDE)

Rev.	Date	Description
B	26/07/2019	ADD EASEMENT FOR REPAIRS
A	18/12/2018	AMEND PROJECT DESCRIPTION



Principal: YUANTONG AUSTRALIA PTY LIMITED

**YARRAMAN DEVELOPMENTS PTY LIMITED**  
 DEVELOPMENT MANAGERS  
 6 Rorke Street Beecroft NSW 2119  
 PO Box 3748 Marsfield NSW 2122  
 Telephone 02 9980 9460 Fax. 02 9980 9310

Date 28/06/2018	Designed
Datum A.H.D.	Drawn A.N.C.
L.G.A. THE HILLS SHIRE	Checked B.A.B.

Project: PROPOSED SUBDIVISION OF  
 LOT 410 IN D.P. 1230476  
 VALLETTA DRIVE, MARAYLYA

Proj. No. 1255-ST-8  
 Sheet No. 1 of 1 sheets  
 Our Ref. 1255 ST7



Please refer to conditions of Development Consent for details of matters which must be complied with.



Plan  
Site Plan - Proposed  
SCALE: 1:300

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**SITE INFORMATION**  
Real Property Description: DP 1230476

**Legend**

Silt barrier	---
Driveway location	---
Stormwater drainage	---
Developer retaining	---

**ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE WITH:**  
THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS & POLICIES CURRENT ISSUES OF AUSTRALIAN STANDARDS CURRENT MANUFACTURERS SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED



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w: www.transpiregroup.com.au

client  
**Yuantong Australia Pty Ltd**

project  
**Lot 410 Macquires Road, Box Hill North**  
Lots 951 961 New Road The Hills Estate Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making stop drawings.

project number BKDA 4	drawn by MSC	checked MCR
drawing name <b>Overall Site Plan</b>	wind class TBA	soil class TBA
project title Development Application	fire level TBA	climate zone BAL
real property description Part of Lot 410 in DP 1230476	local authority Box Hill S.C.	county TBA
drawing number <b>A1.2</b>	scale 1:300@A3	rev B



**SITE DATA**  
 SITE AREA = 356.5M<sup>2</sup>

**SITE COVERAGE**  
 PERMISSABLE = 55% OR 196.07M<sup>2</sup>  
 PROVIDED = 37.21% OR 132.66M<sup>2</sup>

**SOFT LANDSCAPE**  
 Refer to landscape intent plans

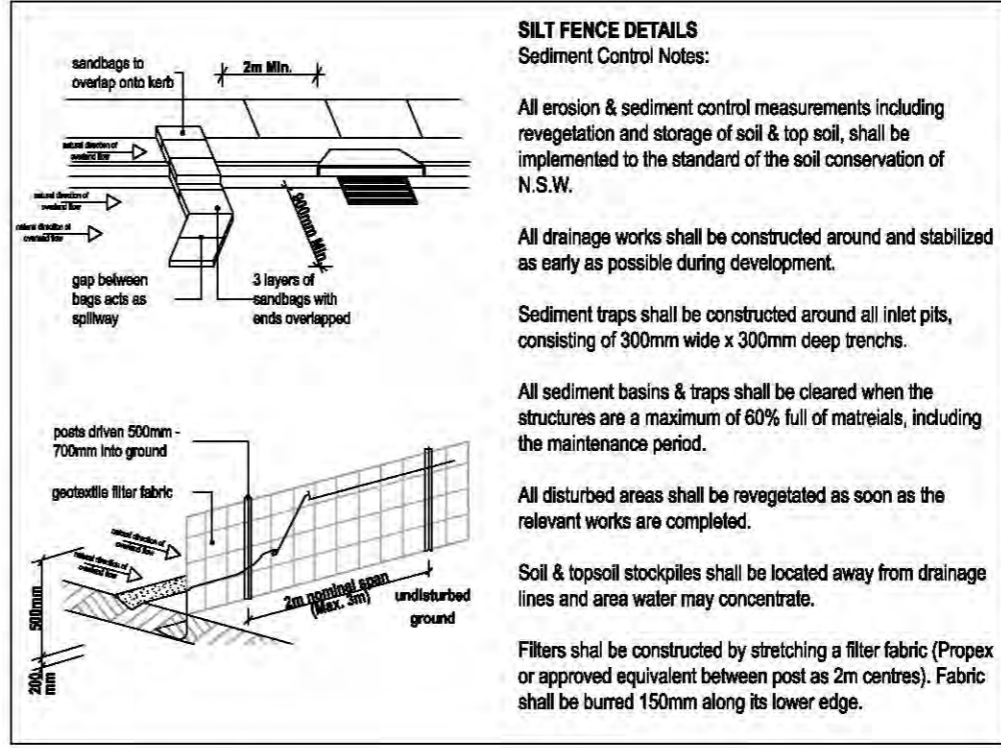
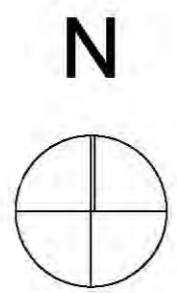
**PRINCIPLE PRIVATE OPEN SPACE**  
 REQUIRED - 20M<sup>2</sup> (5MX4M)  
 PROVIDED - 165.16M<sup>2</sup>

**GENERAL NOTES**

- Stormwater to discharge into designated discharge point to PCA requirements
- Sewer to local authorities requirements.
- All ground lines are to be verified on site by the builder
- Final location of buildings to be verified on-site by a registered surveyor.
- Written dimensions to take precedence over scaling. Any plan discrepanted to be preferred back to design before proceeding.
- Site classification TBA
- house platform to RL 41.1m AHD Approx.
- House floor level RL 41.45m AHD Approx., 310-385mm above platform level, garage level approx. RL 41.37m AHD 310-385mm above platform level

**Legend**

- Silt barrier
- Driveway location
- Stormwater drainage
- Developer retaining



**SILT FENCE DETAILS**  
 Sediment Control Notes:

All erosion & sediment control measurements including revegetation and storage of soil & top soil, shall be implemented to the standard of the soil conservation of N.S.W.

All drainage works shall be constructed around and stabilized as early as possible during development.

Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trenches.

All sediment basins & traps shall be cleared when the structures are a maximum of 60% full of materials, including the maintenance period.

All disturbed areas shall be revegetated as soon as the relevant works are completed.

Soil & topsoil stockpiles shall be located away from drainage lines and area water may concentrate.

Filters shall be constructed by stretching a filter fabric (Propex or approved equivalent between post as 2m centres). Fabric shall be buried 150mm along its lower edge.

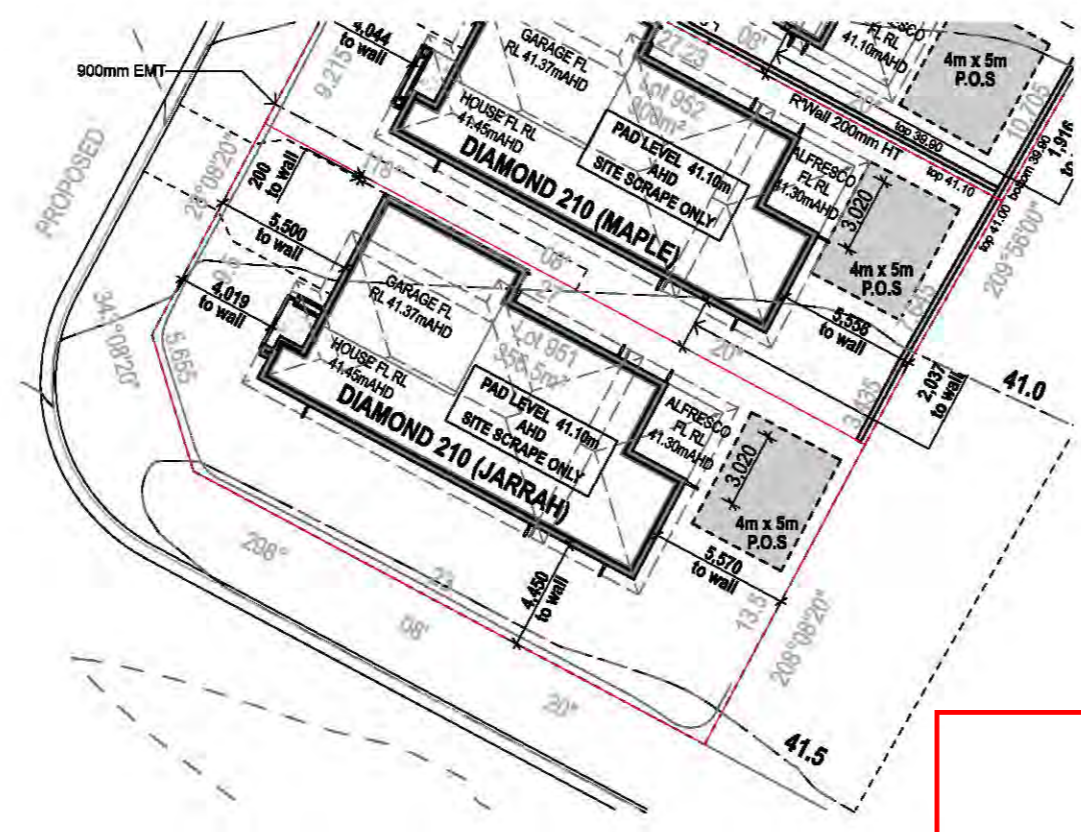
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B	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

**ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE WITH:**  
 THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS & POLICIES  
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SU-001 **Detail Section**  
**Silt Fence Detail\_NSW**  
 SCALE: 1:200



**Plan**  
**Site Plan - Proposed**  
 SCALE: 1:300

**THE HILLS SHIRE COUNCIL**

**APPROVED DEVELOPMENT CONSENT**  
**DA 1468/2019/ZE**

**Please refer to conditions of Development Consent for details of matters which must be complied with.**



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 w: www.transpiregroup.com.au

client  
**Yuantong Australia Pty Ltd**

project  
**Diamond 210 (Jarrah Facade)**  
 Lot 951 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

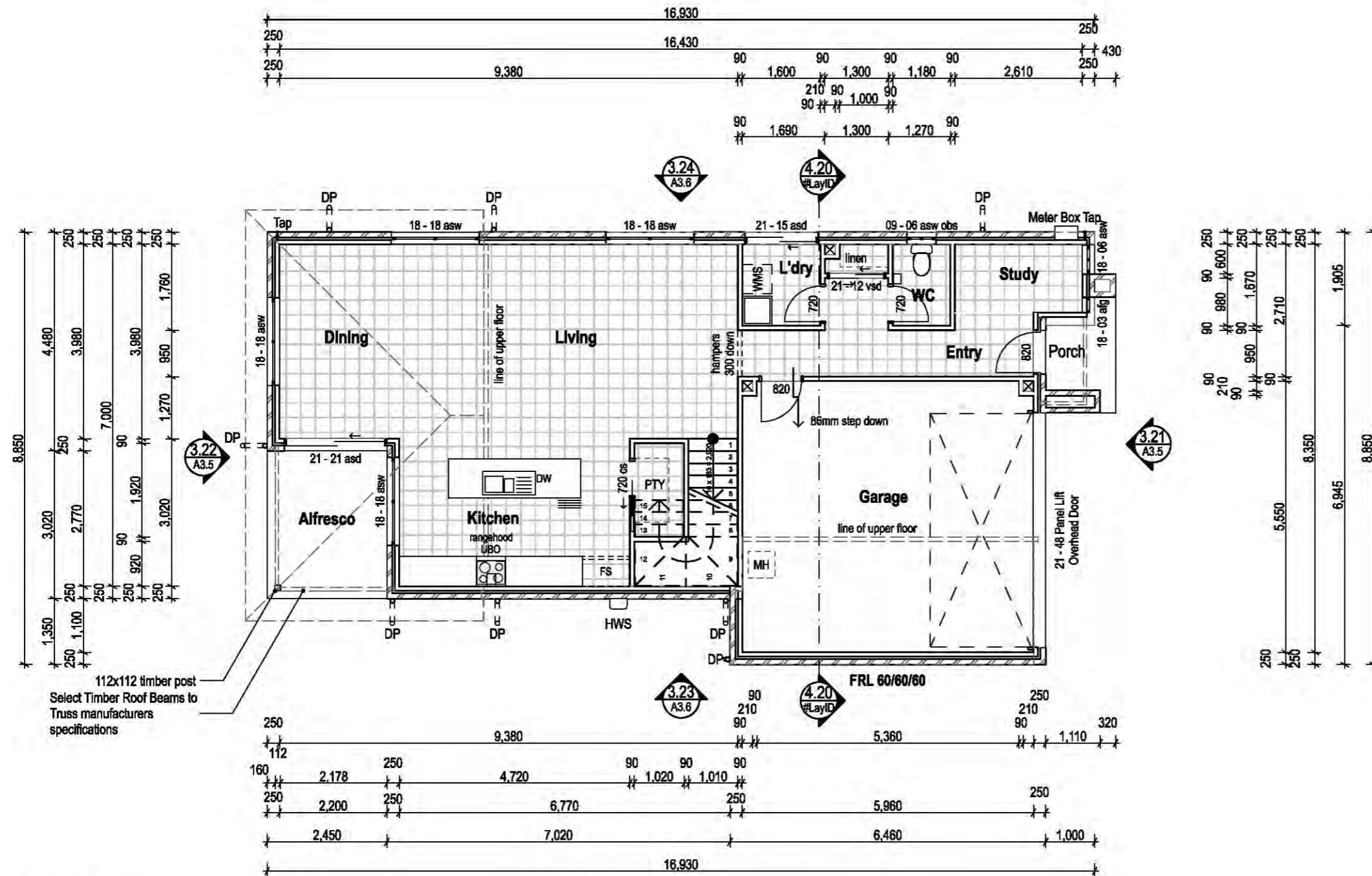
project number	drawn by MSC	checked MCR/ MBA/ JSK	soil class TBA
drawing name Site Plan	project status DA	wind class TBA	soil class TBA
real property description part of Lot 411 In DP 1230476	project status DA	climate zone TBA	BAL TBA
covenant DA	local authority Box Hill S.C	parish TBA	county TBA
drawing number A3.2	scale 1:200, 1:300@A3	rev B	



THE HILLS SHIRE COUNCIL

APPROVED  
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Plan  
Ground Floor Plan  
SCALE: 1:100

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B	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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client  
Yuantong Australia Pty Ltd

project  
Diamond 210 (Jarrah Facade)  
Lot 951 New Road Maraylya NSW 2765

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project number	drawn by	checked	
	MSC	MCR/	
drawing name		MBA/	
Ground Floor Plan	wind class	JSK	
project status	TBA	soil class	TBA
DA			
real property description	food level	climate zone	BAL
part of Lot 411 In DP	TBA	TBA	TBA
1230476			
covenant	local authority	parish	county
DA	Box Hill	TBA	TBA
	S.C		
drawing number	scale	rev	
A3.3	1:100@A3	B	



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B	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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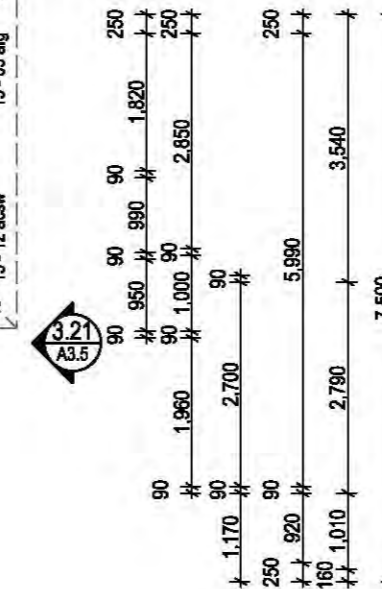
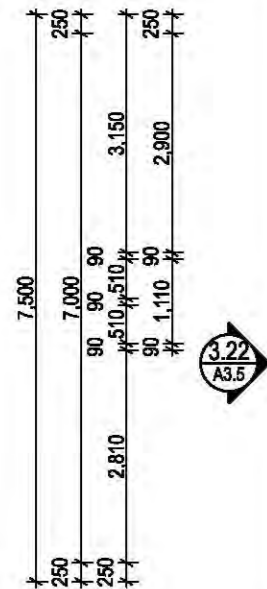
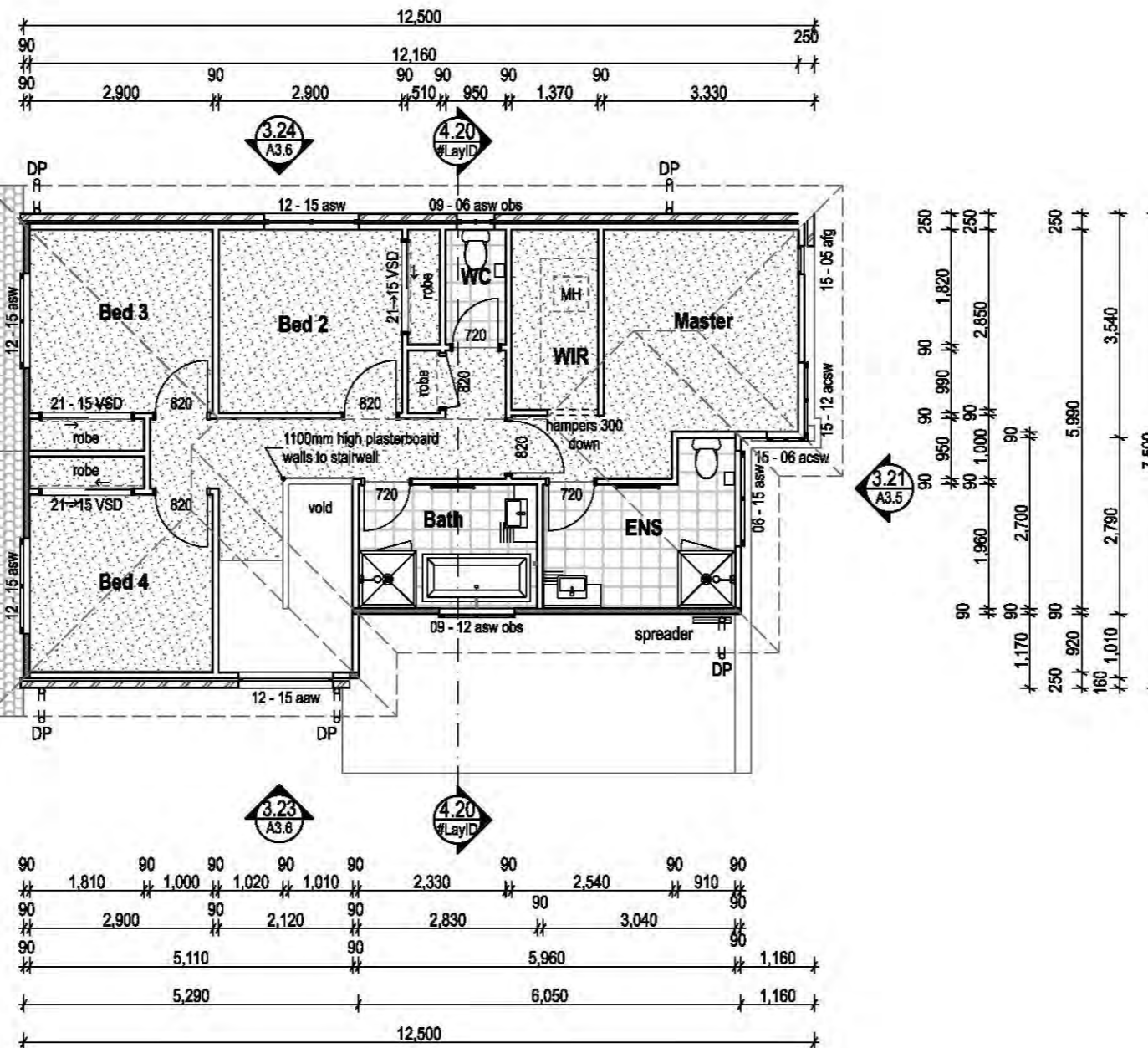


client  
**Yuantong Australia Pty Ltd**

project  
**Diamond 210 (Jarrah Facade)**  
Lot 951 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by	checked	
	MSC	MCR/	
drawing name		MBA/	
<b>Upper Floor Plan</b>	wind class	JSK	
project status	TBA	soil class	TBA
DA			
real property description	floor level	climate zone	BAL
part of Lot 411 In DP 1230476	TBA	TBA	TBA
covenant	local authority	parish	county
DA	Box Hill S.C	TBA	TBA
drawing number	scale		rev
<b>A3.4</b>	1:100@A3		<b>B</b>



**Plan**  
**Upper Floor Plan**  
SCALE: 1:100







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B	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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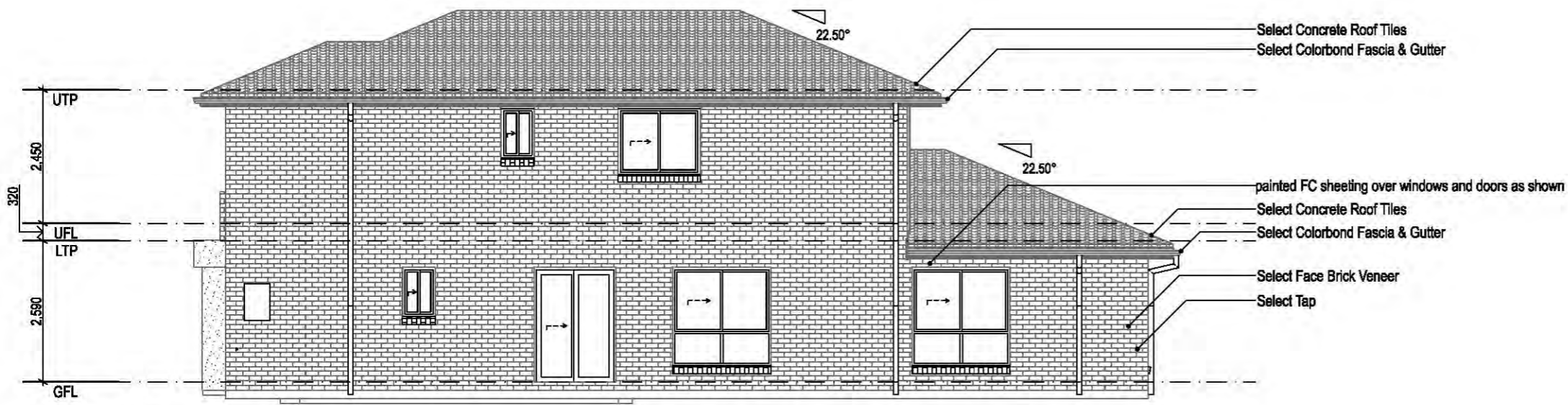
project  
**Diamond 210 (Jarrah Facade)**  
 Lot 951 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by	checked	
	MSC	MCR/	
drawing name		MBA/	
<b>Elevations 2</b>	wind class	JSK	
	TBA	soil class	
project status		TBA	
DA			
real property description	flood level	climate zone	BAL
part of Lot 411 In DP	TBA	TBA	TBA
1230476			
covenant	local authority	parish	county
DA	Box Hill	TBA	TBA
	S.C		
drawing number	scale		rev
<b>A3.6</b>	1:100@A3		<b>B</b>



**Elevation North**  
 SCALE: 1:100



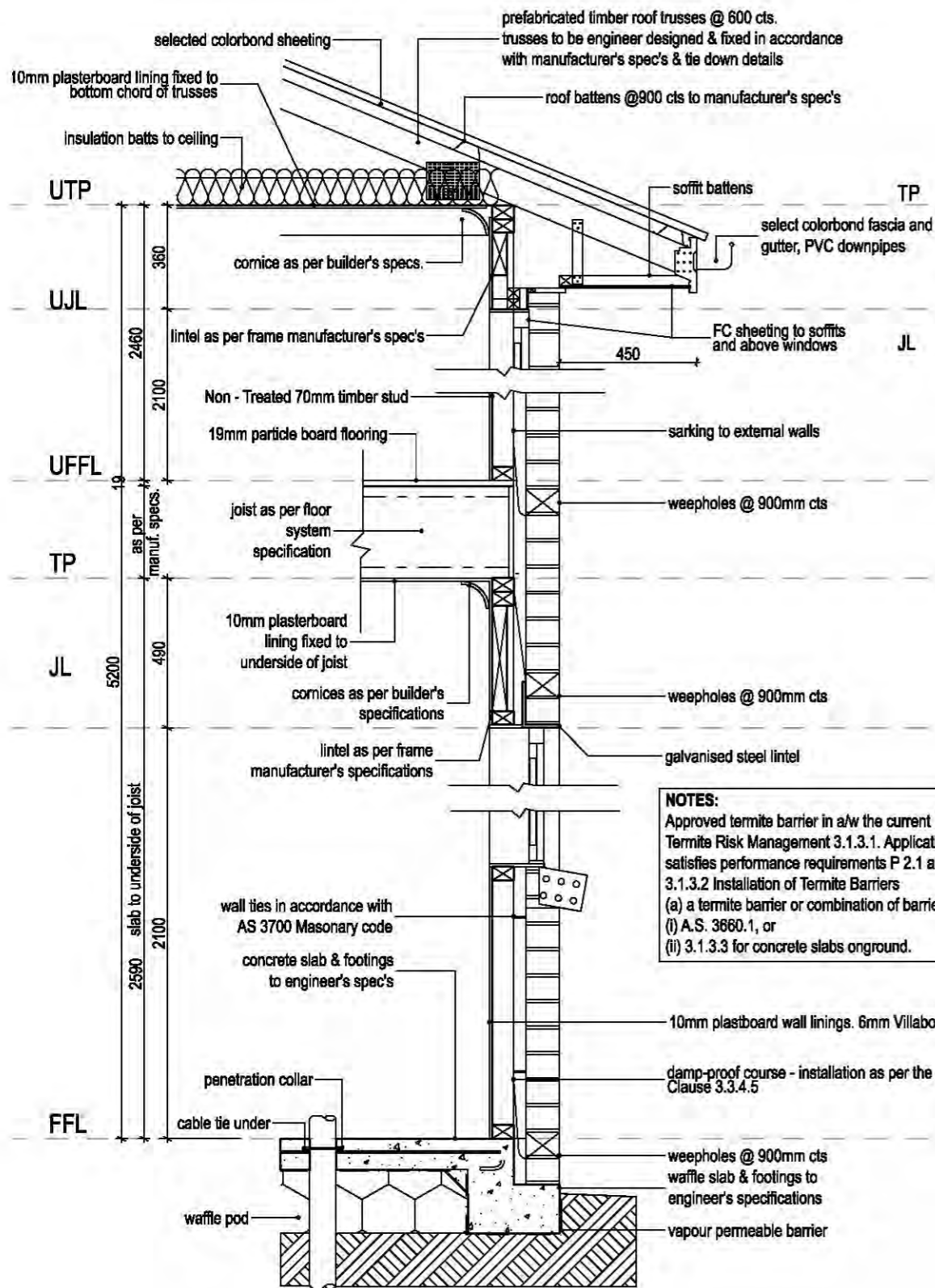
**Elevation South**  
 SCALE: 1:100

**THE HILLS SHIRE COUNCIL**

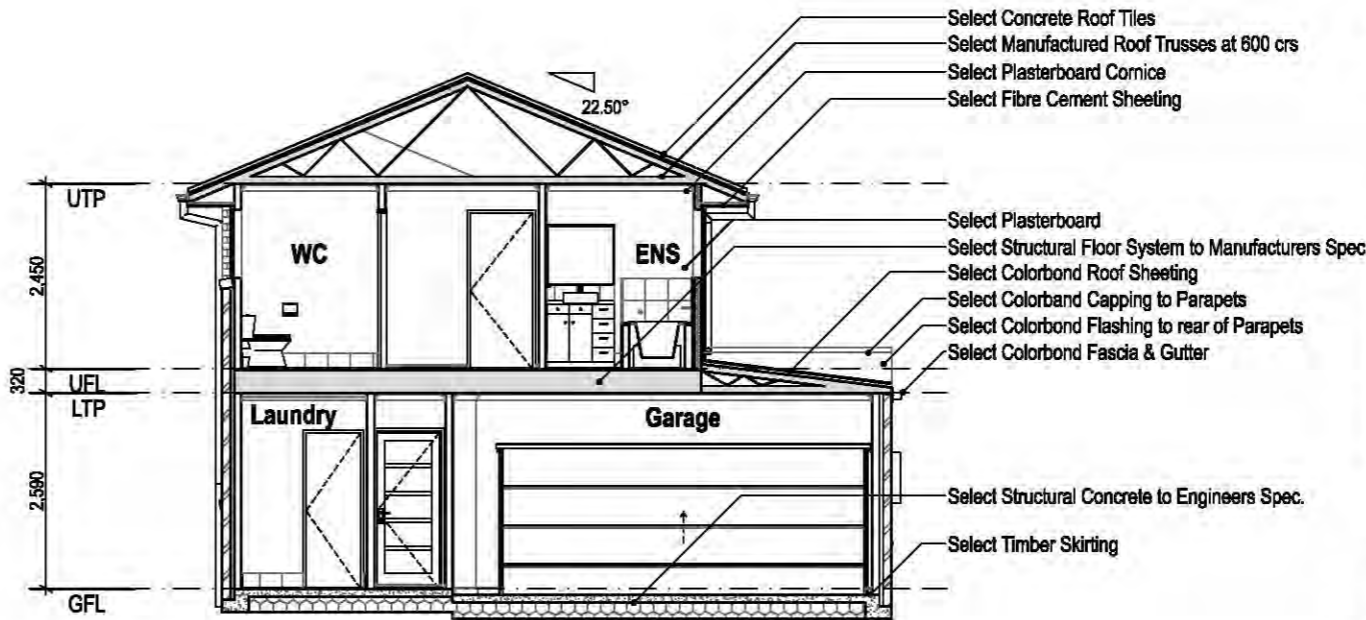
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**DA 1468/2019/ZE**

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**NOTES:**  
 Approved termite barrier in a/w the current N.C.C volume two section 3.1.3 Termite Risk Management 3.1.3.1. Application compliance with this part satisfies performance requirements P 2.1 and P 2.1.1 for termite management 3.1.3.2 Installation of Termite Barriers  
 (a) a termite barrier or combination of barriers must be installed in a/w  
 (i) A.S. 3660.1, or  
 (ii) 3.1.3.3 for concrete slabs onground.



**Section A-A**  
 SCALE: 1:100

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B	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
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 w: www.transpiregroup.com.au

client  
**Yuantong Australia Pty Ltd**

project  
**Diamond 210 (Jarrah Facade)**  
 Lot 951 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by	checked	
	MSC	MCR/	
drawing name		MBA/	
<b>Section and Detail</b>	wind class	JSK	
	TBA	soil class	
project status		TBA	
DA			
real property description	flood level	climate zone	BAL
part of Lot 411 In DP 1230476	TBA	TBA	TBA
covenant	local authority	parish	county
DA	Box Hill S.C	TBA	TBA
drawing number	scale		rev
<b>A3.7</b>	1:100, 1:20@A3		<b>B</b>

**EW-010 Detail Section**  
**DS\_BV\_2590-2460TP\_22.5Deg\_SheetRoof\_600Truss\_450Eave**  
 SCALE: 1:20



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B	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

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**Yuantong Australia Pty Ltd**

project  
**Diamond 210 (Jarrah Facade)**  
 Lot 951 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by MSC	checked MCR/ MBA/ JSK
drawing name <b>External Colours</b>	wind class TBA	soil class TBA
project status DA		
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA
covenant DA	local authority Box Hill S.C	county TBA
drawing number <b>A3.8</b>	scale @A3	rev B

# External Colour Scheme - NSW YARRA

	STANDARD	COMMENTS
<b>COLORBOND ROOF</b>	Custom Orb	Woodland Grey
<b>TILED ROOF</b>	Bristle Classic Range	Gun Metal
	Guttering	Woodland Grey
	Fascia	Woodland Grey
	Barge capping (if applicable)	Woodland Grey
	Dry verge (if applicable)	Woodland Grey
<b>WINDOWS</b>	Dowell	Woodland Grey
<b>BRICKS</b>	PGH Naturals	Moon Dust
<b>MORTAR JOINTS</b>	Ironed	Off-white
<b>EAVES</b>		Builders White
<b>MAIN HOUSE COLOUR</b>		Dulux Surfemist
<b>FEATURE COLOUR</b>		Dulux Light Leather
<b>ENTRY DOOR</b>		Dulux Surfemist
<b>PVC DOWNPIPES</b>	Over Brick/Main Colour	Dulux Surfemist
	Over Feature Colour	Dulux Light Leather
<b>TIMBER POST</b>	Feature Colour	Dulux Light Leather
<b>LETTERBOX</b>	Main Colour	Dulux Light Leather
<b>BUNKER LIGHTS</b>		Silver
<b>CLOTHES LINE</b>		Bark
<b>GARAGE DOOR</b>	Flat Line	Surfemist
<b>COLOURED CONCRETE</b>		Slate Grey

**THE HILLS SHIRE COUNCIL**

**APPROVED  
DEVELOPMENT CONSENT  
DA 1468/2019/ZE**

**Please refer to conditions of Development Consent  
for details of matters which must be  
complied with.**



**SITE DATA**  
 SITE AREA = 300M<sup>2</sup>

**SITE COVERAGE**  
 PERMISSABLE = 55% OR 165M<sup>2</sup>  
 PROVIDED = 44.22% OR 132.66M<sup>2</sup>

**SOFT LANDSCAPE**  
 Refer to landscape intent plans

**PRINCIPLE PRIVATE OPEN SPACE**  
 REQUIRED - 20M<sup>2</sup> (5MX4M)  
 PROVIDED - 77.4M<sup>2</sup>

**GENERAL NOTES**

- Stormwater to discharge into designated discharge point to PCA requirements
- Sewer to local authorities requirements.
- All ground lines are to be verified on site by the builder
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- Written dimensions to take precedence over scaling. Any plan discrepanted to be preferred back to design before proceeding.
- Site classification TBA
- house platform to RL 41.10m AHD Approx.
- House floor level RL 41.45m AHD Approx., 310-385mm above platform level, garage level approx. RL 41.37m AHD 310-385mm above platform level

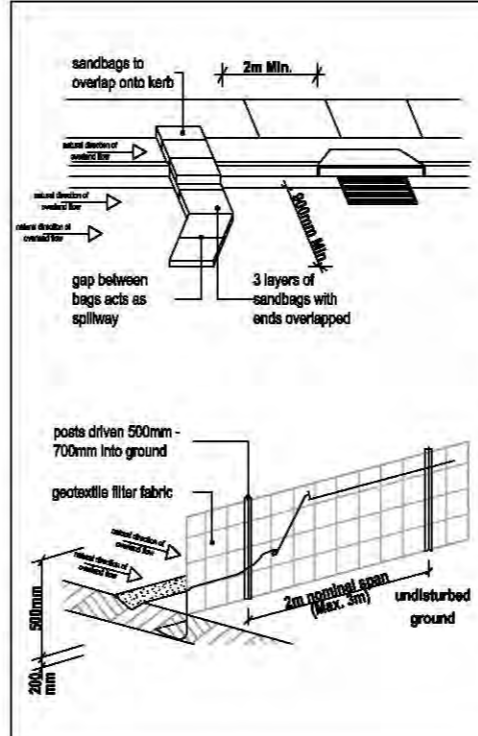
**Legend**

- Silt barrier
- Driveway location
- Stormwater drainage
- Developer retaining

**THE HILLS SHIRE COUNCIL**

**APPROVED**  
**DEVELOPMENT CONSENT**  
**DA 1468/2019/ZE**

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**SILT FENCE DETAILS**  
 Sediment Control Notes:

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Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trenches.

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Soil & topsoil stockpiles shall be located away from drainage lines and area water may concentrate.

Filters shall be constructed by stretching a filter fabric (Propex or approved equivalent between post as 2m centres). Fabric shall be burred 150mm along its lower edge.

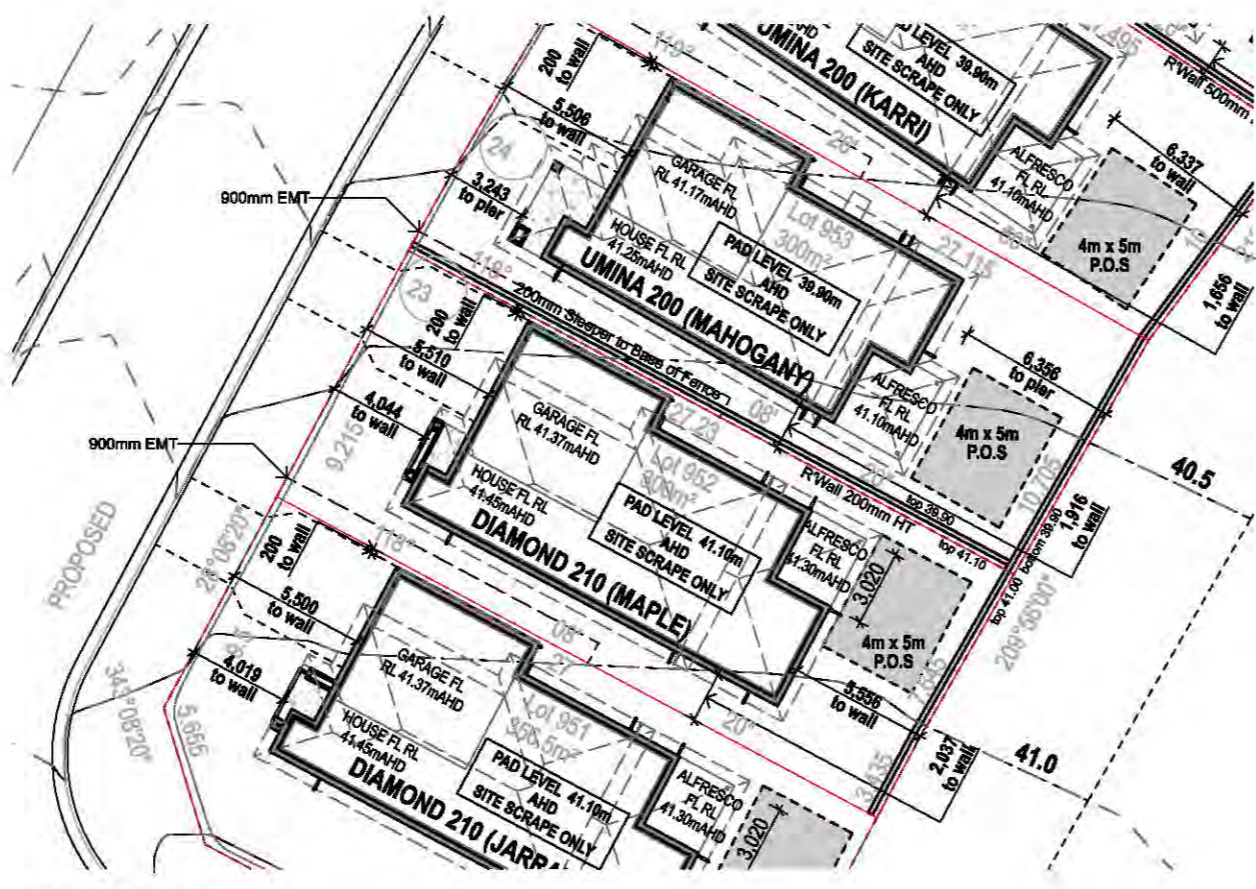
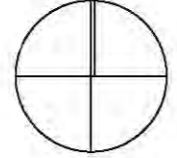
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B	Site plan amended, Plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

**ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE WITH:**  
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**SU-001** Detail Section  
**Silt Fence Detail\_NSW**  
 SCALE: 1:200



**Plan**  
**Site Plan - Proposed**  
 SCALE: 1:300



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 w: www.transpiregroup.com.au

client  
**Yuantong Australia Pty Ltd**

project  
**Diamond 210 (Maple Facade)**  
 Lot 952 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

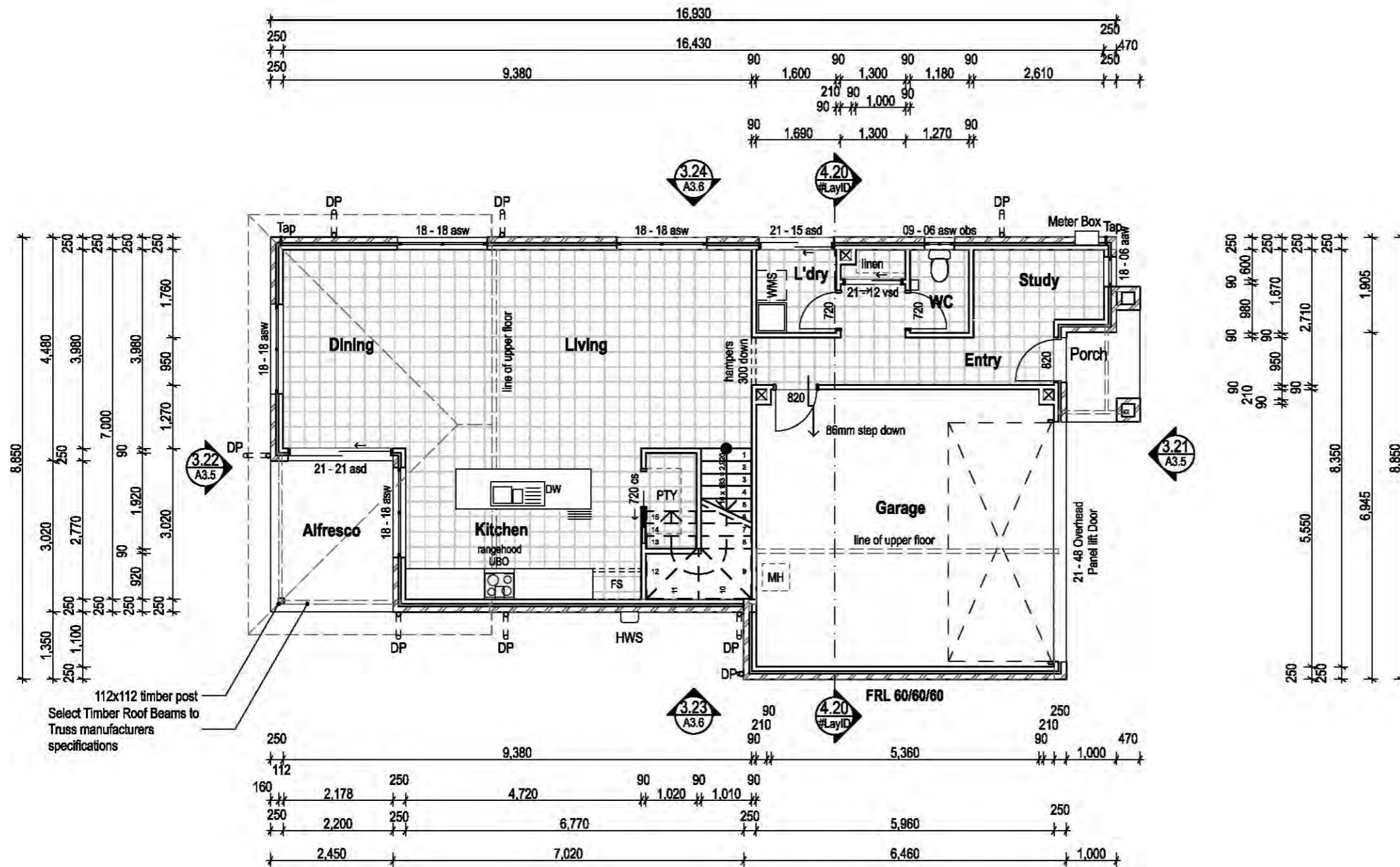
project number #PIn	drawn by MSC	checked MCR/ MBA/ JSK
drawing name Site Plan	wind class TBA	soil class TBA
project status DA		
real property description part of Lot 411 In DP 1230476	floor level TBA	climate zone TBA
coverent DA	local authority Box Hill S.C	parish TBA
county TBA		
drawing number A3.2	scale 1:200, 1:300@A3	rev B



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Plan  
Ground Floor Plan  
SCALE: 1:100

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REV.	DETAILS	INT	Date
B	Site plan amended, Plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
		INT	Issue
			Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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client  
Yuantong Australia Pty Ltd

project  
Diamond 210 (Maple Facade)  
Lot 952 New Road Maraylya NSW 2765

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project number #PIn	drawn by MSC	checked MCR/ MBA/ JSK	soil class TBA
drawing name Ground Floor Plan	project status DA	wind class TBA	soil class TBA
real property description part of Lot 411 In DP 1230476	floor level TBA	climate zone TBA	BAL TBA
covenant DA	local authority Box Hill S.C	parish TBA	county TBA
drawing number A3.3	scale 1:100@A3	rev B	



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B	Site plan amended, Plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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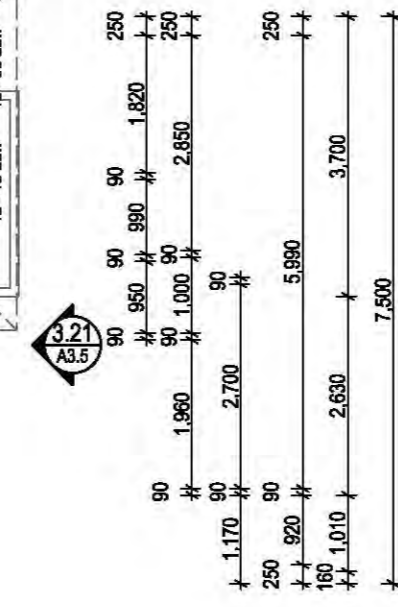
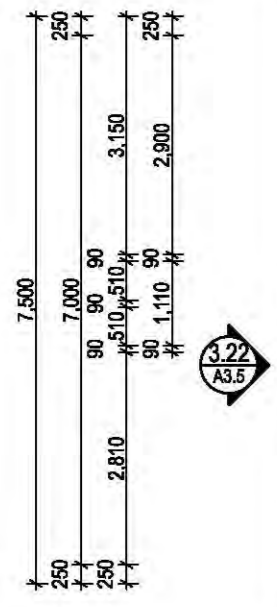
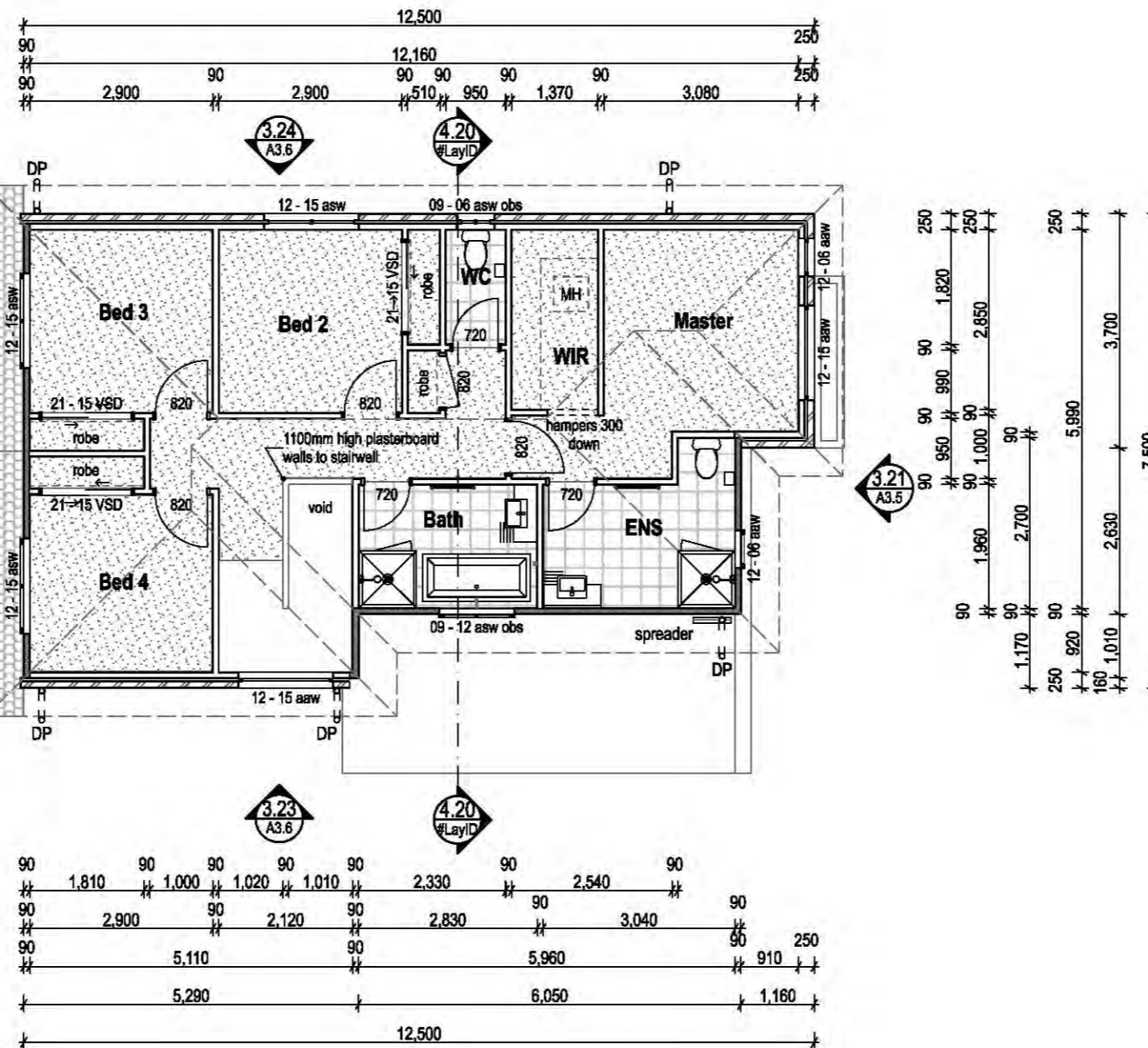


client  
**Yuantong Australia Pty Ltd**

project  
**Diamond 210 (Maple Facade)**  
Lot 952 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number #PIn	drawn by MSC	checked MCR/
drawing name <b>Upper Floor Plan</b>	wind class TBA	JSK soil class TBA
project status DA		
real property description part of Lot 411 In DP 1230476	food level TBA	climate zone TBA
		BAL TBA
covenant DA	local authority Box Hill S.C	parish TBA
		county TBA
drawing number A3.4	scale 1:100@A3	rev B

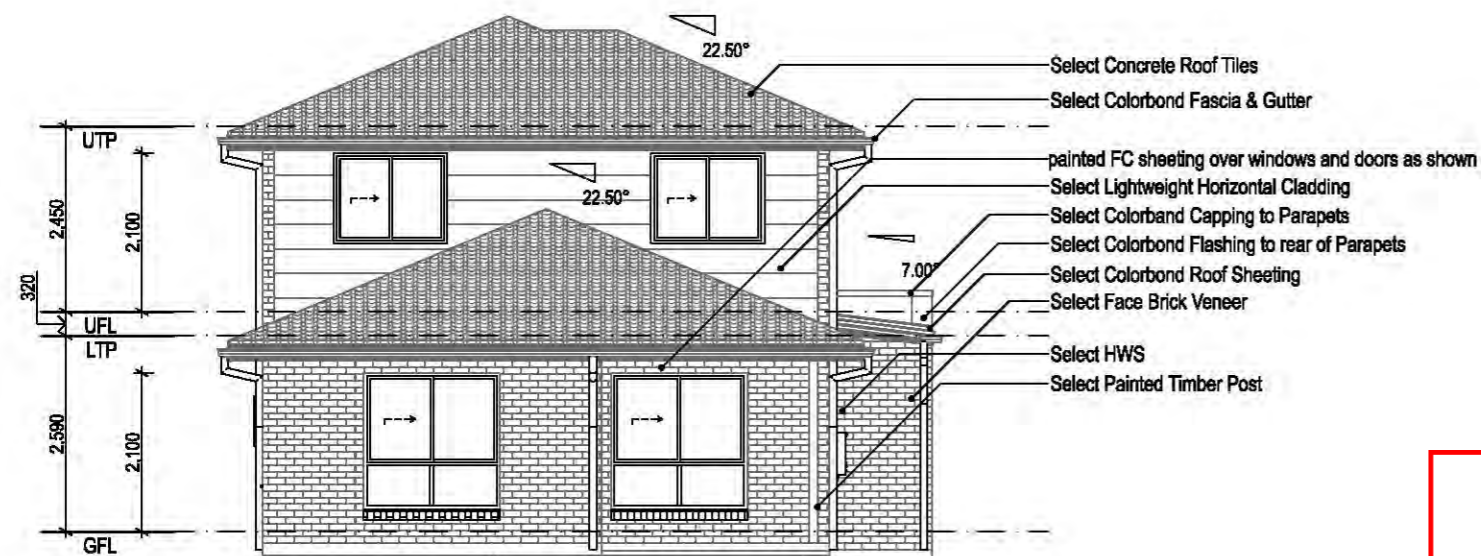


**Plan**  
**Upper Floor Plan**  
SCALE: 1:100





**Elevation**  
**Maple - West**  
 SCALE: 1:100



**Elevation**  
**East**  
 SCALE: 1:100

**NOTE:**  
**450mm EAVE (610MM TO FRAME) UNO**

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B	Site plan amended, Plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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client  
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project  
**Diamond 210 (Maple Facade)**  
 Lot 952 New Road Maraylya NSW 2765

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project number #PIn	drawn by MSC	checked MCR/ MBA/ JSK
drawing name <b>Elevations 1</b>	wind class TBA	soil class TBA
project status DA		
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA
		BAL TBA
covenant DA	local authority Box Hill S.C	parish TBA
		county TBA
drawing number <b>A3.5</b>	scale 1:100@A3	rev B

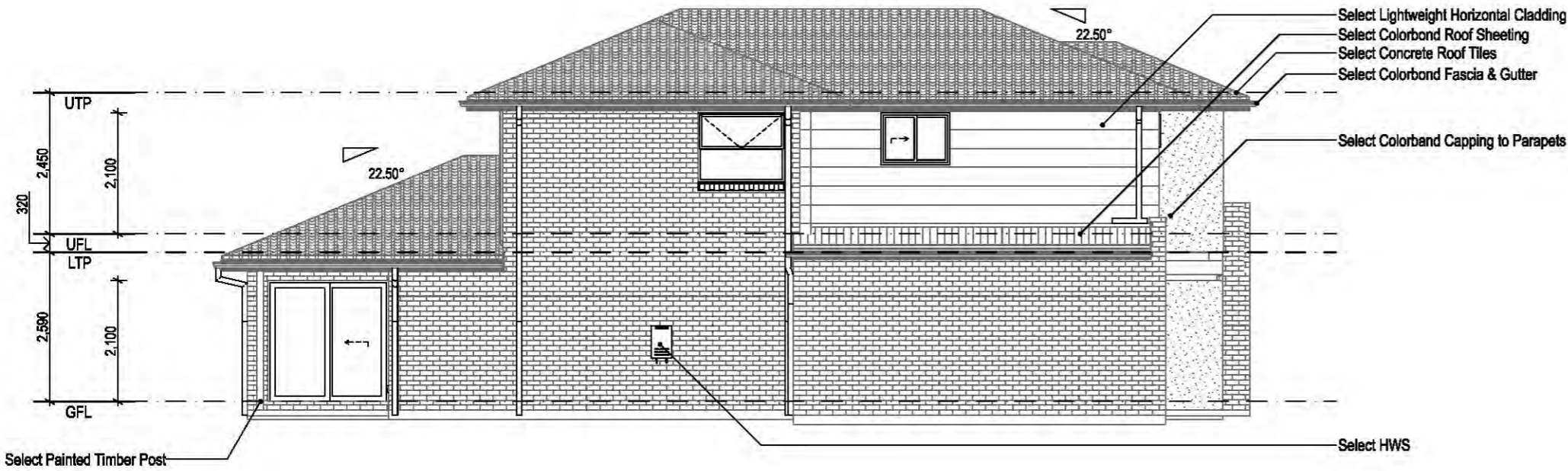
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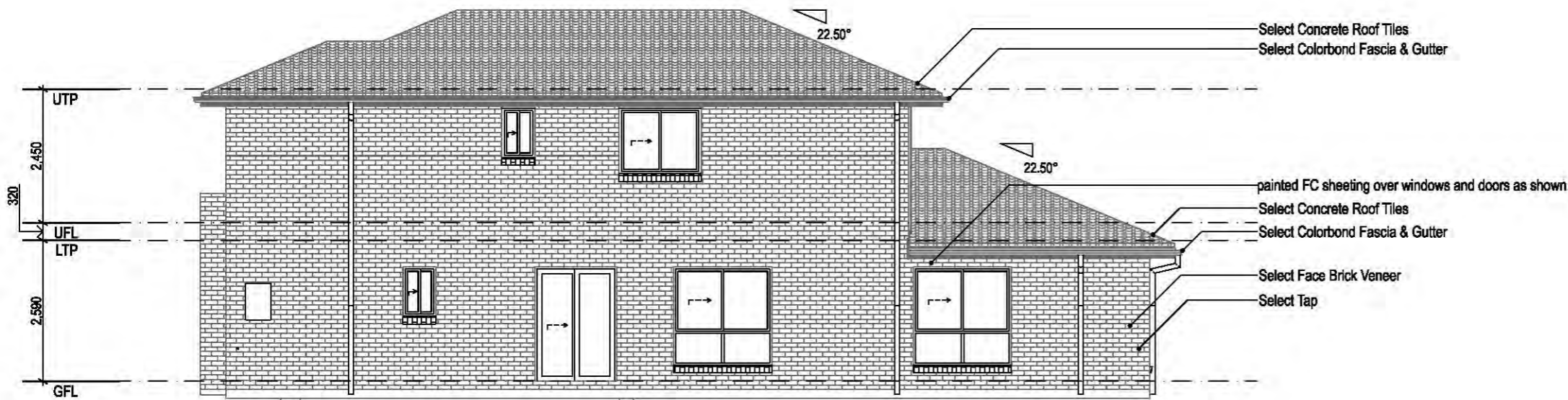
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**Elevation North**  
 SCALE: 1:100



**Elevation South**  
 SCALE: 1:100

B	Site plan amended, Plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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client  
**Yuantong Australia Pty Ltd**

project  
**Diamond 210 (Maple Facade)**  
 Lot 952 New Road Maraylya NSW 2765

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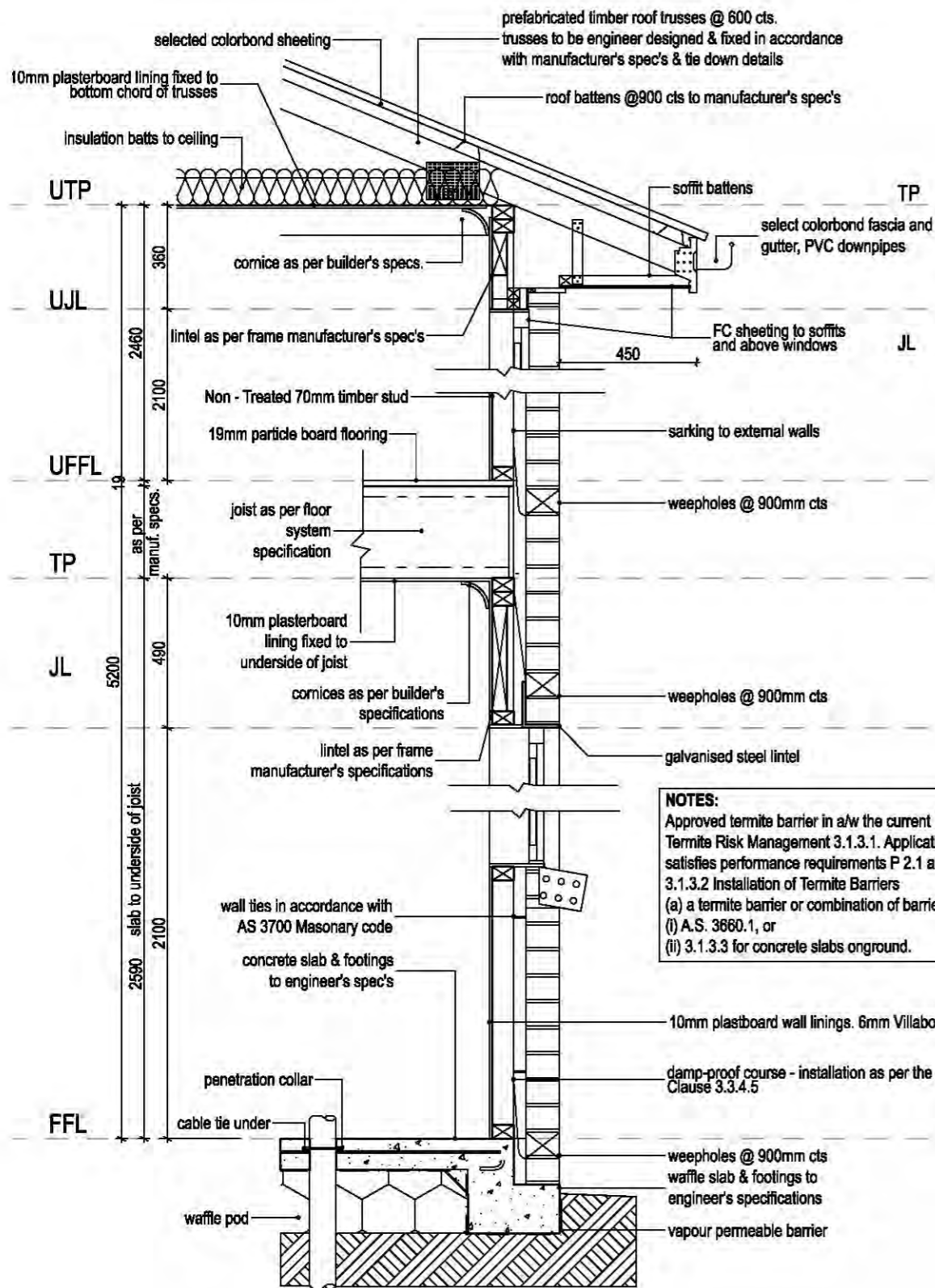
project number #PIn	drawn by MSC	checked MCR/ MBA/ JSK	soil class TBA
drawing name <b>Elevations 2</b>	project status DA	wind class TBA	soil class TBA
real property description part of Lot 411 In DP 1230476	real property description part of Lot 411 In DP 1230476	floor level TBA	climate zone TBA
floor level TBA	climate zone TBA	soil class TBA	soil class TBA
covenant DA	local authority Box Hill S.C	parish TBA	county TBA
drawing number <b>A3.6</b>	scale 1:100@A3	rev B	

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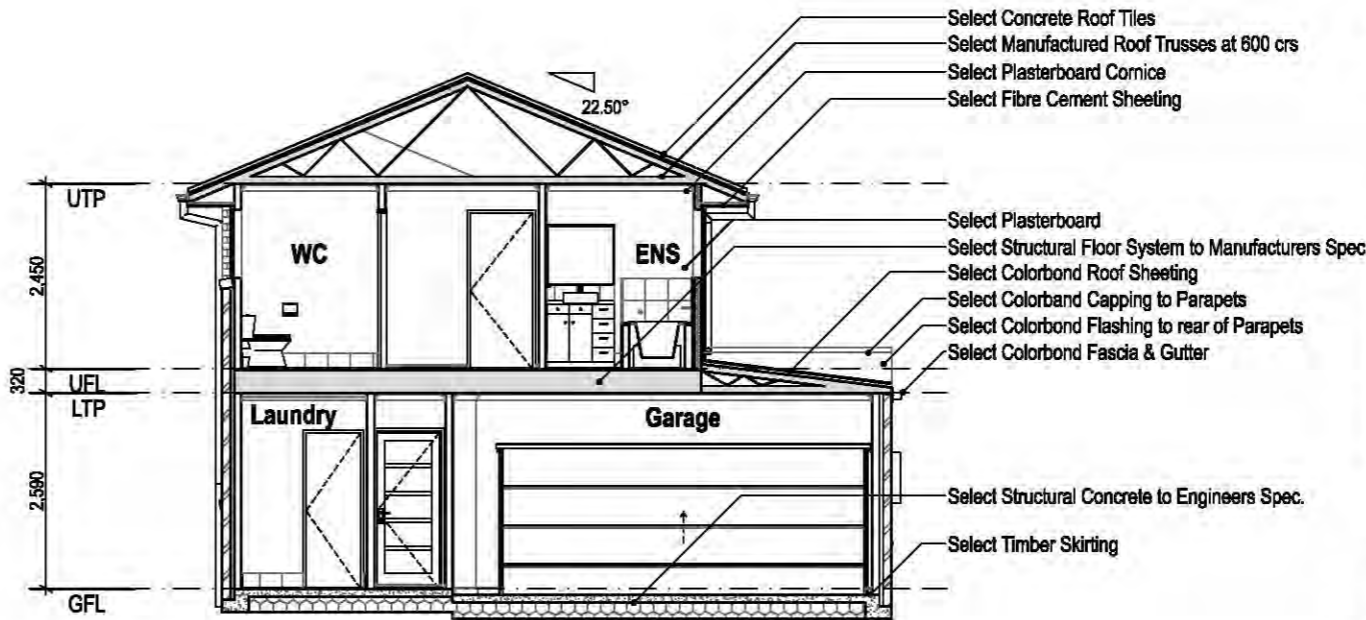
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**NOTES:**  
 Approved termite barrier in a/w the current N.C.C volume two section 3.1.3 Termite Risk Management 3.1.3.1. Application compliance with this part satisfies performance requirements P 2.1 and P 2.1.1 for termite management 3.1.3.2 Installation of Termite Barriers  
 (a) a termite barrier or combination of barriers must be installed in a/w  
 (i) A.S. 3660.1, or  
 (ii) 3.1.3.3 for concrete slabs onground.



**Section A-A**  
 SCALE: 1:100

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B	Site plan amended, Plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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 w: www.transpiregroup.com.au

client  
**Yuantong Australia Pty Ltd**

project  
**Diamond 210 (Maple Facade)**  
 Lot 952 New Road Maraylya NSW 2765

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project number #PIn	drawn by MSC	checked MCR/ MBA/ JSK	soil class TBA
drawing name <b>Section and Detail</b>	project status DA	wind class TBA	soil class TBA
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	BAL TBA
covenant DA	local authority Box Hill S.C	parish TBA	county TBA
drawing number <b>A3.7</b>	scale 1:100, 1:20@A3	rev B	

**EW-010 Detail Section**  
**DS\_BV\_2590-2460TP\_22.5Deg\_SheetRoof\_600Truss\_450Eave**  
 SCALE: 1:20



# External Colour Scheme - NSW OXLEY

	STANDARD	COMMENTS
<b>COLORBOND ROOF</b>	Custom Orb	Basalt
<b>TILED ROOF</b>	Bristle Classic Range	Mica
	Guttering	Basalt
	Fascia	Basalt
	Barge capping (if applicable)	Basalt
	Dry verge (if applicable)	Basalt
<b>WINDOWS</b>	Dowell	Woodland Grey
<b>BRICKS</b>	PGH Alfresco	Truffle
<b>MORTAR JOINTS</b>	Ironed	Off-white
<b>EAVES</b>		Builders White
<b>MAIN HOUSE COLOUR</b>		Dulux Pale Tendril
<b>FEATURE COLOUR</b>		Dulux Timeless Grey
<b>ENTRY DOOR</b>		Dulux Basalt
<b>PVC DOWNPIPES</b>	Over Brick/Main Colour	Dulux Pale Tendril
	Over Feature Colour	Dulux Timeless Grey
<b>TIMBER POST</b>	Feature Colour	Dulux Timeless Grey
<b>LETTERBOX</b>	Main Colour	Dulux Pale Tendril
<b>BUNKER LIGHTS</b>		Silver
<b>CLOTHES LINE</b>		Bark
<b>GARAGE DOOR</b>	Flat Line	Basalt
<b>COLOURED CONCRETE</b>		Slate Grey

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B	Site plan amended, Plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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project  
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Lot 952 New Road Maraylya NSW 2765

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project number #PIn	drawn by MSC	checked MCR/ MBA/ JSK
drawing name <b>External Colours</b>	wind class TBA	soil class TBA
project status DA		
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA
covenant DA	local authority Box Hill S.C	parish TBA
county TBA		
drawing number <b>A3.8</b>	scale @A3	rev B



**SITE DATA**  
 SITE AREA = 337M<sup>2</sup>

**SITE COVERAGE**  
 PERMISSABLE = 55% OR 185.35M<sup>2</sup>  
 PROVIDED = 36.29% OR 122.31M<sup>2</sup>

**SOFT LANDSCAPE**  
 Refer to landscape intent plans

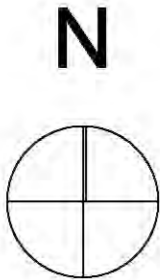
**PRINCIPLE PRIVATE OPEN SPACE**  
 REQUIRED - 20M<sup>2</sup> (5MX4M)  
 PROVIDED - 107.12M<sup>2</sup>

**GENERAL NOTES**

- Stormwater to discharge into designated discharge point to PCA requirements
- Sewer to local authorities requirements.
- All ground lines are to be verified on site by the builder
- Final location of buildings to be verified on-site by a registered surveyor.
- Written dimensions to take precedence over scaling. Any plan discrepancy to be preferred back to design before proceeding.
- Site classification TBA
- house platform to RL 43.7m AHD Approx.
- House floor level RL 44.05m AHD Approx., 310-385mm above platform level, garage level approx. RL 43.97m AHD 310-385mm above platform level

**Legend**

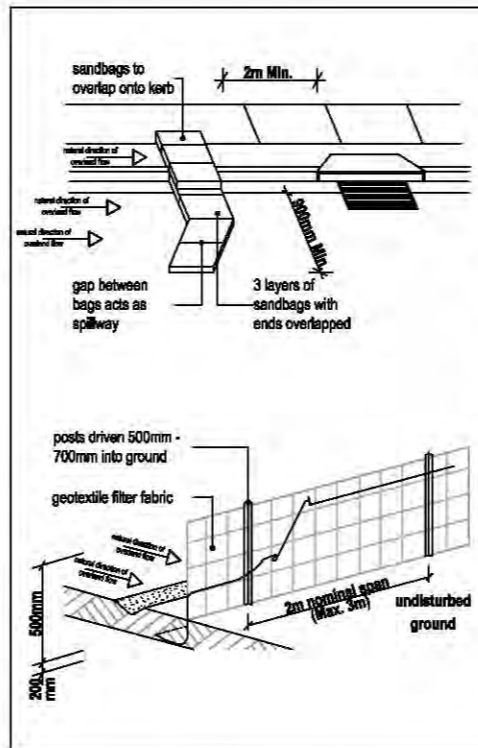
- Silt barrier
- Driveway location
- Stormwater drainage
- Developer retaining



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**SILT FENCE DETAILS**  
 Sediment Control Notes:

All erosion & sediment control measurements including revegetation and storage of soil & top soil, shall be implemented to the standard of the soil conservation of N.S.W.

All drainage works shall be constructed around and stabilized as early as possible during development.

Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trenches.

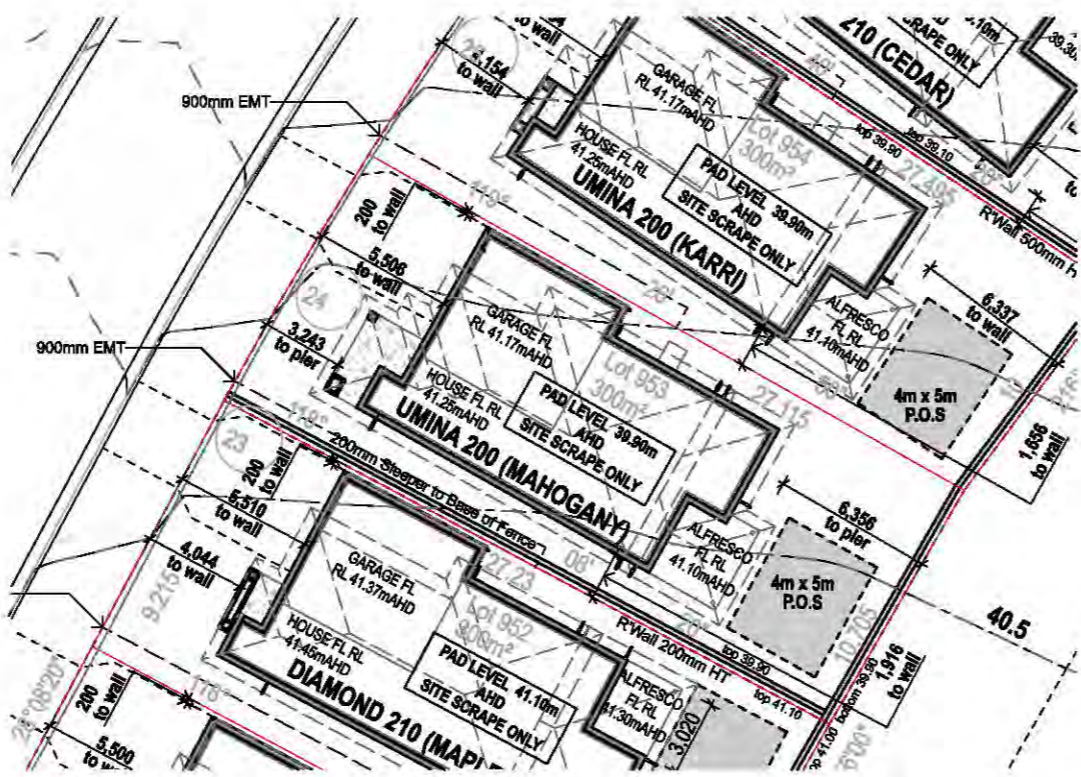
All sediment basins & traps shall be cleared when the structures are a maximum of 60% full of materials, including the maintenance period.

All disturbed areas shall be revegetated as soon as the relevant works are completed.

Soil & topsoil stockpiles shall be located away from drainage lines and area water may concentrate.

Filters shall be constructed by stretching a filter fabric (Propex or approved equivalent between post as 2m centres). Fabric shall be burred 150mm along its lower edge.

**SU-001 Detail Section**  
**Silt Fence Detail\_NSW**  
 SCALE: 1:200



**Plan**  
**Site Plan - Proposed**  
 SCALE: 1:300

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B	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	200.54 m <sup>2</sup>

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client  
**Yuantong Australia Pty Ltd**

project  
**Umina 200 (Mahogany Facade)**  
 Lot 953 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by	checked	
	MSC	MCR/	
drawing name		MBA/	
<b>Site Plan</b>	wind class	JSK	
	TBA	soil class	
project status		TBA	
DA			
real property description	flood level	climate zone	BAL
part of Lot 411 in DP	TBA	TBA	TBA
1230476			
covenant	local authority	parish	county
DA	Box Hill	TBA	TBA
	S.C		
drawing number	scale		rev
<b>A3.2</b>	1:200, 1:300@A3		B



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A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	200.54 m <sup>2</sup>

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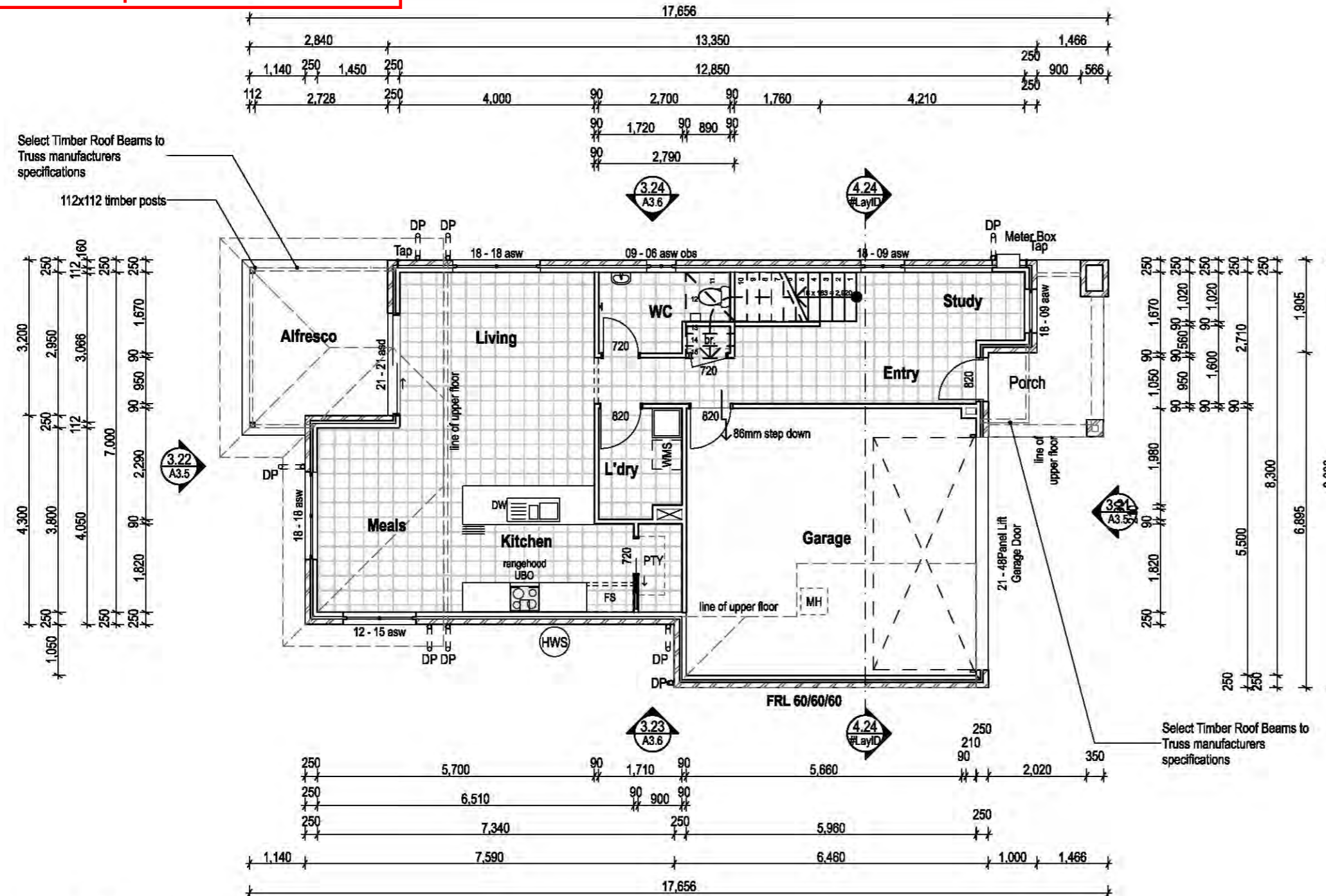


client  
**Yuantong Australia Pty Ltd**

project  
**Umina 200 (Mahogany Facade)**  
Lot 953 New Road Maraylya NSW 2765

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drawing number	drawn by	checked	
	MSC	MCR/	
drawing name		MBA/	
<b>Ground Floor Plan</b>	wind class	JSK	
project status	TBA	soil class	TBA
DA			
real property description	flood level	climate zone	BAL
part of Lot 411 in DP	TBA	TBA	TBA
1230476			
coverant	local authority	parish	county
DA	Box Hill S.C	TBA	TBA
drawing number	scale	rev	
<b>A3.3</b>	1:100@A3	B	



**Plan**  
**Ground Floor Plan - 90mm**  
SCALE: 1:100



**THE HILLS SHIRE COUNCIL**

**APPROVED  
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DA 1468/2019/ZE**

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project

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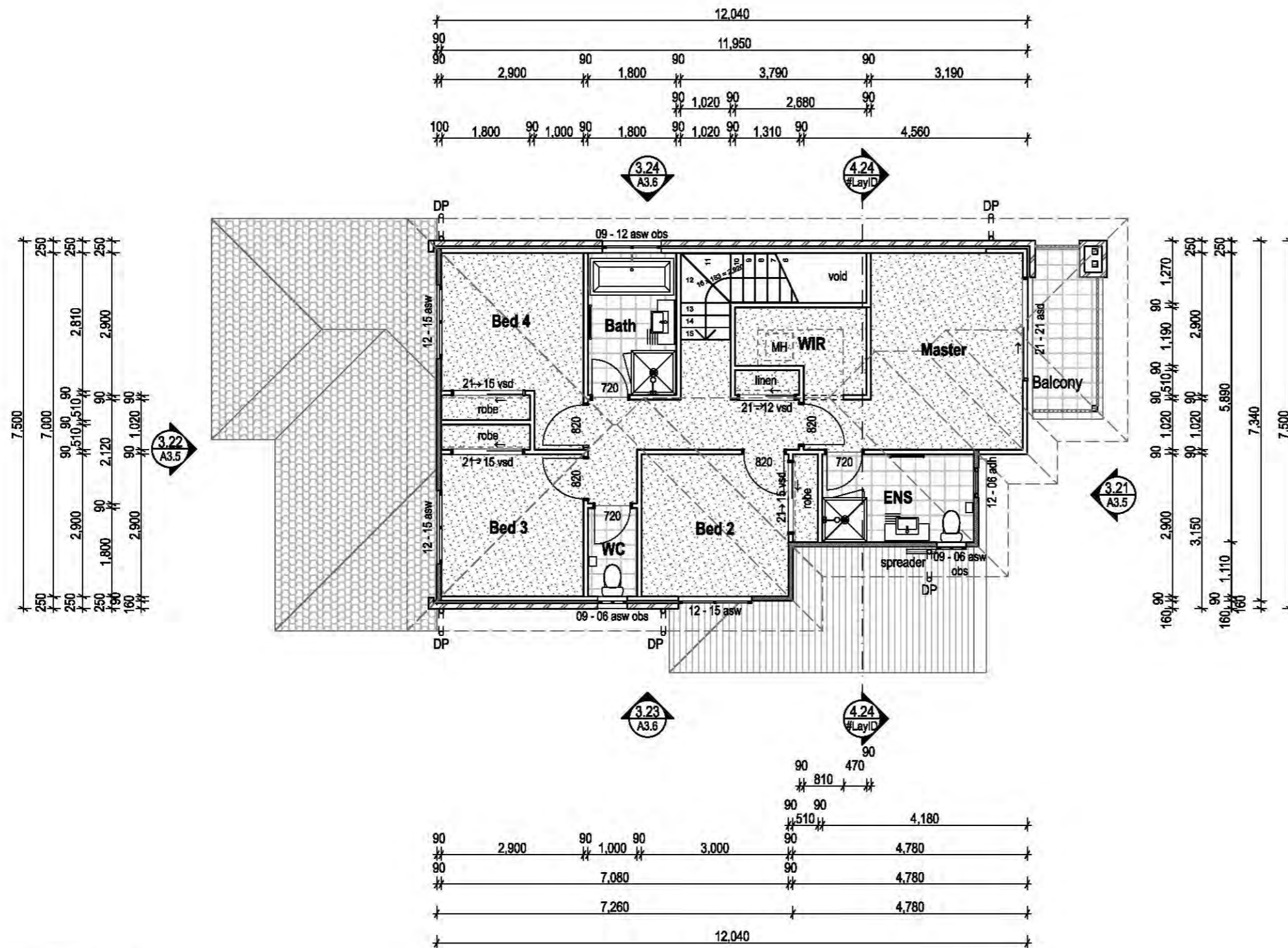
project number	drawn by	checked
	<b>MSC</b>	<b>MCR/</b>
		<b>MBA/</b>
		<b>JSK</b>
		soil class
		<b>TBA</b>

drawing name	wind class
<b>Upper Floor Plan</b>	<b>TBA</b>
project status	soil class
<b>DA</b>	<b>TBA</b>

real property description	flood level	climate zone	BAL
part of Lot 411 in DP	<b>TBA</b>	<b>TBA</b>	<b>TBA</b>
<b>1230476</b>			

covenant	local authority	parish	county
<b>DA</b>	<b>Box Hill</b>	<b>TBA</b>	<b>TBA</b>
	<b>S.C</b>		

drawing number	scale	rev
<b>A3.4</b>	<b>1:100@A3</b>	<b>B</b>



**Plan**  
**Upper Floor Plan - 90mm**  
SCALE: 1:100



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	MSC	MCR/	
drawing name		MBA/	
<b>Elevations 1</b>	wind class	JSK	
project status	TBA	soil class	TBA
DA			
real property description	flood level	climate zone	BAL
part of Lot 411 in DP	TBA	TBA	TBA
1230476			
covenant	local authority	parish	county
DA	Box Hill	TBA	TBA
	S.C		
drawing number	scale	rev	
<b>A3.5</b>	1:100@A3	B	



**3.21 Elevation**  
**Mahogany - West**  
 SCALE: 1:100

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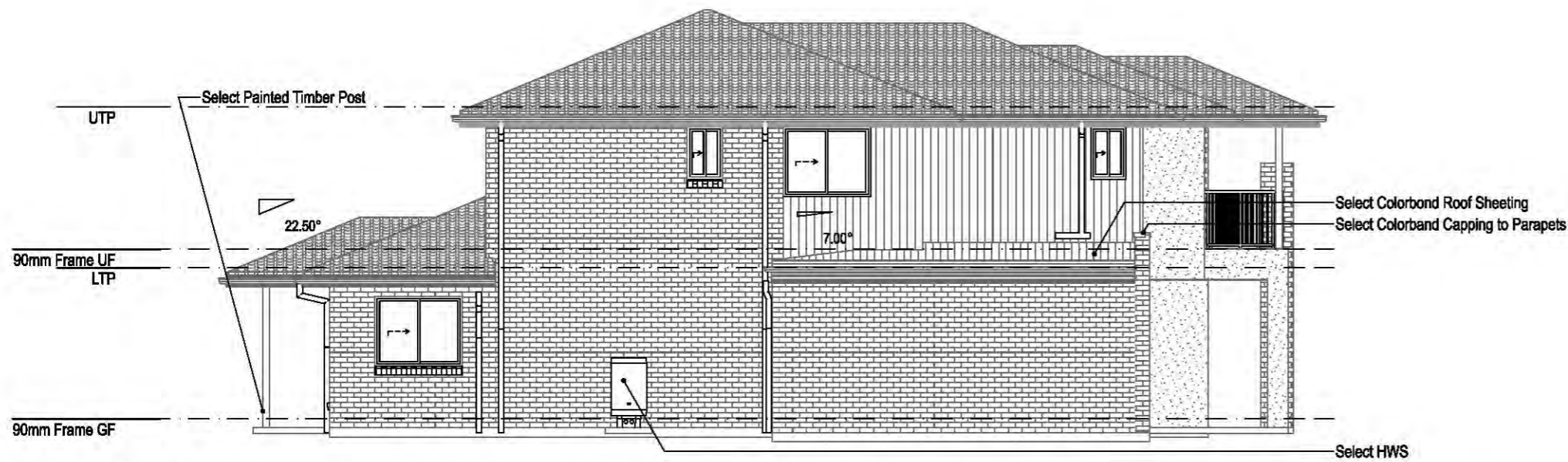
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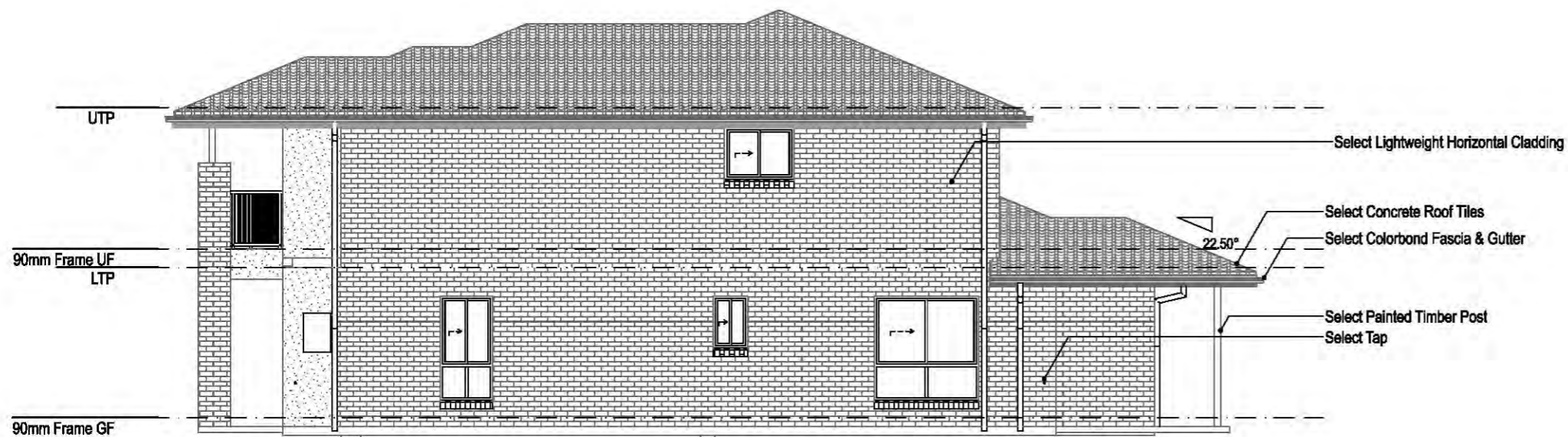


**3.22 Elevation**  
**East**  
 SCALE: 1:100





**3.23 Elevation North**  
SCALE: 1:100



**3.24 Elevation South**  
SCALE: 1:100

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drawing name <b>Elevations 2</b>	wind class <b>TBA</b>	JSK soil class <b>TBA</b>
project status <b>DA</b>		
real property description <b>part of Lot 411 in DP 1230476</b>	flood level <b>TBA</b>	climate zone <b>TBA</b>
covenant <b>DA</b>	local authority <b>Box Hill S.C</b>	parish <b>TBA</b>
drawing number <b>A3.6</b>	scale <b>1:100@A3</b>	county <b>TBA</b>
		rev <b>B</b>



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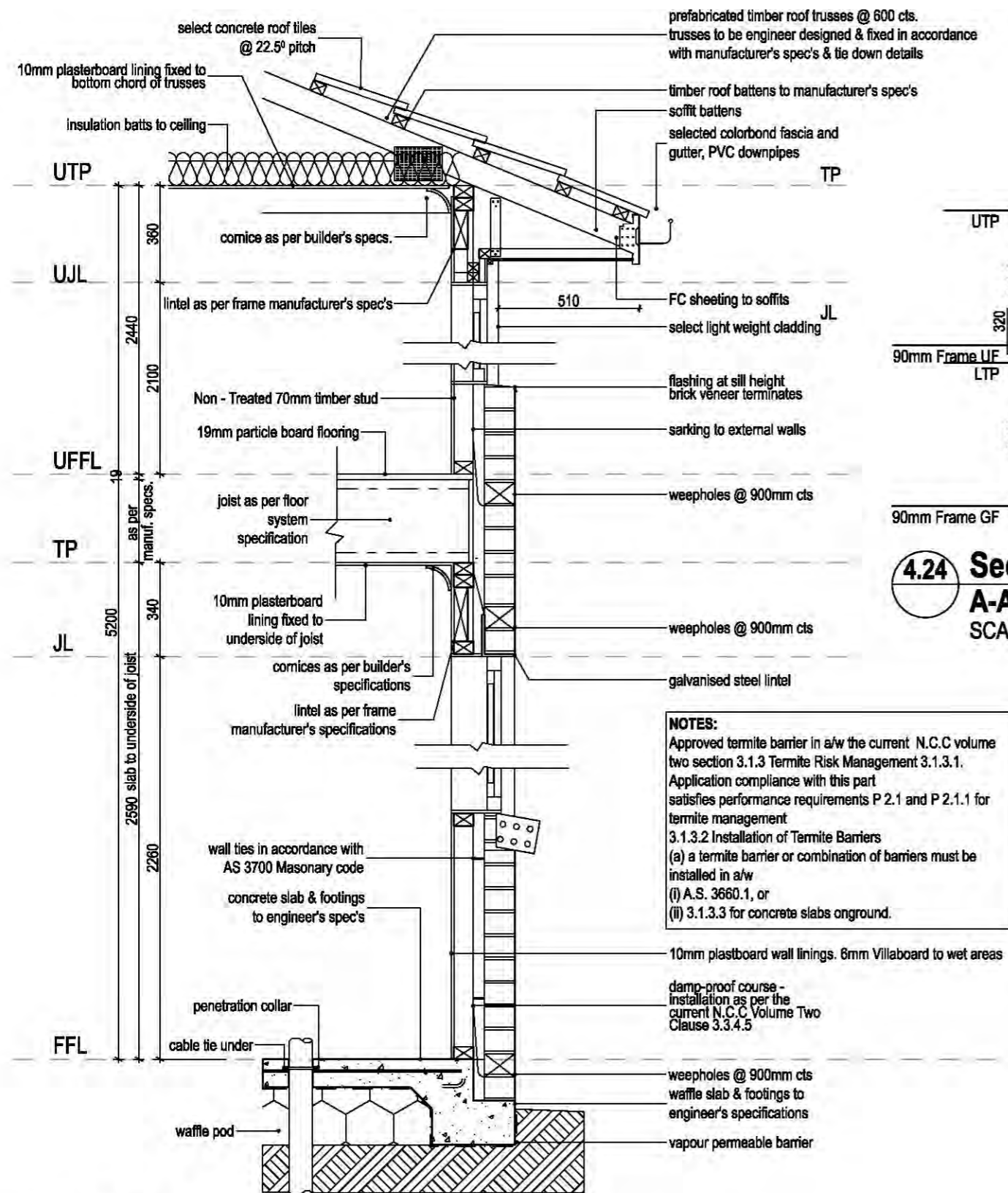
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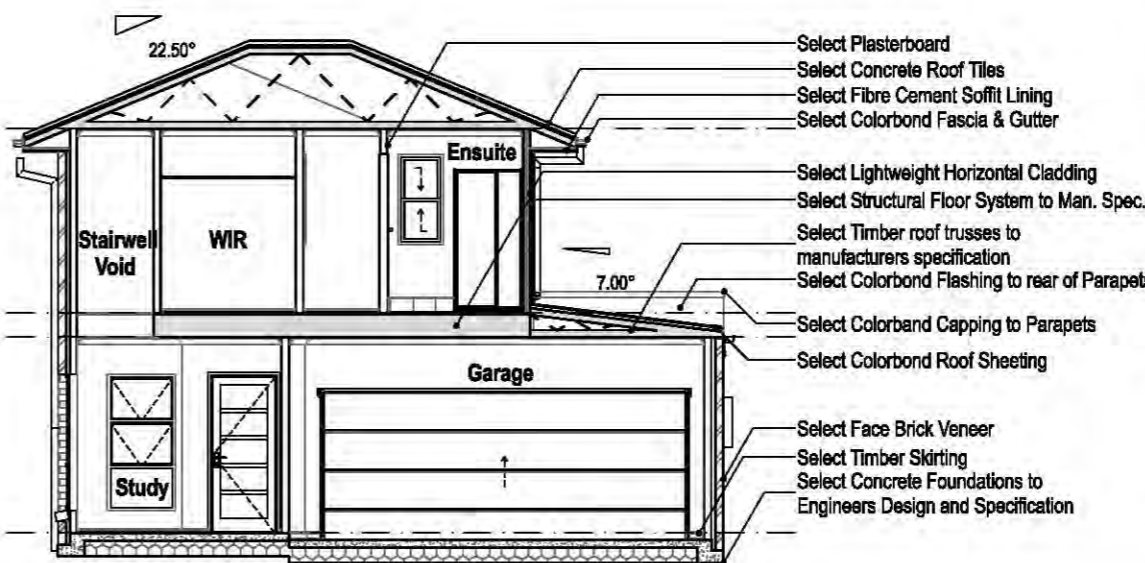
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project number	drawn by <b>MSC</b>	checked <b>MCR/</b>
drawing name <b>Section &amp; Detail</b>	wind class <b>TBA</b>	JSK soil class <b>TBA</b>
project status <b>DA</b>		
real property description <b>part of Lot 411 in DP 1230476</b>	flood level <b>TBA</b>	climate zone <b>TBA</b>
covenant <b>DA</b>	local authority <b>Box Hill S.C</b>	parish <b>TBA</b>
drawing number <b>A3.7</b>	scale <b>1:100, 1:20@A3</b>	rev <b>B</b>



**4.24 Section A-A**  
SCALE: 1:100

**NOTES:**  
Approved termite barrier in a/w the current N.C.C volume two section 3.1.3 Termite Risk Management 3.1.3.1. Application compliance with this part satisfies performance requirements P 2.1 and P 2.1.1 for termite management  
3.1.3.2 Installation of Termite Barriers  
(a) a termite barrier or combination of barriers must be installed in a/w  
(i) A.S. 3660.1, or  
(ii) 3.1.3.3 for concrete slabs onground.



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**EW-036 Detail Section**  
**DS\_BV\_2590-2440TP\_22.5Deg\_TileRoof\_600Truss\_450Eave**  
SCALE: 1:20



# External Colour Scheme

## MANNING

	STANDARD	COMMENTS
<b>COLORBOND ROOF</b>	Custom Orb	Jasper
<b>TILED ROOF</b>	Bristle Classic Range	Bark
	Guttering	Paperbark
	Fascia	Paperbark
	Barge capping (if applicable)	Paperbark
	Dry verge (if applicable)	Paperbark
<b>WINDOWS</b>	Dowell	Paperbark
<b>BRICKS</b>	PGH Naturals	Chocolatto
<b>MORTAR JOINTS</b>	Ironed	Off-white
<b>EAVES</b>		Builders White
<b>MAIN HOUSE COLOUR</b>		Dulux Ceylonese
<b>FEATURE COLOUR</b>		Dulux Light Rice Quarter
<b>ENTRY DOOR</b>		Dulux Paperbark
<b>PVC DOWNPIPES</b>	Over Brick/Main Colour	Dulux Paperbark
	Over Feature Colour	Dulux Paperbark
<b>TIMBER POST</b>	Feature Colour	Dulux Paperbark
<b>LETTERBOX</b>	Main Colour	Dulux Classic Cream
<b>BUNKER LIGHTS</b>		Silver
<b>CLOTHES LINE</b>		Classic Cream
<b>GARAGE DOOR</b>	Flat Line	Jasper
<b>COLOURED CONCRETE</b>		Slate Grey

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Porch	2.28
	200.54 m <sup>2</sup>

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project number	drawn by <b>MSC</b>	checked <b>MCR/ MBA/ JSK</b>	
drawing name <b>External Colours</b>	wind class <b>TBA</b>	soil class <b>TBA</b>	
project status <b>DA</b>			
real property description <b>part of Lot 411 in DP 1230476</b>	flood level <b>TBA</b>	climate zone <b>TBA</b>	BAL <b>TBA</b>
covenant <b>DA</b>	local authority <b>Box Hill S.C</b>	parish <b>TBA</b>	county <b>TBA</b>
drawing number <b>A3.8</b>	scale <b>@A3</b>	rev <b>B</b>	



**SITE DATA**  
 SITE AREA = 300M<sup>2</sup>

**SITE COVERAGE**  
 PERMISSABLE = 55% OR 165M<sup>2</sup>  
 PROVIDED = 40% OR 122.65M<sup>2</sup>

**SOFT LANDSCAPE**  
 Refer to landscape intent plans

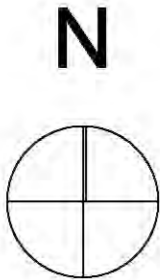
**PRINCIPLE PRIVATE OPEN SPACE**  
 REQUIRED - 20M<sup>2</sup> (5MX4M)  
 PROVIDED - 124.23M<sup>2</sup>

**GENERAL NOTES**

- Stormwater to discharge into designated discharge point to PCA requirements
- Sewer to local authorities requirements.
- All ground lines are to be verified on site by the builder
- Final location of buildings to be verified on-site by a registered surveyor.
- Written dimensions to take precedence over scaling. Any plan discrepancy to be preferred back to design before proceeding.
- Site classification TBA
- house platform to RL 39.90m AHD Approx.
- House floor level RL 41.17m AHD Approx., 310-385mm above platform level, garage level approx. RL 41.25m AHD 310-385mm above platform level

**Legend**

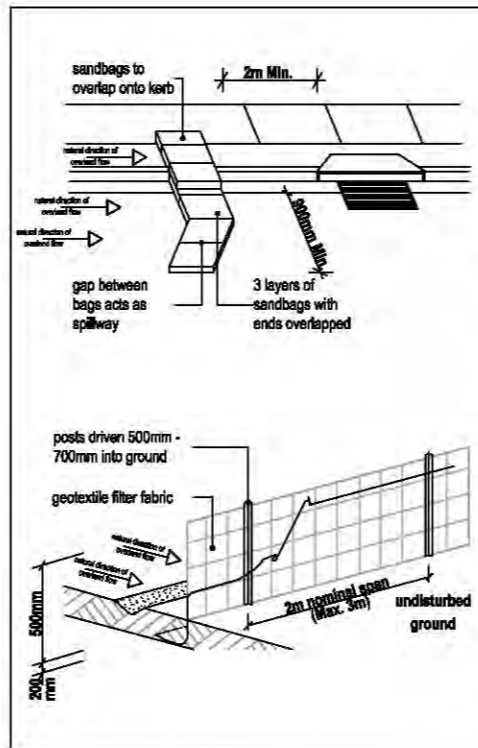
- Silt barrier
- Driveway location
- Stormwater drainage
- Developer retaining



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**SILT FENCE DETAILS**  
 Sediment Control Notes:

All erosion & sediment control measurements including revegetation and storage of soil & top soil, shall be implemented to the standard of the soil conservation of N.S.W.

All drainage works shall be constructed around and stabilized as early as possible during development.

Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trenches.

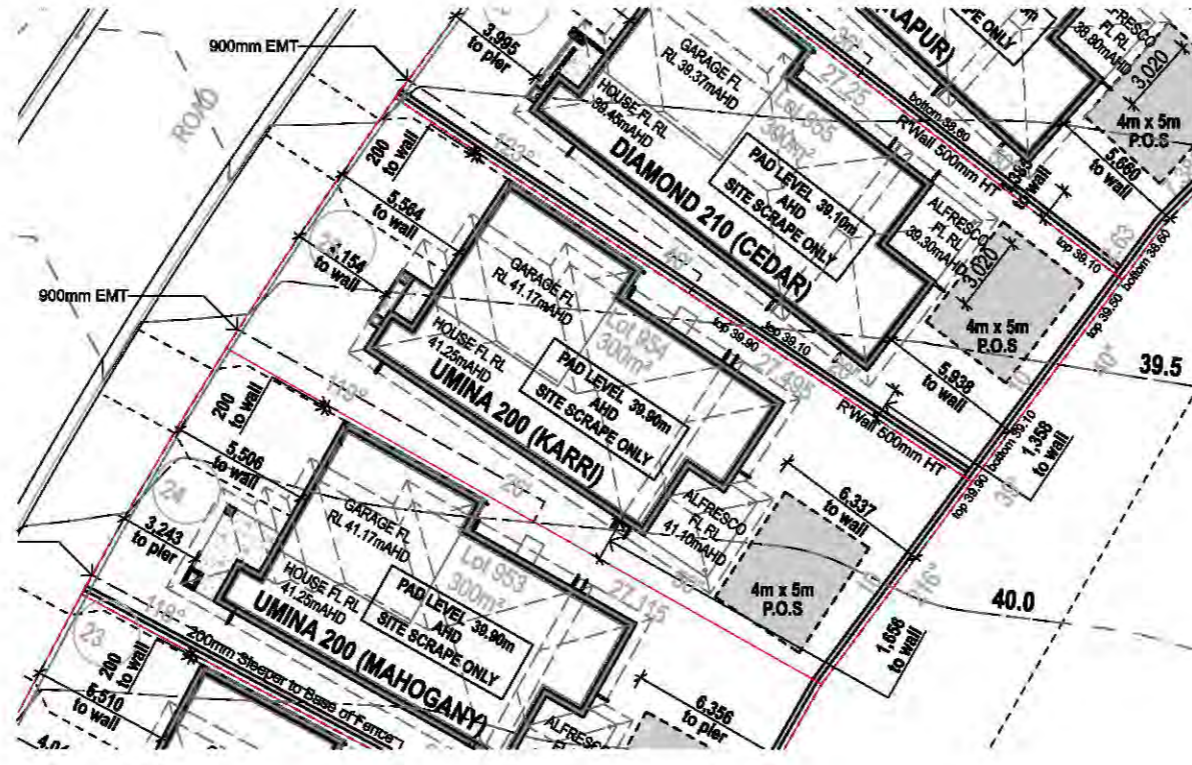
All sediment basins & traps shall be cleared when the structures are a maximum of 60% full of materials, including the maintenance period.

All disturbed areas shall be revegetated as soon as the relevant works are completed.

Soil & topsoil stockpiles shall be located away from drainage lines and area water may concentrate.

Filters shall be constructed by stretching a filter fabric (Propex or approved equivalent between post as 2m centres). Fabric shall be burred 150mm along its lower edge.

**SU-001 Detail Section**  
**Silt Fence Detail\_NSW**  
 SCALE: 1:200



**Plan**  
**Site Plan - Proposed**  
 SCALE: 1:300

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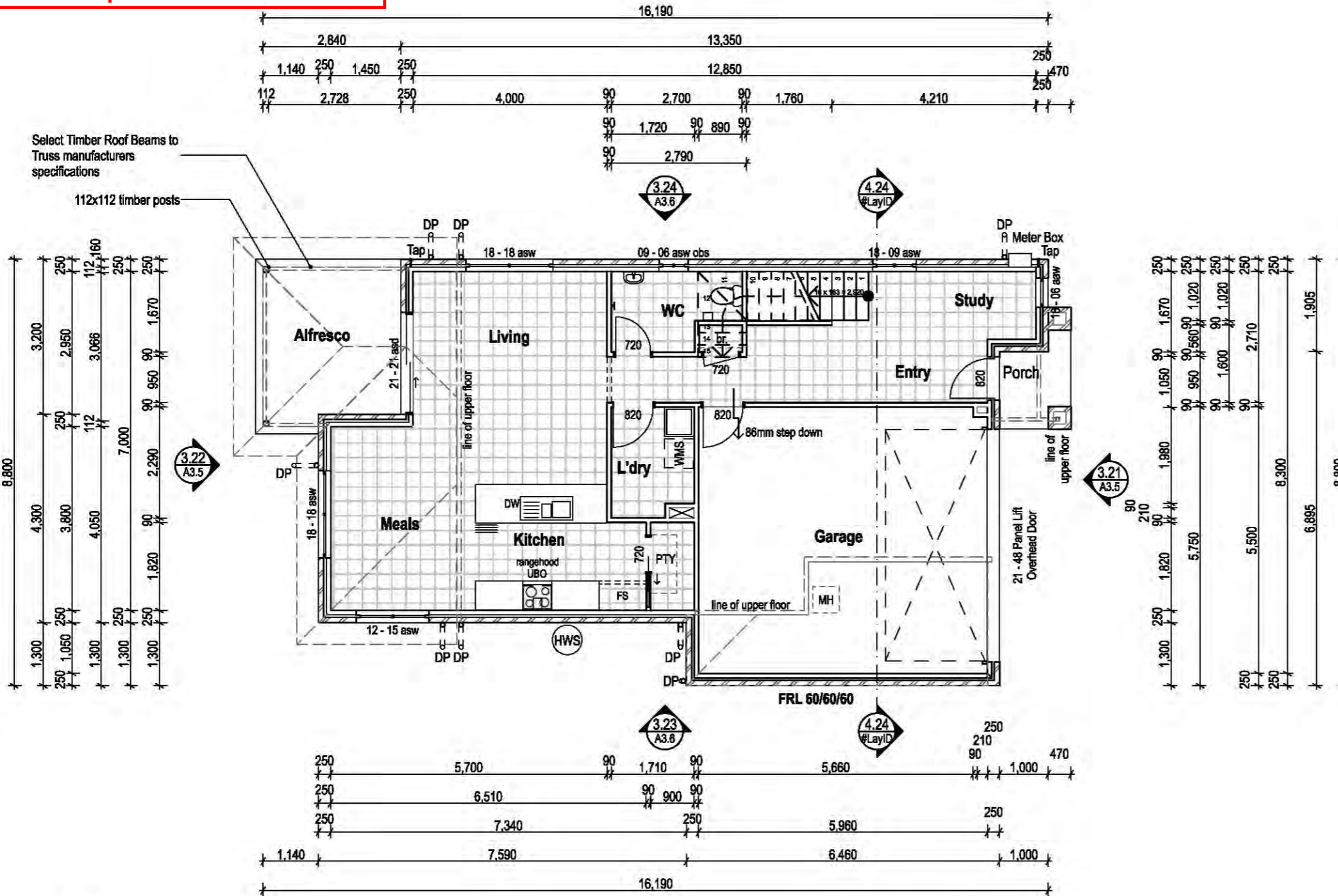
project number	drawn by	checked	
	MSC	MCR/	
drawing name		MBA/	
<b>Site Plan</b>	wind class	JSK	
	TBA	soil class	
project status		TBA	
DA			
real property description	flood level	climate zone	BAL
part of Lot 411 in DP	TBA	TBA	TBA
1230476			
covenant	local authority	parish	county
DA	Box Hill	TBA	TBA
	S.C		
drawing number	scale		rev
<b>A3.2</b>	1:200, 1:300@A3		B



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**Plan**  
**Ground Floor Plan - 90mm**  
SCALE: 1:100

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drawing name <b>Ground Floor Plan</b>	wind class <b>TBA</b>	soil class <b>JSK</b>	
project status <b>DA</b>			
real property description <b>part of Lot 411 in DP 1230476</b>	flood level <b>TBA</b>	climate zone <b>TBA</b>	BAL <b>TBA</b>
covenant <b>DA</b>	local authority <b>Box Hill S.C</b>	parish <b>TBA</b>	county <b>TBA</b>
drawing number <b>A3.3</b>	scale <b>1:100@A3</b>	rev <b>B</b>	



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REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	200.54 m <sup>2</sup>

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w: www.transpiregroup.com.au



client

**Yuantong Australia Pty Ltd**

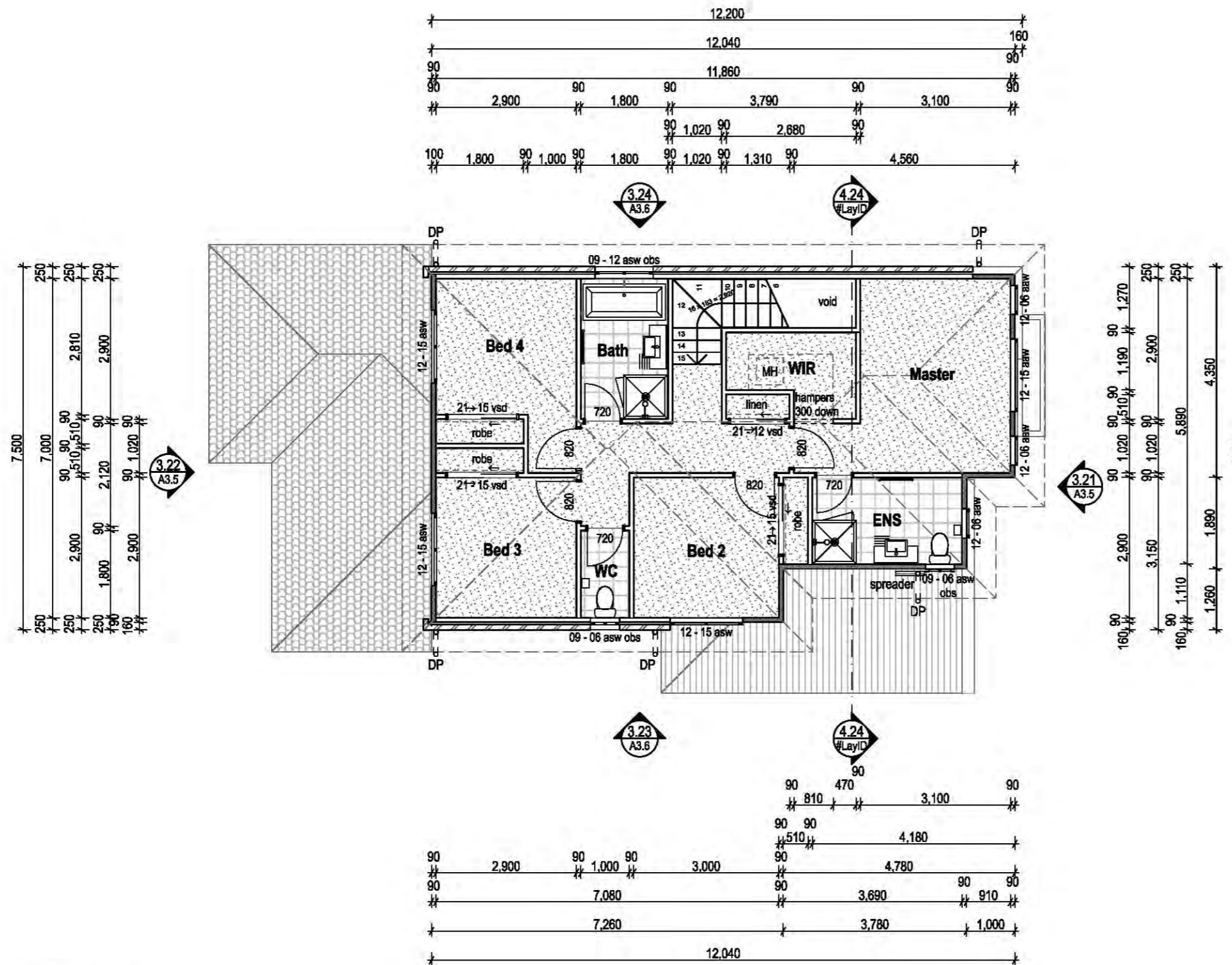
project

**Umina 200 (Karri Facade)**

Lot 954 New Road Maraylya NSW 2765

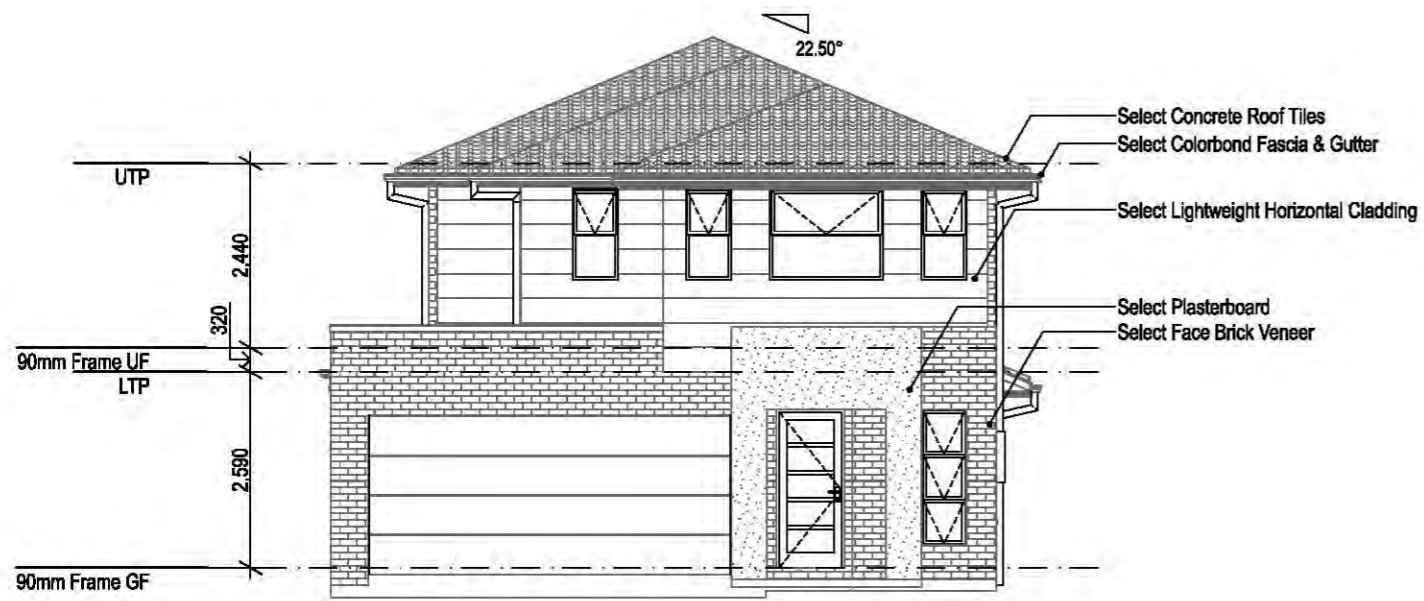
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by	checked	
	MSC	MCR/	
drawing name		MBA/	
<b>Upper Floor Plan</b>	wind class	JSK	
project status	TBA	soil class	TBA
DA			
real property description	flood level	climate zone	BAL
part of Lot 411 in DP	TBA	TBA	TBA
1230476			
covenant	local authority	parish	county
DA	Box Hill	TBA	TBA
	S.C		
drawing number	scale	rev	
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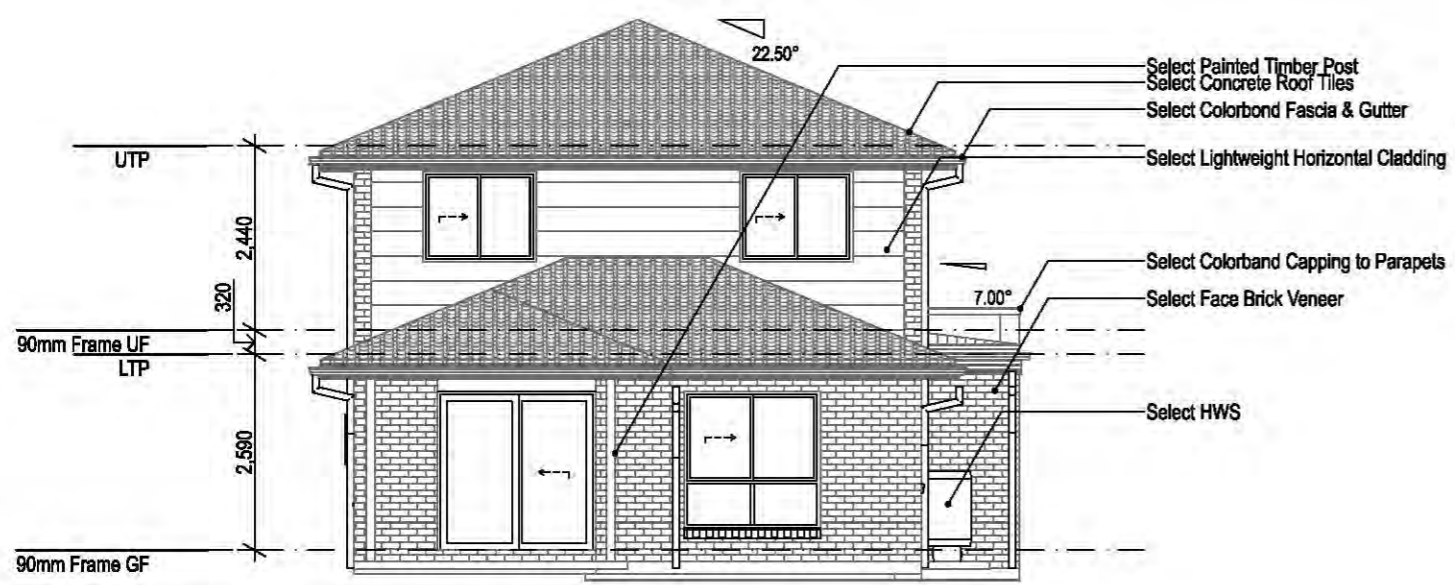


**Plan**  
**Upper Floor Plan - 90mm**  
SCALE: 1:100





**3.21 Elevation**  
**Karri - West**  
 SCALE: 1:100



**3.22 Elevation**  
**East**  
 SCALE: 1:100

**THE HILLS SHIRE COUNCIL**

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**DA 1468/2019/ZE**

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Porch	2.28
	<b>200.54 m<sup>2</sup></b>

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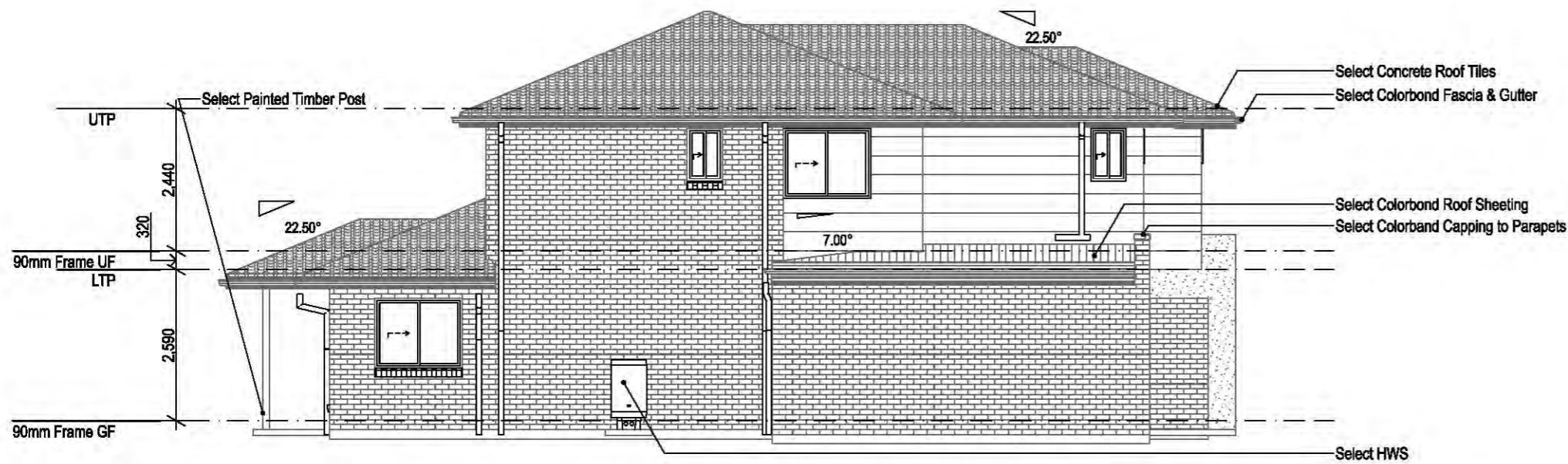
client  
**Yuantong Australia Pty Ltd**

project  
**Umina 200 (Karri Facade)**  
 Lot 954 New Road Maraylya NSW 2765

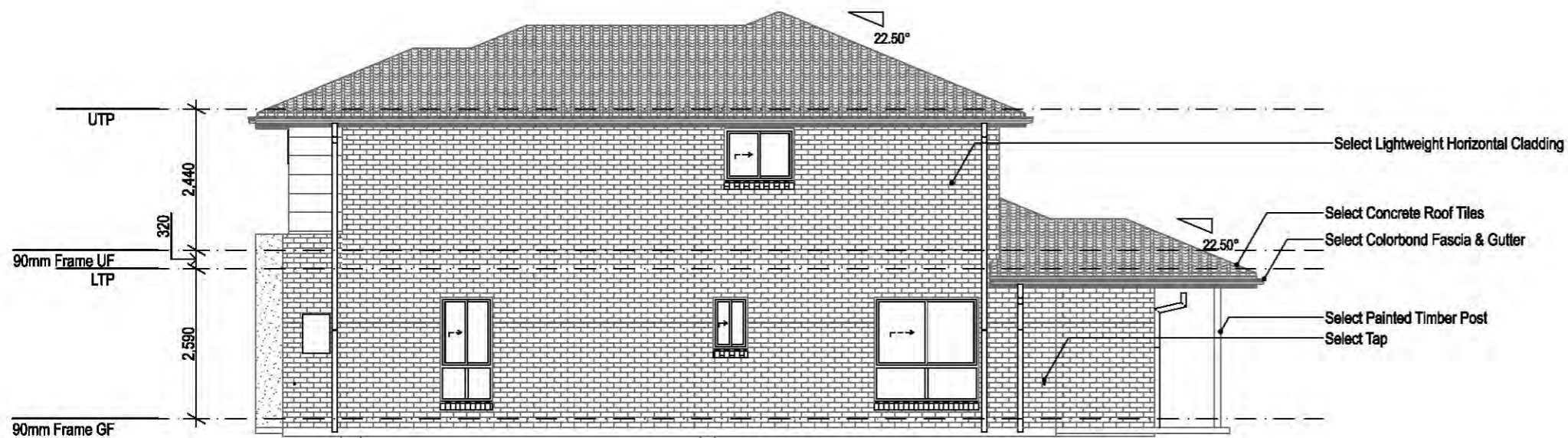
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project number	drawn by <b>MSC</b>	checked <b>MCR/</b> <b>MBA/</b> <b>JSK</b>
drawing name <b>Elevations 1</b>	wind class <b>TBA</b>	soil class <b>TBA</b>
project status <b>DA</b>		
real property description <b>part of Lot 411 in DP</b> <b>1230476</b>	flood level <b>TBA</b>	climate zone <b>TBA</b>
covenant <b>DA</b>	local authority <b>Box Hill</b> <b>S.C</b>	parish <b>TBA</b>
drawing number <b>A3.5</b>	scale <b>1:100@A3</b>	county <b>TBA</b>
		rev <b>B</b>





**3.23 Elevation North**  
SCALE: 1:100



**3.24 Elevation South**  
SCALE: 1:100

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House Upper	77.89
Porch	2.28
	<b>200.54 m<sup>2</sup></b>

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**Yuantong Australia Pty Ltd**

project  
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Lot 954 New Road Maraylya NSW 2765

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project number	drawn by <b>MSC</b>	checked <b>MCR/</b>
drawing name <b>Elevations 2</b>	wind class <b>TBA</b>	JSK soil class <b>TBA</b>
project status <b>DA</b>		
real property description <b>part of Lot 411 in DP 1230476</b>	flood level <b>TBA</b>	climate zone <b>TBA</b>
county <b>TBA</b>		
covenant <b>DA</b>	local authority <b>Box Hill S.C</b>	parish <b>TBA</b>
county <b>TBA</b>		
drawing number <b>A3.6</b>	scale <b>1:100@A3</b>	rev <b>B</b>



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	200.54 m <sup>2</sup>

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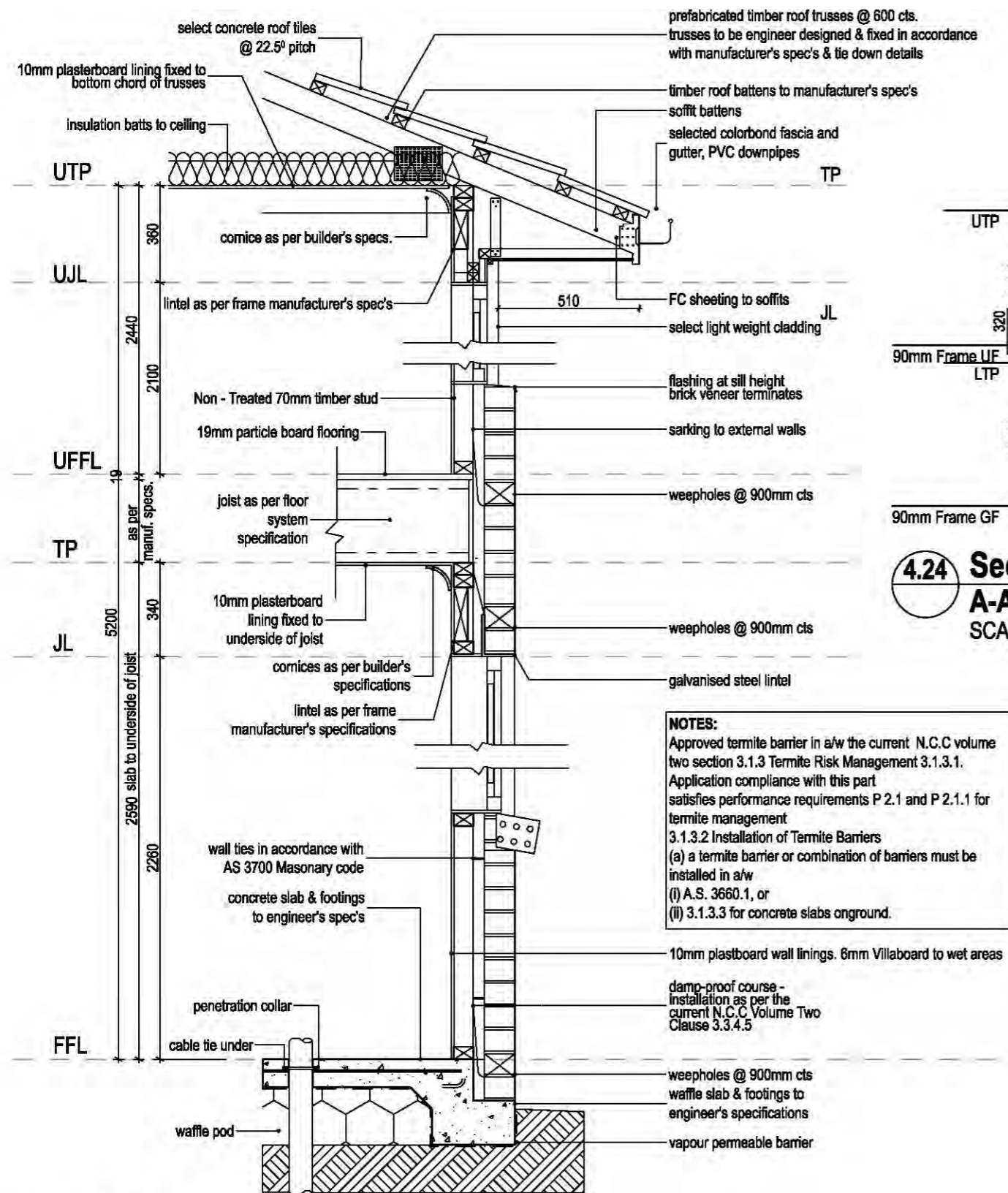
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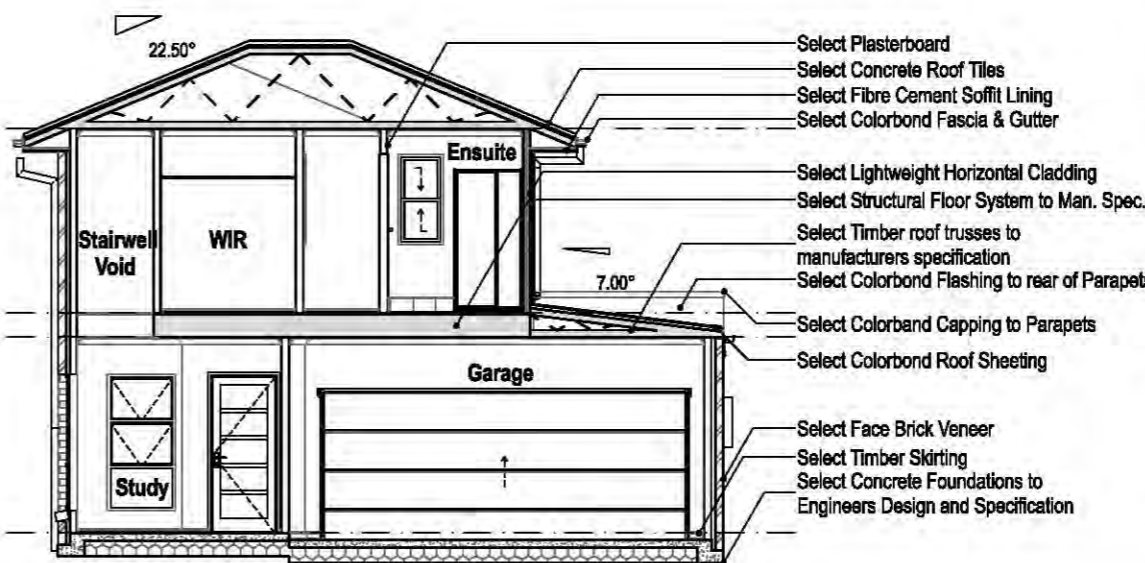
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project number	drawn by <b>MSC</b>	checked <b>MCR/</b>
drawing name <b>Section &amp; Detail</b>	wind class <b>TBA</b>	JSK soil class <b>TBA</b>
project status <b>DA</b>		
real property description <b>part of Lot 411 in DP 1230476</b>	flood level <b>TBA</b>	climate zone <b>TBA</b>
covenant <b>DA</b>	local authority <b>Box Hill S.C</b>	parish <b>TBA</b>
drawing number <b>A3.7</b>	scale <b>1:100, 1:20@A3</b>	rev <b>B</b>



**4.24 Section A-A**  
 SCALE: 1:100

**NOTES:**  
 Approved termite barrier in a/w the current N.C.C volume two section 3.1.3 Termite Risk Management 3.1.3.1. Application compliance with this part satisfies performance requirements P 2.1 and P 2.1.1 for termite management  
 3.1.3.2 Installation of Termite Barriers  
 (a) a termite barrier or combination of barriers must be installed in a/w  
 (i) A.S. 3660.1, or  
 (ii) 3.1.3.3 for concrete slabs onground.



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**EW-036 Detail Section**  
**DS\_BV\_2590-2440TP\_22.5Deg\_TileRoof\_600Truss\_450Eave**  
 SCALE: 1:20



# External Colour Scheme

## COOPER

	STANDARD	COMMENTS
<b>COLORBOND ROOF</b>	Custom Orb	Woodland Grey
<b>TILED ROOF</b>	Bristle Classic Range	Gun Metal
	Guttering	Woodland Grey
	Fascia	Woodland Grey
	Barge capping (if applicable)	Woodland Grey
	Dry verge (if applicable)	Woodland Grey
<b>WINDOWS</b>	Dowell	Paperbark
<b>BRICKS</b>	PGH Velour	Brown
<b>MORTAR JOINTS</b>	Ironed	Off-white
<b>EAVES</b>		Builders White
<b>MAIN HOUSE COLOUR</b>		Dulux Hog Bristle
<b>FEATURE COLOUR</b>		Dulux Paperbark
<b>ENTRY DOOR</b>		Dulux Brown Leaf
<b>PVC DOWNPIPES</b>	Over Brick/Main Colour	Dulux Paperbark
	Over Feature Colour	Dulux Paperbark
<b>TIMBER POST</b>	Feature Colour	Dulux Brown Leaf
<b>LETTERBOX</b>	Main Colour	Dulux Paperbark
<b>BUNKER LIGHTS</b>		Silver
<b>CLOTHES LINE</b>		Classic Cream
<b>GARAGE DOOR</b>	Flat Line	Terrain
<b>COLOURED CONCRETE</b>		Chocolate

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House Upper	77.89
Porch	2.28
	200.54 m <sup>2</sup>

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client  
**Yuantong Australia Pty Ltd**

project  
**Umina 200 (Karri Facade)**  
Lot 954 New Road Maraylya NSW 2765

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project number	drawn by <b>MSC</b>	checked <b>MCR/ MBA/ JSK</b>
drawing name <b>External Colours</b>	wind class <b>TBA</b>	soil class <b>TBA</b>
project status <b>DA</b>		
real property description <b>part of Lot 411 in DP 1230476</b>	flood level <b>TBA</b>	climate zone <b>TBA</b>
covenant <b>DA</b>	local authority <b>Box Hill S.C</b>	county <b>TBA</b>
drawing number <b>A3.8</b>	scale <b>@A3</b>	rev <b>B</b>



**SITE DATA**  
 SITE AREA = 300M<sup>2</sup>

**SITE COVERAGE**  
 PERMISSABLE = 55% OR 165M<sup>2</sup>  
 PROVIDED = 44.22% OR 132.66M<sup>2</sup>

**SOFT LANDSCAPE**  
 Refer to landscape intent plans

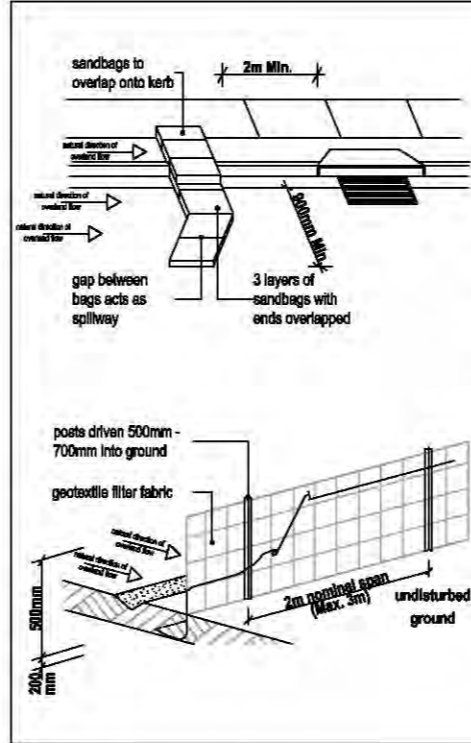
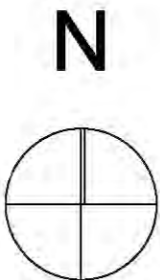
**PRINCIPLE PRIVATE OPEN SPACE**  
 REQUIRED - 20M<sup>2</sup> (5MX4M)  
 PROVIDED - 112.6M<sup>2</sup>

**GENERAL NOTES**

- Stormwater to discharge into designated discharge point to PCA requirements
- Sewer to local authorities requirements.
- All ground lines are to be verified on site by the builder
- Final location of buildings to be verified on-site by a registered surveyor.
- Written dimensions to take precedence over scaling. Any plan discrepancy to be preferred back to design before proceeding.
- Site classification TBA
- house platform to RL 39.10m AHD Approx.
- House floor level RL 39.45m AHD Approx., 310-385mm above platform level, garage level approx. RL 39.37m AHD 310-385mm above platform level

**Legend**

- Silt barrier
- Driveway location
- Stormwater drainage
- Developer retaining



**SILT FENCE DETAILS**  
 Sediment Control Notes:

All erosion & sediment control measurements including revegetation and storage of soil & top soil, shall be implemented to the standard of the soil conservation of N.S.W.

All drainage works shall be constructed around and stabilized as early as possible during development.

Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trenches.

All sediment basins & traps shall be cleared when the structures are a maximum of 60% full of materials, including the maintenance period.

All disturbed areas shall be revegetated as soon as the relevant works are completed.

Soil & topsoil stockpiles shall be located away from drainage lines and area water may concentrate.

Filters shall be constructed by stretching a filter fabric (Propex or approved equivalent between post as 2m centres). Fabric shall be burred 150mm along its lower edge.

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Porch	2.55
	209.72 m <sup>2</sup>

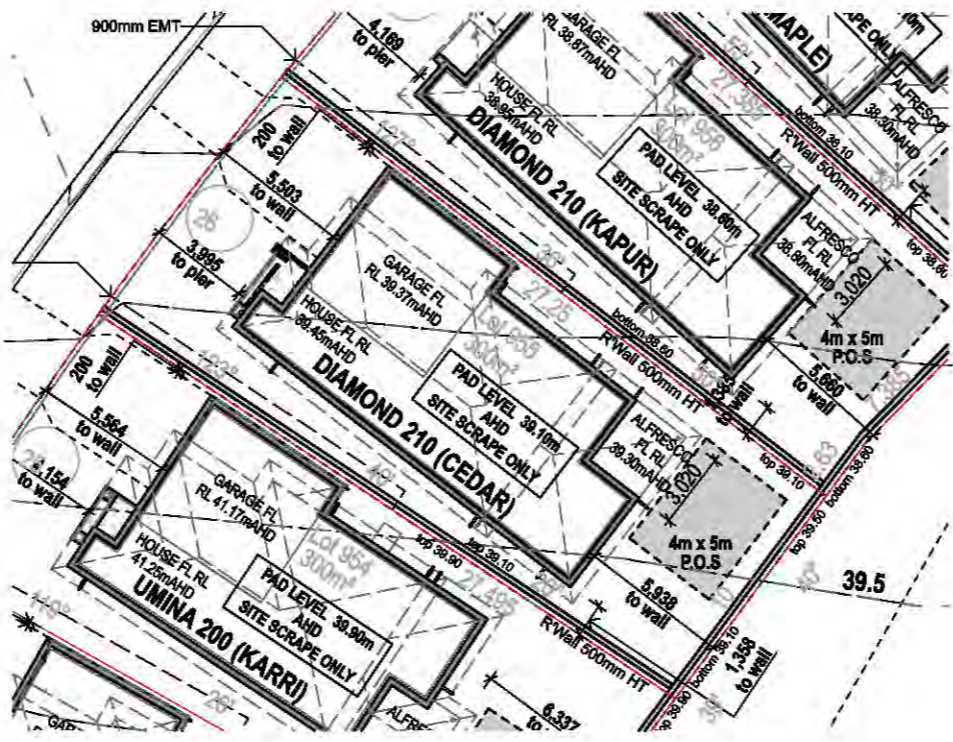
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**SU-001** Detail Section  
**Silt Fence Detail\_NSW**  
 SCALE: 1:200

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**Plan**  
**Site Plan - Proposed**  
 SCALE: 1:300



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client  
**Yuantong Australia Pty Ltd**

project  
**Diamond 210 (Cedar Facade)**  
 Lot 955 New Road Maraylya NSW 2765

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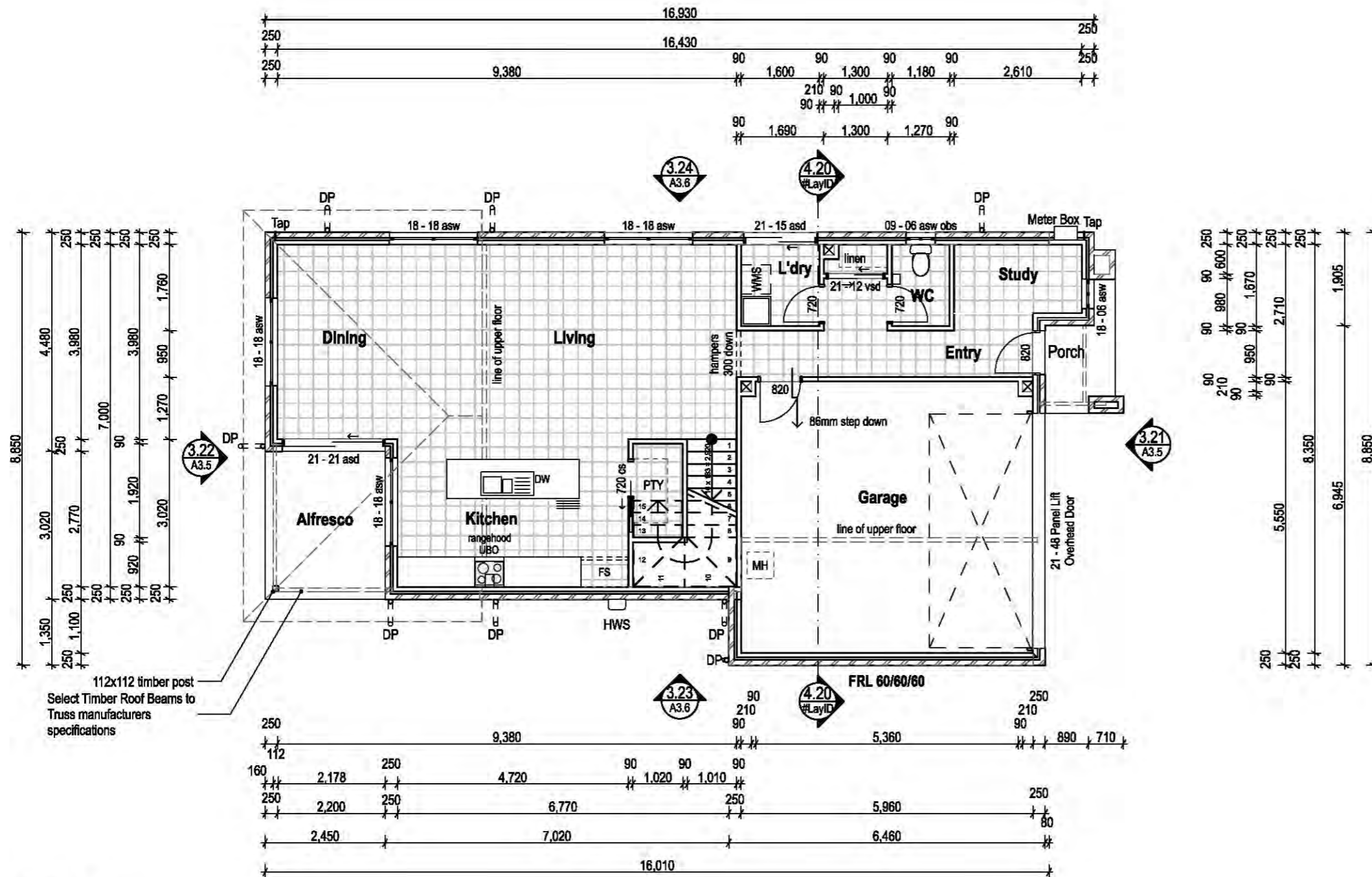
project number	drawn by	checked	
	MSC	MCR/	
drawing name		MBA/	
<b>Site Plan</b>	wind class	JSK	
	TBA	soil class	
project status		TBA	
DA			
real property description	food level	climate zone	BAL
part of Lot 411 In DP	TBA	TBA	TBA
1230476			
covenant	local authority	parish	county
DA	Box Hill	TBA	TBA
	S.C		
drawing number	scale		rev
<b>A3.2</b>	1:200, 1:300@A3		<b>B</b>



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**Plan**  
**Ground Floor Plan**  
SCALE: 1:100

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project number	drawn by	checked	
	MSC	MCR/	
drawing name		MBA/	
<b>Ground Floor Plan</b>	wind class	JSK	
project status	TBA	soil class	TBA
DA			
real property description	food level	climate zone	BAL
part of Lot 411 In DP	TBA	TBA	TBA
1230476			
covenant	local authority	parish	county
DA	Box Hill	TBA	TBA
	S.C		
drawing number	scale	rev	
<b>A3.3</b>	1:100@A3	B	



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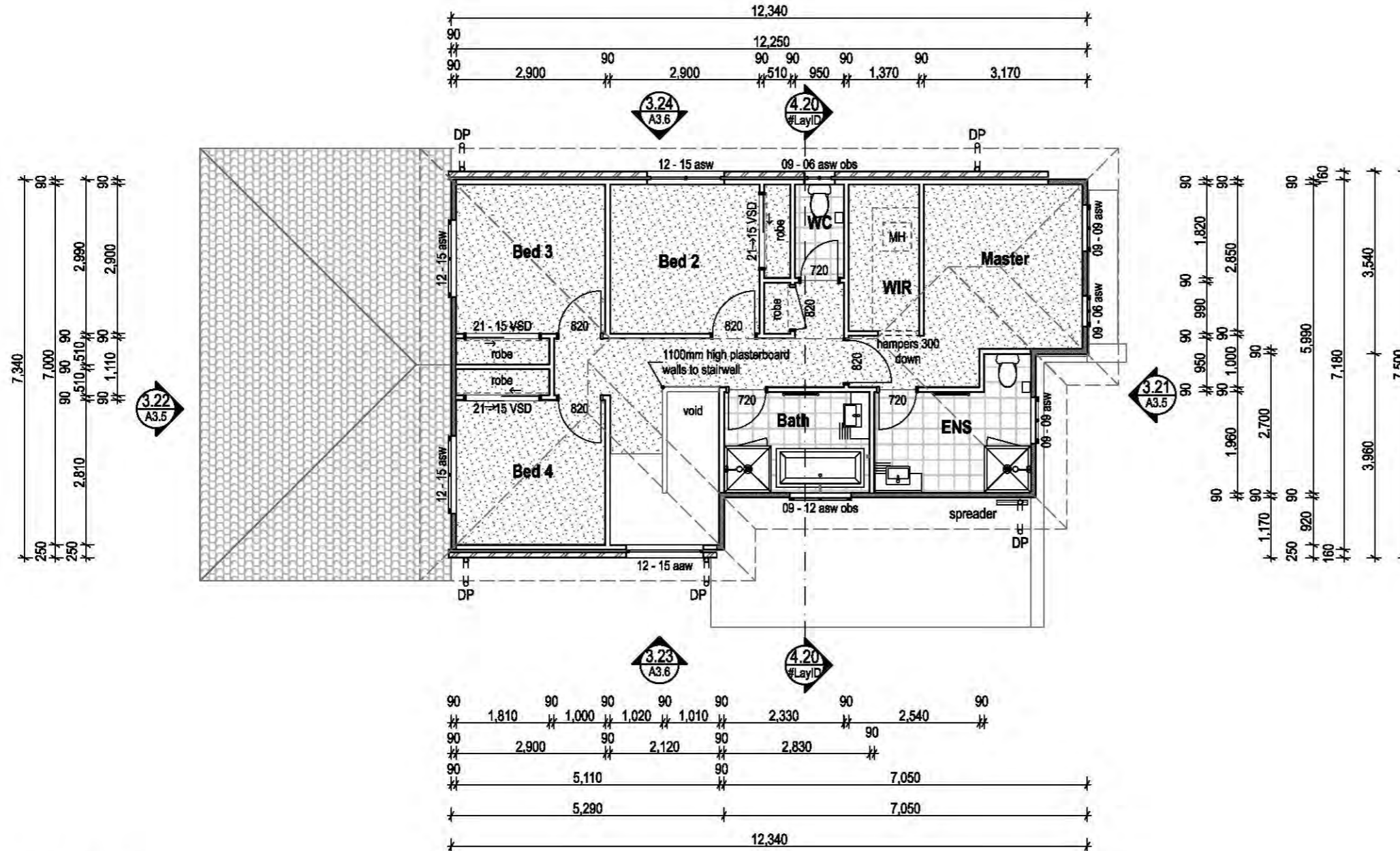


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project number	drawn by	checked	
	MSC	MCR/	
drawing name	wind class	JSK	
<b>Upper Floor Plan</b>	TBA	soil class	TBA
project status			
DA			
real property description	floor level	climate zone	BAL
part of Lot 411 In DP 1230476	TBA	TBA	TBA
covenant	local authority	parish	county
DA	Box Hill S.C	TBA	TBA
drawing number	scale		rev
<b>A3.4</b>	1:100@A3		<b>B</b>



**Plan**  
**Upper Floor Plan**  
SCALE: 1:100





**Elevation**  
Cedar - West  
SCALE: 1:100

**NOTE:**  
450mm EAVE (610MM TO FRAME) UNO

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B	Site plans amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

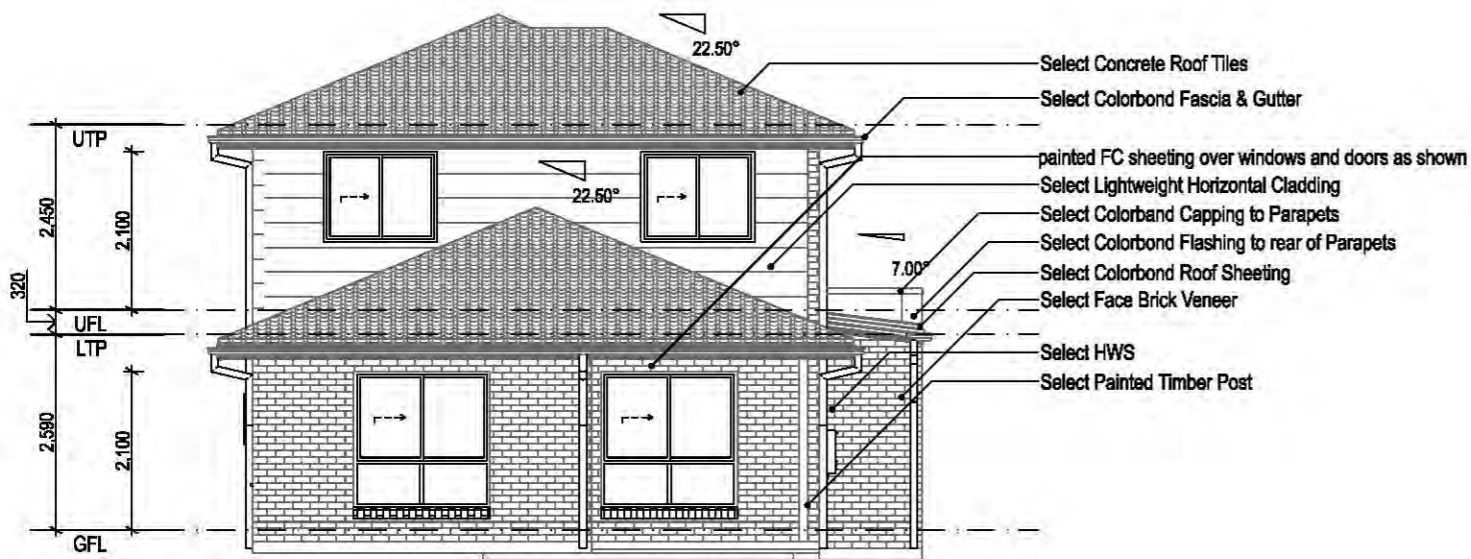
Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

**THE HILLS SHIRE COUNCIL**

**APPROVED**  
**DEVELOPMENT CONSENT**  
**DA 1468/2019/ZE**

**Please refer to conditions of Development Consent for details of matters which must be complied with.**

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**Elevation**  
East  
SCALE: 1:100



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client  
**Yuantong Australia Pty Ltd**

project  
**Diamond 210 (Cedar Facade)**  
Lot 955 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by MSC	checked MCR/ MBA/ JSK
drawing name <b>Elevations 1</b>	wind class TBA	soil class TBA
project status DA		
real property description part of Lot 411 In DP 1230476	food level TBA	climate zone TBA
covenant DA	local authority Box Hill S.C	county TBA
drawing number <b>A3.5</b>	scale 1:100@A3	rev B



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B	Site plans amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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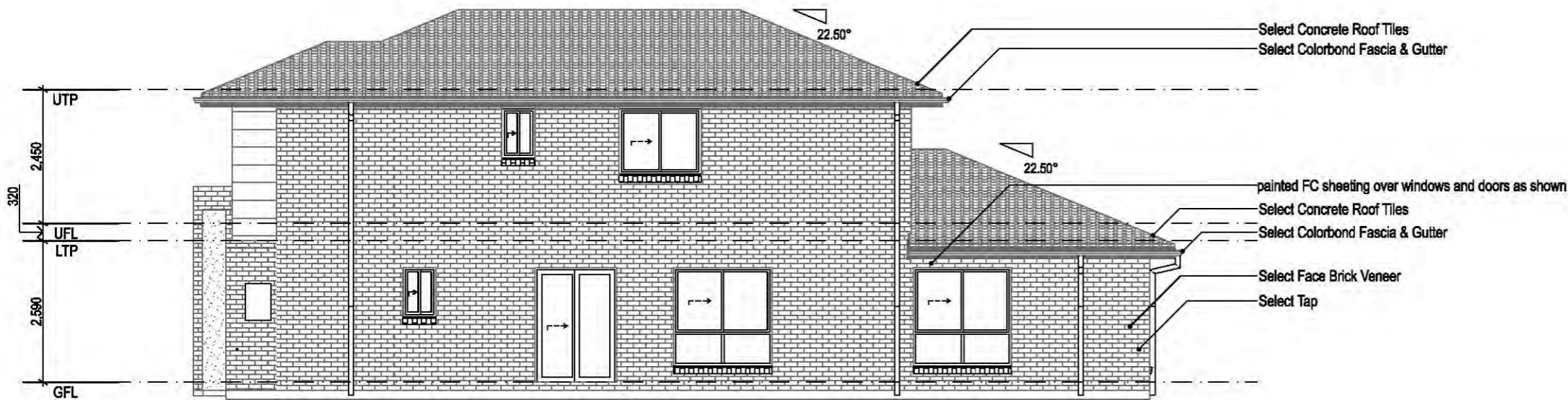
project  
**Diamond 210 (Cedar Facade)**  
 Lot 955 New Road Maraylya NSW 2765

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project number	drawn by MSC	checked MCR/ MBA/ JSK	soil class TBA
drawing name <b>Elevations 2</b>	project status DA	wind class TBA	soil class TBA
real property description part of Lot 411 In DP 1230476	floor level TBA	climate zone TBA	BAL TBA
covenant DA	local authority Box Hill S.C	parish TBA	county TBA
drawing number <b>A3.6</b>	scale 1:100@A3	rev B	



**Elevation North**  
 SCALE: 1:100



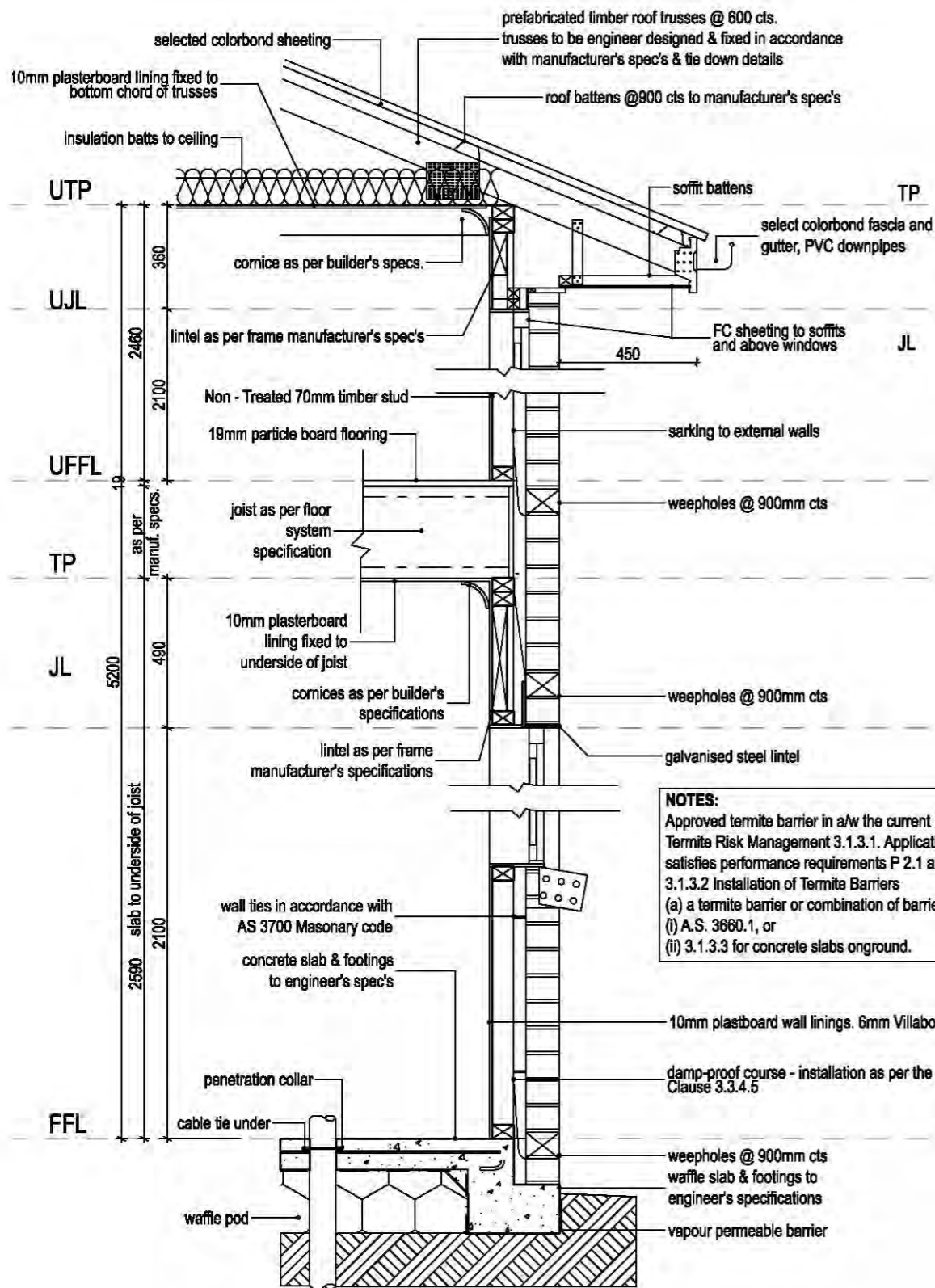
**Elevation North**  
 SCALE: 1:100

**THE HILLS SHIRE COUNCIL**

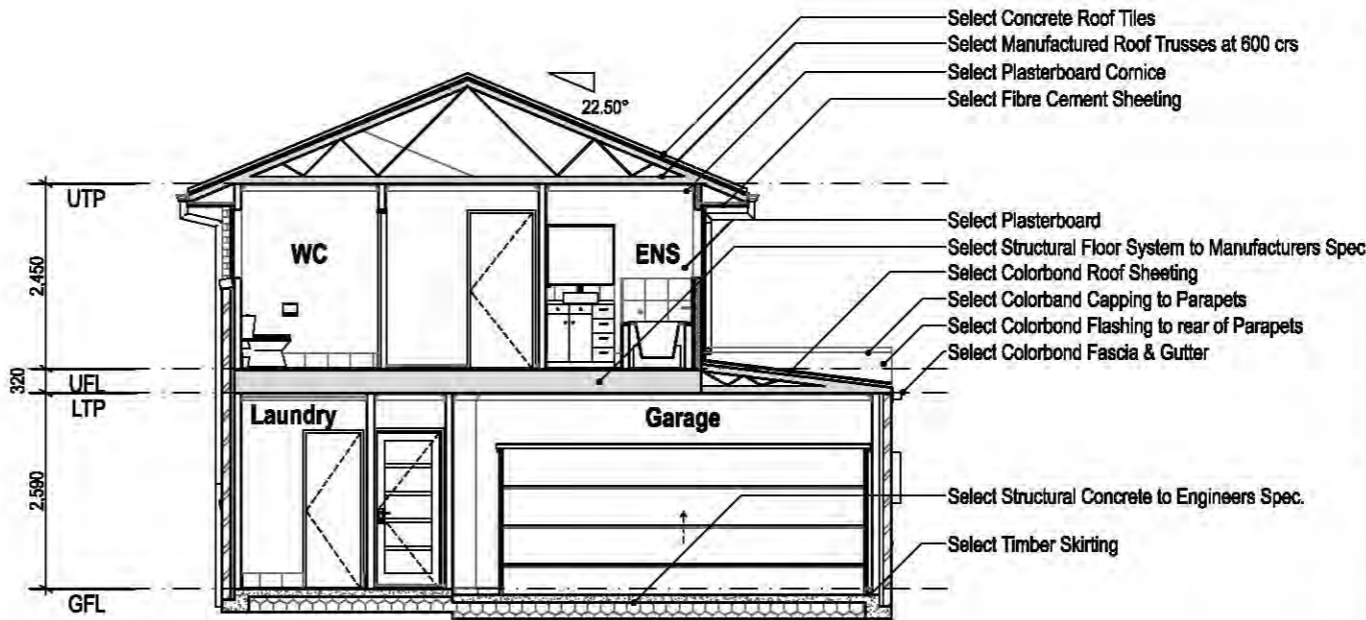
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**NOTES:**  
 Approved termite barrier in a/w the current N.C.C volume two section 3.1.3 Termite Risk Management 3.1.3.1. Application compliance with this part satisfies performance requirements P 2.1 and P 2.1.1 for termite management 3.1.3.2 Installation of Termite Barriers  
 (a) a termite barrier or combination of barriers must be installed in a/w  
 (i) A.S. 3660.1, or  
 (ii) 3.1.3.3 for concrete slabs onground.



**Section A-A**  
 SCALE: 1:100

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A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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client  
**Yuantong Australia Pty Ltd**

project  
**Diamond 210 (Cedar Facade)**  
 Lot 955 New Road Maraylya NSW 2765

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project number	drawn by	checked	
	MSC	MCR/	
drawing name		MBA/	
<b>Section and Detail</b>	wind class	JSK	
project status	TBA	soil class	TBA
DA			
real property description	food level	climate zone	BAL
part of Lot 411 In DP	TBA	TBA	TBA
1230476			
covenant	local authority	parish	county
DA	Box Hill	TBA	TBA
	S.C		
drawing number	scale		rev
<b>A3.7</b>	1:100, 1:20@A3		<b>B</b>

**EW-010 Detail Section**  
 DS\_BV\_2590-2460TP\_22.5Deg\_SheetRoof\_600Truss\_450Eave  
 SCALE: 1:20

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# External Colour Scheme -NSW MURRAY

	STANDARD	COMMENTS
<b>COLORBOND ROOF</b>	Colorbond Custom Orb	Evening Haze
<b>TILED ROOF</b>	Bristle Classic Range	Pebble
	Guttering	Evening Haze
	Fascia	Evening Haze
	Barge capping (if applicable)	Evening Haze
	Dry verge (if applicable)	Evening Haze
<b>WINDOWS</b>	Dowell	Monument
<b>BRICKS</b>	PGH Alfresco	Truffle
<b>MORTAR JOINTS</b>	Ironed	Off-white
<b>EAVES</b>		Builders White
<b>MAIN HOUSE COLOUR</b>		Dulux Self-Destruct
<b>FEATURE COLOUR</b>		Dulux Irrigation
<b>ENTRY DOOR</b>		Dulux Irrigation
<b>PVC DOWNPIPES</b>	Over Brick/Main Colour	Dulux Self-Destruct
	Over Feature Colour	Dulux Irrigation
<b>TIMBER POST</b>	Feature Colour	Dulux Gully
<b>LETTERBOX</b>	Main Colour	Dulux Self-Destruct
<b>BUNKER LIGHTS</b>		Silver
<b>CLOTHES LINE</b>		Bark
<b>GARAGE DOOR</b>	Flat Line	Gully
<b>COLOURED CONCRETE</b>		Granite

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A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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client  
**Yuantong Australia Pty Ltd**

project  
**Diamond 210 (Cedar Facade)**  
Lot 955 New Road Maraylya NSW 2765

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project number	drawn by MSC	checked MCR/ MBA/ JSK
drawing name <b>External Colours</b>	wind class TBA	soil class TBA
project status DA		
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA
covenant DA	local authority Box Hill S.C	county TBA
drawing number <b>A3.8</b>	scale @A3	rev B



**SITE DATA**  
 SITE AREA = 300M<sup>2</sup>

**SITE COVERAGE**  
 PERMISSIBLE = 55% OR 165M<sup>2</sup>  
 PROVIDED = 44.22% OR 132.66M<sup>2</sup>

**SOFT LANDSCAPE**  
 Refer to landscape intent plans

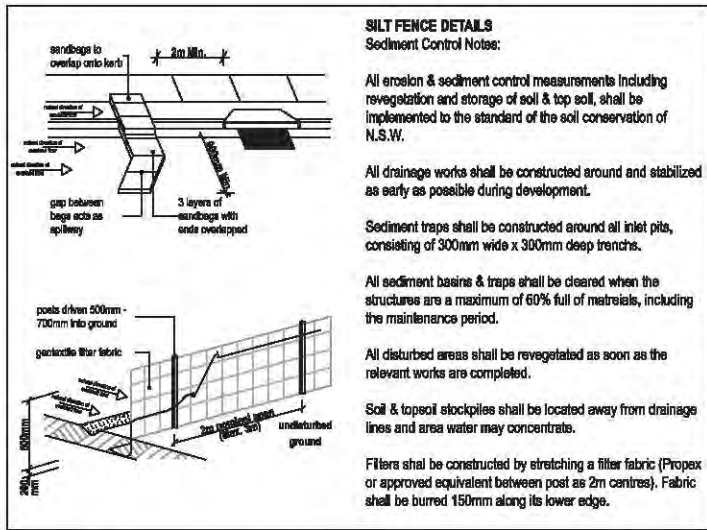
**PRINCIPLE PRIVATE OPEN SPACE**  
 REQUIRED - 20M<sup>2</sup> (5Mx4M)  
 PROVIDED - 112.6M<sup>2</sup>

**GENERAL NOTES**

- Stormwater to discharge into designated discharge point to PCA requirements
- Sewer to local authorities requirements.
- All ground lines are to be verified on site by the builder
- Final location of buildings to be verified on-site by a registered surveyor.
- Written dimensions to take precedence over scaling. Any plan discrepencies to be preferred back to design before proceeding.
- Site classification TBA
- house platform to RL 38.60m AHD Approx.
- House floor level RL 38.95m AHD Approx., 310-385mm above platform level, garage level approx. RL 38.87 AHD 310-385mm above platform level

**Legend**

- Silt barrier
- Driveway location
- Stormwater drainage
- Developer retaining



**SILT FENCE DETAILS**  
 Sediment Control Notes:

All erosion & sediment control measurements including revegetation and storage of soil & top soil, shall be implemented to the standard of the soil conservation of N.S.W.

All drainage works shall be constructed around and stabilized as early as possible during development.

Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trenches.

All sediment basins & traps shall be cleared when the structures are a maximum of 60% full of materials, including the maintenance period.

All disturbed areas shall be revegetated as soon as the relevant works are completed.

Soil & topsoil stockpiles shall be located away from drainage lines and area water may concentrate.

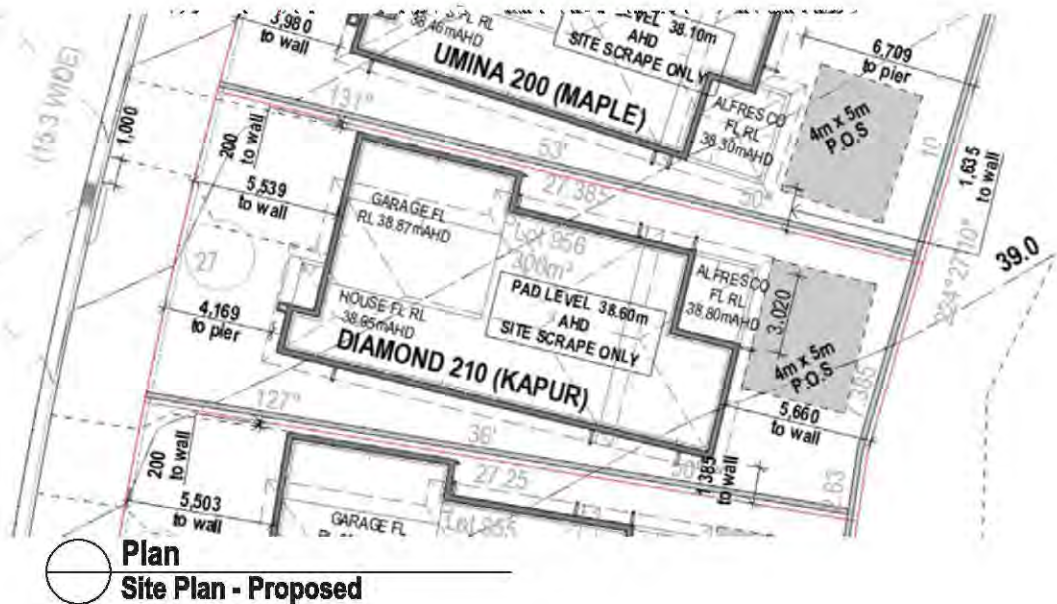
Filters shall be constructed by stretching a filter fabric (Propex or approved equivalent) between post as 2m centres. Fabric shall be buried 150mm along its lower edge.

**SU-001 Detail Section**  
**Silt Fence Detail\_NSW**  
 SCALE: 1:200

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**Plan**  
**Site Plan - Proposed**

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REV.	Site plan amended, Floor plans amended, Elevations amended	MJS INT	12/11/19 28/09/20
------	--	------------	----------------------

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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 W: www.transpiregroup.com.au

client:  
**Yuantong Australia Pty Ltd**

project:  
**Diamond 210 (Kapur Facade)**  
 Lot 856 New Road Marsryya NSW 2765

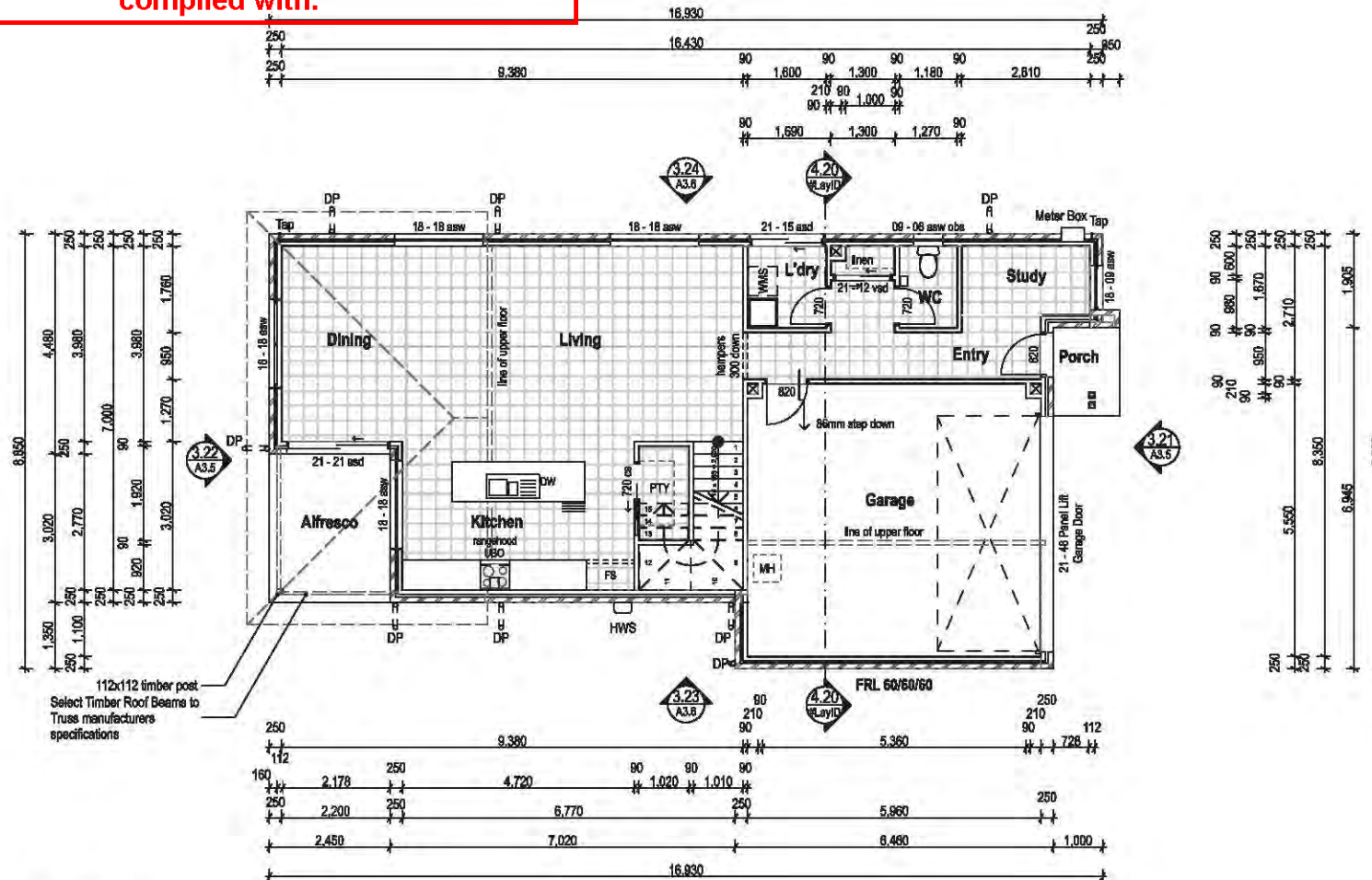
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

drawing number	drawn by	checked
Site Plan	MBC	MCR/
project status	w/d class	MBA/
DA	TBA	JSK
real property description	floor level	date class
part of Lot 411 in DP 1230476	TBA	TBA
client	local authority	parish
DA	Box Hill S.C	TBA
drawing number	scale	rev
A3.2	1:200, 1:300@A3	B



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Plan  
Ground Floor Plan  
SCALE: 1:100

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A	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
		INT	28/01/20
			Date

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**Diamond 210 (Kapur Facade)**  
Lot 858 New Road Marsryya NSW 2765

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drawing number	DA	drawn by	MBC	checked	MCR/ MSA/ JSK
drawing name	Ground Floor Plan	w/nd class	TBA	TBA	TBA
project status	DA				
real property description	part of Lot 411 in DP 1230476	floor level	TBA	climate zone	BAL TBA
covenant	DA	local authority	Box Hill S.C	parish	TBA
county	TBA				
drawing number	A3.3	scale	1:100@AS	rev	B



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REV.	DETAILS	MJS INT	12/11/19 15:40
B	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Date

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Porch	2.55
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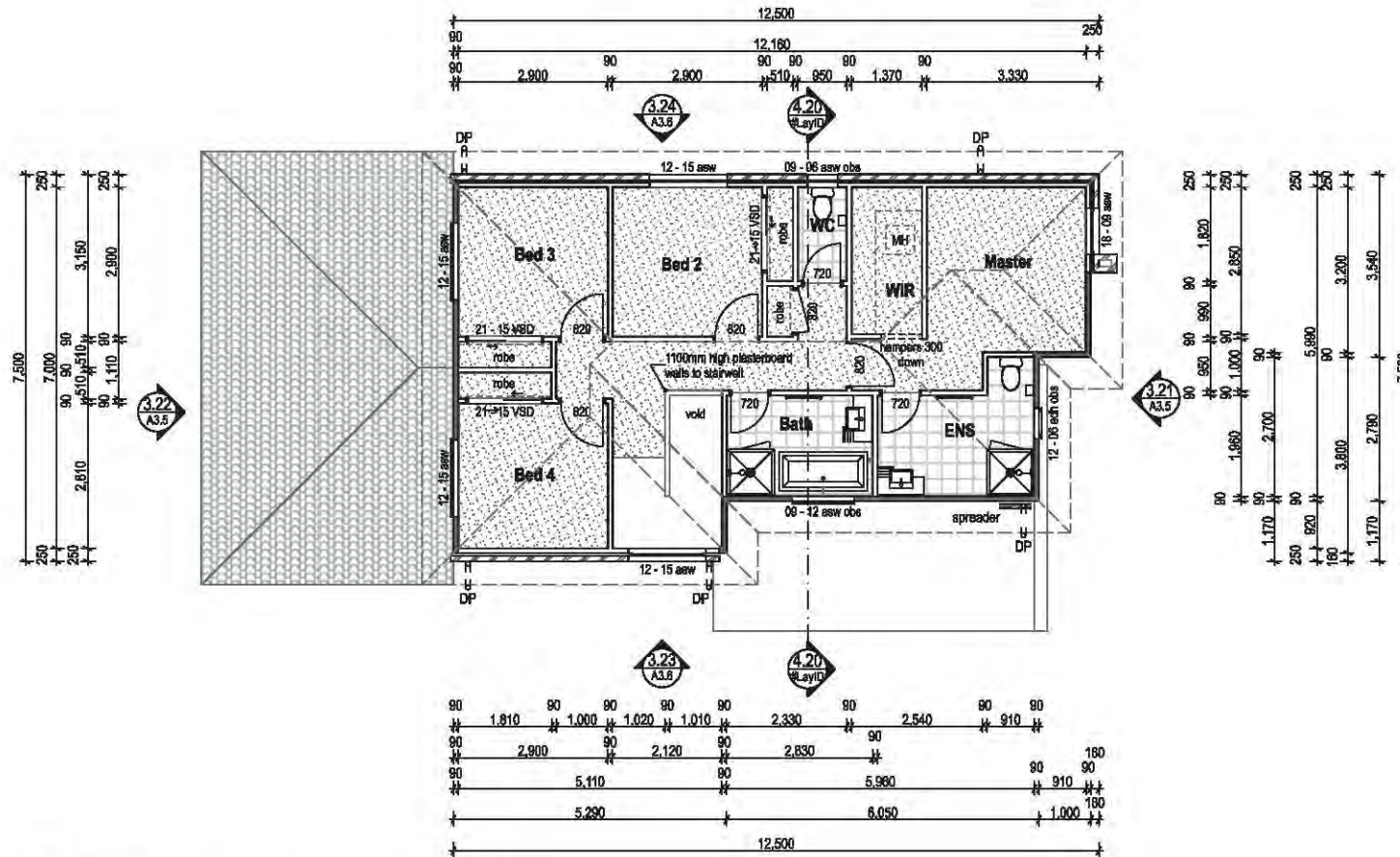
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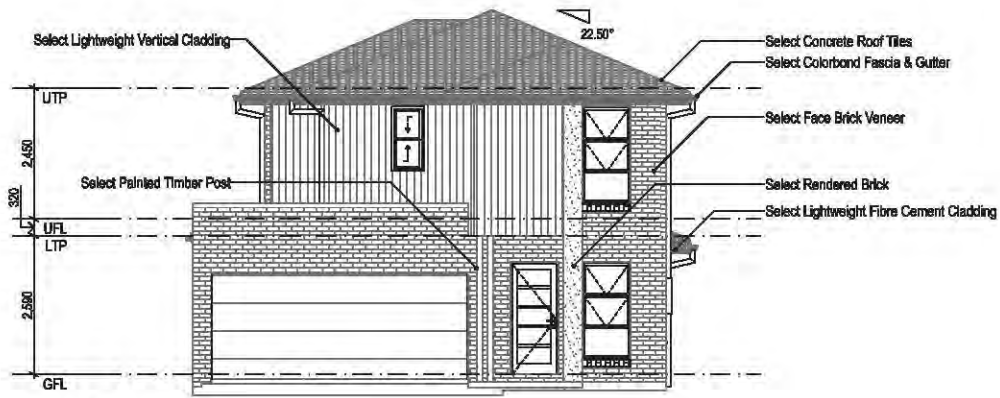
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by	checked
	MBC	MCR/
drawing name		MBA/
<b>Upper Floor Plan</b>	w/d class	JSK
project status	TBA	not class
DA		TBA
real property description	floor level	climate zone
part of Lot 411 in DP 1230476	TBA	TBA
consent	local authority	parish
DA	Box Hill S.C	TBA
		county
		TBA
drawing number	scale	rev
<b>A3.4</b>	1:100@A3	B

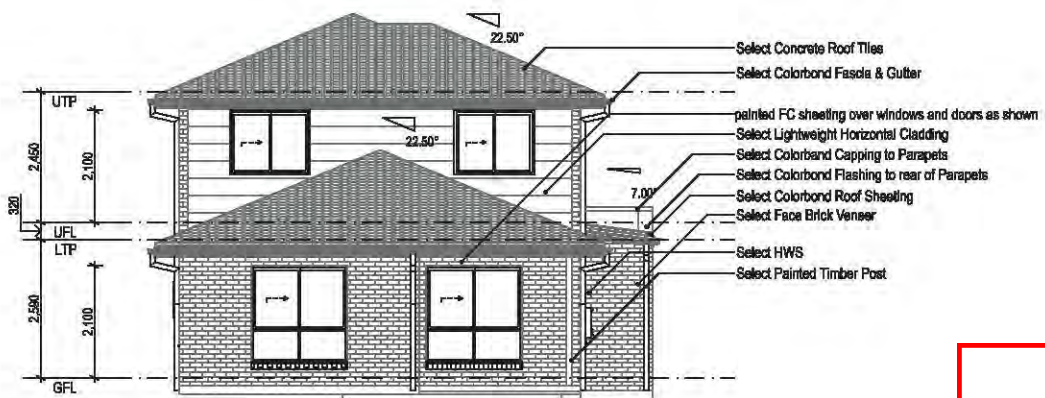


**Plan**  
**Upper Floor Plan**  
SCALE: 1:100





**Elevation**  
**Kapur - West**  
 SCALE: 1:100



**Elevation**  
**East**  
 SCALE: 1:100

**NOTE:**  
 450mm EAVE (610MM TO FRAME) UNO

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		INT	Date

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House Lower	86.35
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Porch	2.55
	209.72 m <sup>2</sup>

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project number	drawn by	checked
	MBC	MCR/
drawing name	w/d class	MBA/
<b>Elevations 1</b>	TBA	JSK
project status		not class
DA		TBA
real property description	floor level	climate zone
part of Lot 411 in DP	TBA	TBA
1230476		BAL
covenant	local authority	parish
DA	Box Hill	TBA
	S.C	county
		TBA
drawing number	scale	rev
<b>A3.5</b>	1:100@AS	B

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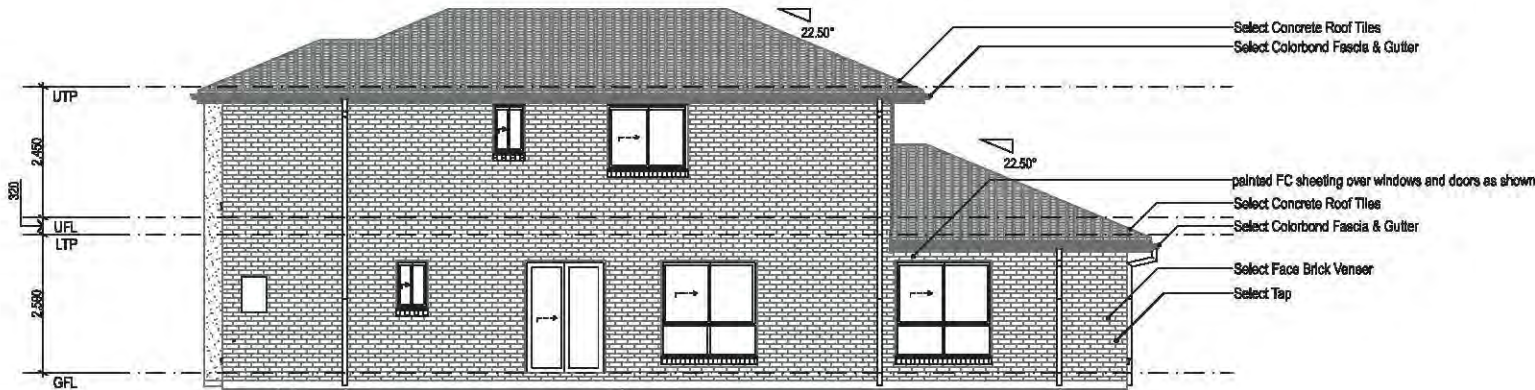
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**Elevation North**  
 SCALE: 1:100



**Elevation South**  
 SCALE: 1:100

B	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
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REV.	DETAILS	INT	Date

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Garage	36.36
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**Yuantong Australia Pty Ltd**

project:  
**Diamond 210 (Kapur Facade)**  
 Lot 856 New Road Marsryhya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

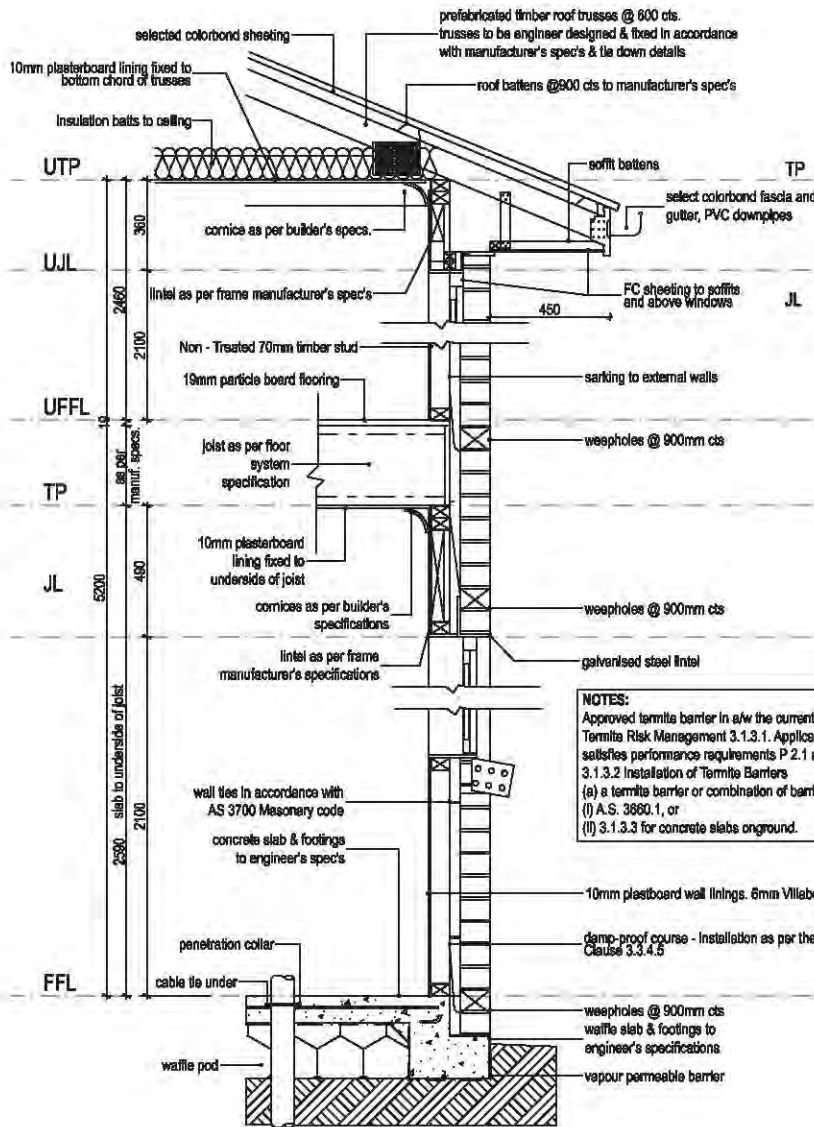
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	MBC	MCR/	
drawing name		MBA/	
<b>Elevations 2</b>	w/d class	JSK	
project status	TBA	not class	
DA		TBA	
real property description	food level	climate zone	BAL
part of Lot 411 in DP	TBA	TBA	TBA
1230476			
zoned as	local authority	parish	county
DA	Box Hill S.C	TBA	TBA
drawing number	scale	rev	
<b>A3.6</b>	1:100@AS	B	

**THE HILLS SHIRE COUNCIL**

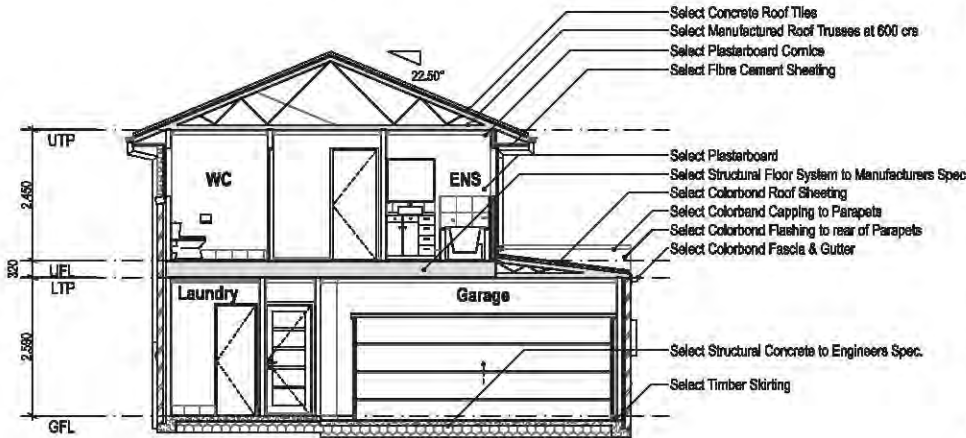
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**NOTES:**  
 Approved termite barrier in a/w the current N.C.C volume two section 3.1.3 Termite Risk Management 3.1.3.1. Application compliance with this part satisfies performance requirements P 2.1 and P 2.1.1 for termite management 3.1.3.2 Installation of Termite Barriers  
 (a) a termite barrier or combination of barriers must be installed in a/w (i) A.S. 3680.1, or (ii) 3.1.3.3 for concrete slabs on ground.



**Section A-A**  
 SCALE: 1:100

- Select Concrete Roof Tiles
- Select Manufactured Roof Trusses at 600 cts
- Select Plasterboard Cornice
- Select Fibre Cement Sheeting

- Select Plasterboard
- Select Structural Floor System to Manufacturers Spec.
- Select Colorbond Roof Sheeting
- Select Colorbond Capping to Parapets
- Select Colorbond Flashing to rear of Parapets
- Select Colorbond Fascia & Gutter

- Select Structural Concrete to Engineers Spec.
- Select Timber Skirting

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B	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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	MBC	MCR/
drawing name	w/nd class	MBA/
<b>Section and Detail</b>	TBA	JSK
project status		not class
DA		TBA
real property description	floor level	climate zone
part of Lot 411 in DP 1230476	TBA	TBA
consent	local authority	parish
DA	Box Hill S.C	TBA
		county
		TBA
drawing number	scale	rev
<b>A3.7</b>	1:100, 1:20@AS	B

**EW-010** Detail Section  
 DS\_BV\_2590-2460TP\_22.5Deg\_SheetRoof\_600Truss\_450Eave  
 SCALE: 1:20

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House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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project number	drawn by	checked	
	MBC	MCR/	
drawing name		MBA/	
<b>External Colours</b>	w/nd class	JSK	
project status	TBA	TBA	
DA			
real property description	floor level	climate zone	BAL
part of Lot 411 in DP 1230476	TBA	TBA	TBA
consent	local authority	parish	county
DA	Box Hill S.C	TBA	TBA
drawing number	scale	rev	
<b>A3.8</b>	@A3	B	

# External Colour Scheme - NSW BURNET

	STANDARD	COMMENTS
<b>COLORBOND ROOF            TILED ROOF</b>	Colorbond Custom Orb Bristle Classic Range Guttering Fascia Barge capping (if applicable) Dry verge (if applicable)	Woodland Grey Gun Metal Woodland Grey Woodland Grey Woodland Grey Woodland Grey
<b>WINDOWS</b>	Dowell	Woodland Grey
<b>BRICKS</b>	PGH Alfresco	Espresso
<b>MORTAR JOINTS</b>	Ironed	Off-white
<b>EAVES</b>		Builders White
<b>MAIN HOUSE COLOUR</b>		Dulux Surfmist
<b>FEATURE COLOUR</b>		Dulux Wallaby
<b>ENTRY DOOR</b>		Dulux Wallaby
<b>PVC DOWNPIPES</b>	Over Brick/Main Colour Over Feature Colour	Dulux Surfmist Dulux Wallaby
<b>TIMBER POST</b>	Feature Colour	Dulux Wallaby
<b>LETTERBOX</b>	Main Colour	Dulux Surfmist
<b>BUNKER LIGHTS</b>		Silver
<b>CLOTHES LINE</b>		Bark
<b>GARAGE DOOR</b>	Flat Line	Wallaby
<b>COLOURED CONCRETE</b>		Slate Grey

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**SITE DATA**  
 SITE AREA = 300M<sup>2</sup>

**SITE COVERAGE**  
 PERMISSABLE = 55% OR 165M<sup>2</sup>  
 PROVIDED = 40% OR 122.65M<sup>2</sup>

**SOFT LANDSCAPE**  
 Refer to landscape intent plans

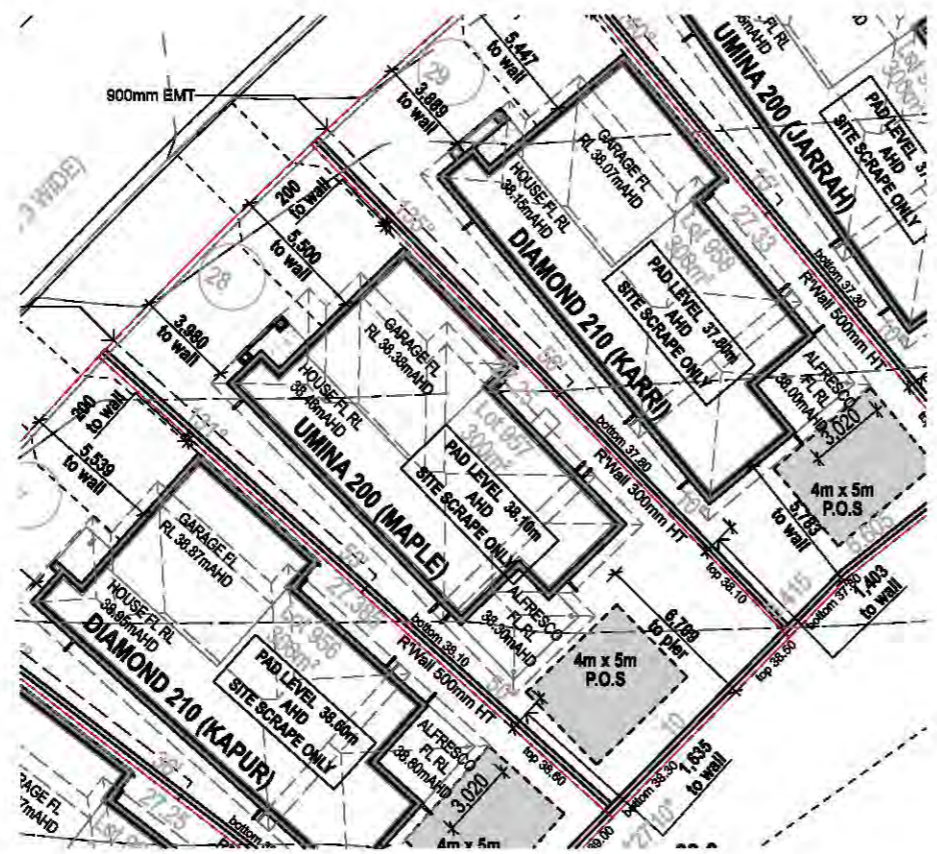
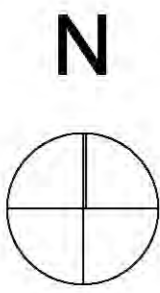
**PRINCIPLE PRIVATE OPEN SPACE**  
 REQUIRED - 20M<sup>2</sup> (5MX4M)  
 PROVIDED - 124.23M<sup>2</sup>

**GENERAL NOTES**

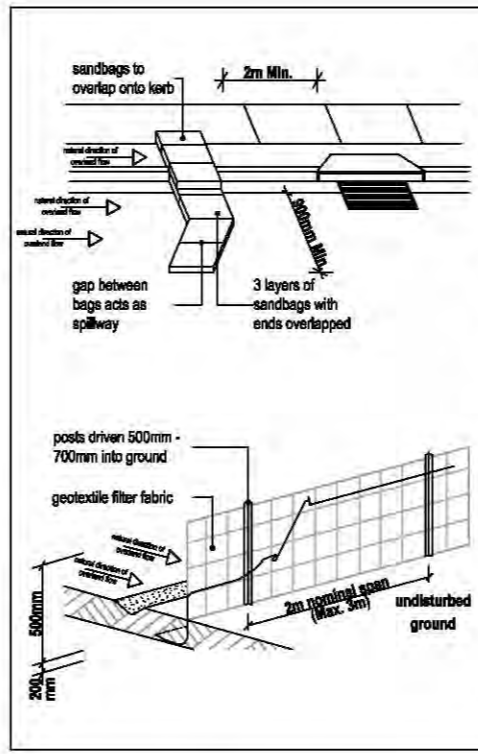
- Stormwater to discharge into designated discharge point to PCA requirements
- Sewer to local authorities requirements.
- All ground lines are to be verified on site by the builder
- Final location of buildings to be verified on-site by a registered surveyor.
- Written dimensions to take precedence over scaling. Any plan discrepancy to be preferred back to design before proceeding.
- Site classification TBA
- house platform to RL 38.10m AHD Approx.
- House floor level RL 38.46m AHD Approx., 310-385mm above platform level, garage level approx. RL 38.38m AHD 310-385mm above platform level

**Legend**

- Silt barrier
- Driveway location
- Stormwater drainage
- Developer retaining



**Plan**  
**Site Plan - Proposed**  
 SCALE: 1:300



**SILT FENCE DETAILS**  
 Sediment Control Notes:

All erosion & sediment control measurements including revegetation and storage of soil & top soil, shall be implemented to the standard of the soil conservation of N.S.W.

All drainage works shall be constructed around and stabilized as early as possible during development.

Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trenches.

All sediment basins & traps shall be cleared when the structures are a maximum of 60% full of materials, including the maintenance period.

All disturbed areas shall be revegetated as soon as the relevant works are completed.

Soil & topsoil stockpiles shall be located away from drainage lines and area water may concentrate.

Filters shall be constructed by stretching a filter fabric (Propex or approved equivalent between post as 2m centres). Fabric shall be buried 150mm along its lower edge.

**SU-001** **Detail Section**  
**Silt Fence Detail\_NSW**  
 SCALE: 1:200

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A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	200.54 m <sup>2</sup>

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client  
**Yuantong Australia Pty Ltd**

project  
**Umina 200 (Maple Facade)**  
 Lot 957 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by	checked	
	MSC	MCR/	
drawing name		MBA/	
<b>Site Plan</b>	wind class	JSK	
project status	TBA	soil class	TBA
DA			
real property description	flood level	climate zone	BAL
part of Lot 411 in DP 1230476	TBA	TBA	TBA
covenant	local authority	parish	county
DA	Box Hill S.C	TBA	TBA
drawing number	scale		rev
A3.2	1:200, 1:300@A3		B



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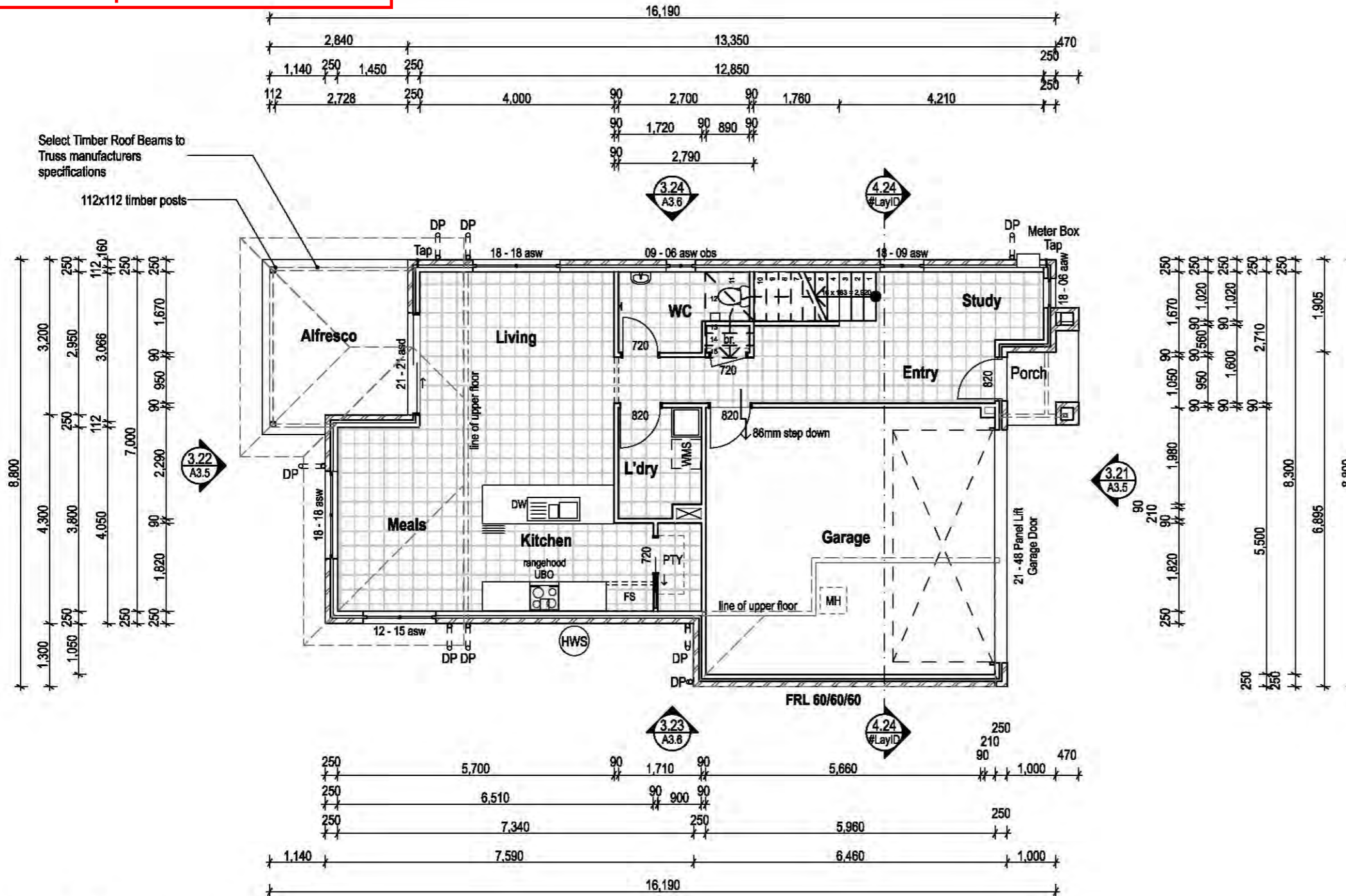


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drawing number	drawn by	checked	
	MSC	MCR/	
drawing name		MBA/	
<b>Ground Floor Plan</b>	wind class	JSK	
project status	TBA	soil class	TBA
DA			
real property description	flood level	climate zone	BAL
part of Lot 411 in DP	TBA	TBA	TBA
1230476			
covenant	local authority	parish	county
DA	Box Hill S.C	TBA	TBA
drawing number	scale	rev	
<b>A3.3</b>	1:100@A3	B	



Plan  
**Ground Floor Plan - 90mm**  
SCALE: 1:100



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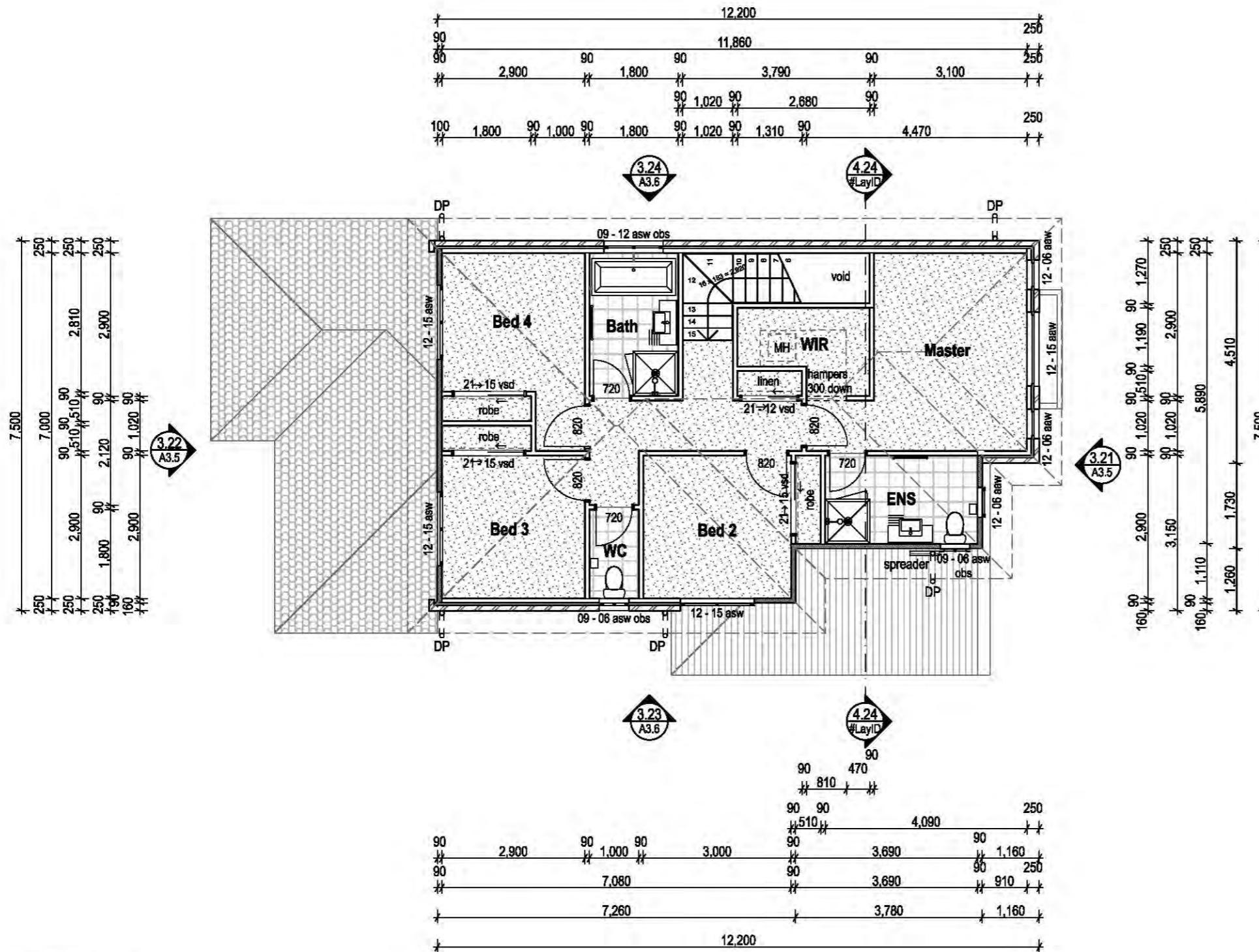


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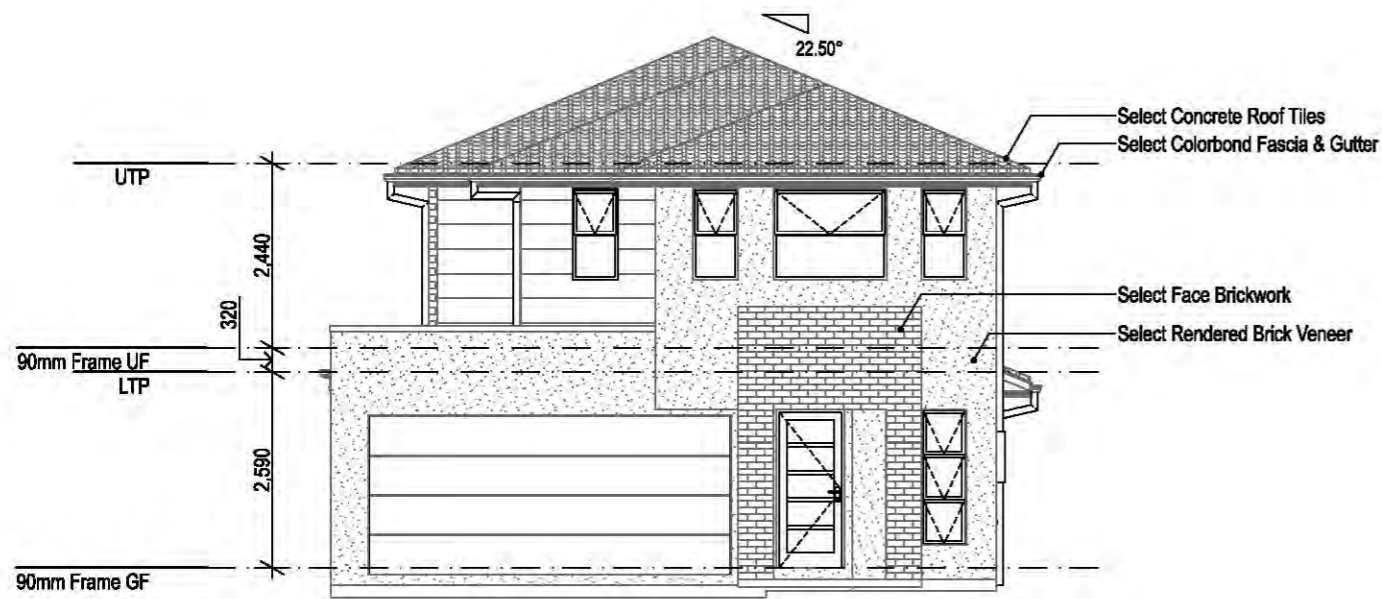
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project number	drawn by	checked	
	MSC	MCR/	
drawing name	wind class	MBA/	
<b>Upper Floor Plan</b>	TBA	JSK	
project status		soil class	
DA		TBA	
real property description	flood level	climate zone	BAL
part of Lot 411 in DP	TBA	TBA	TBA
1230476			
covenant	local authority	parish	county
DA	Box Hill S.C	TBA	TBA
drawing number	scale	rev	
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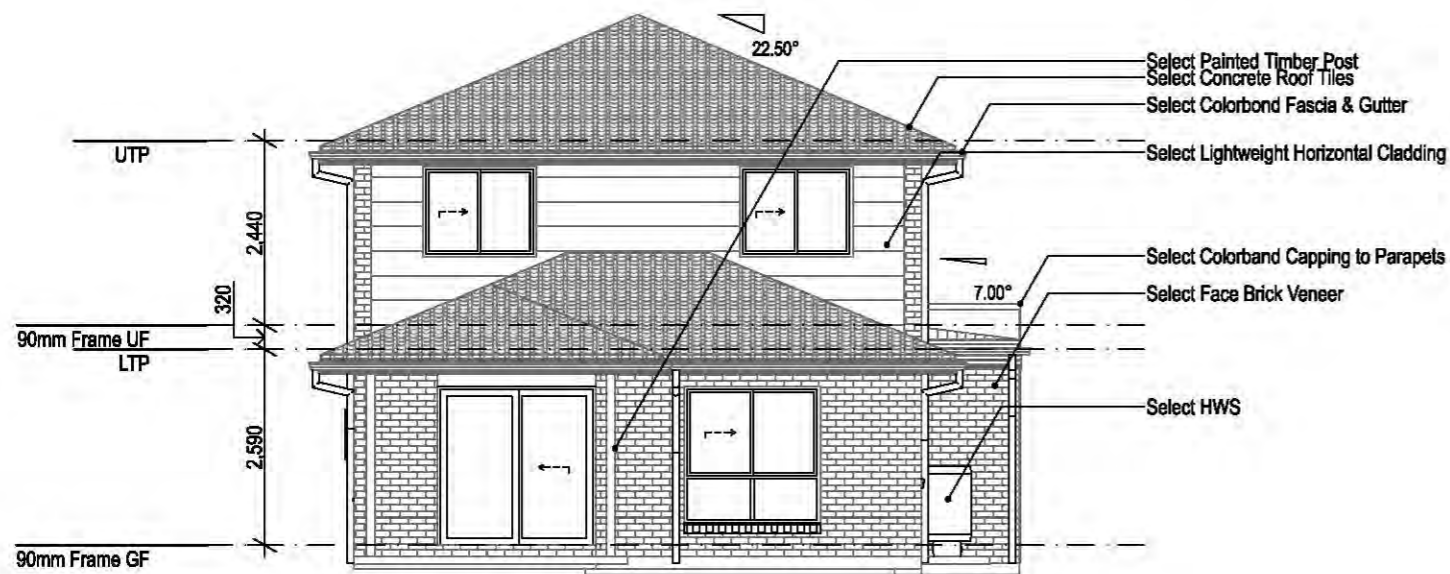


Plan  
**Upper Floor Plan - 90mm**  
SCALE: 1:100





**3.21 Plan**  
**Maple - West**  
 SCALE: 1:100



**3.22 Plan**  
**East**  
 SCALE: 1:100

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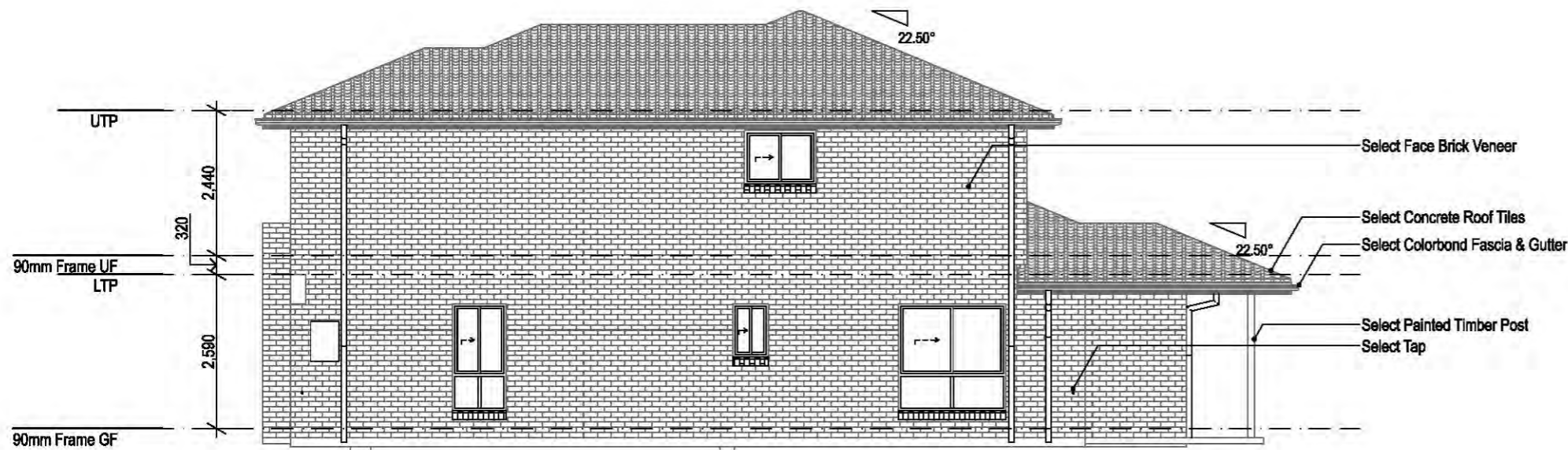
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project number	drawn by <b>MSC</b>	checked <b>MCR/ MBA/ JSK</b>	soil class <b>TBA</b>
drawing name <b>Elevations 1</b>	wind class <b>TBA</b>		
project status <b>DA</b>			
real property description <b>part of Lot 411 in DP 1230476</b>	flood level <b>TBA</b>	climate zone <b>TBA</b>	BAL <b>TBA</b>
covenant <b>DA</b>	local authority <b>Box Hill S.C</b>	parish <b>TBA</b>	county <b>TBA</b>
drawing number <b>A3.5</b>	scale <b>1:100@A3</b>	rev <b>B</b>	





**3.23 Plan North**  
SCALE: 1:100



**3.24 Plan South**  
SCALE: 1:100

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project number	drawn by <b>MSC</b>	checked <b>MCR/ MBA/ JSK</b>	
drawing name <b>Elevations 2</b>	wind class <b>TBA</b>	soil class <b>TBA</b>	
project status <b>DA</b>			
real property description <b>part of Lot 411 in DP 1230476</b>	flood level <b>TBA</b>	climate zone <b>TBA</b>	BAL <b>TBA</b>
covenant <b>DA</b>	local authority <b>Box Hill S.C</b>	parish <b>TBA</b>	county <b>TBA</b>
drawing number <b>A3.6</b>	scale <b>1:100@A3</b>	rev <b>B</b>	



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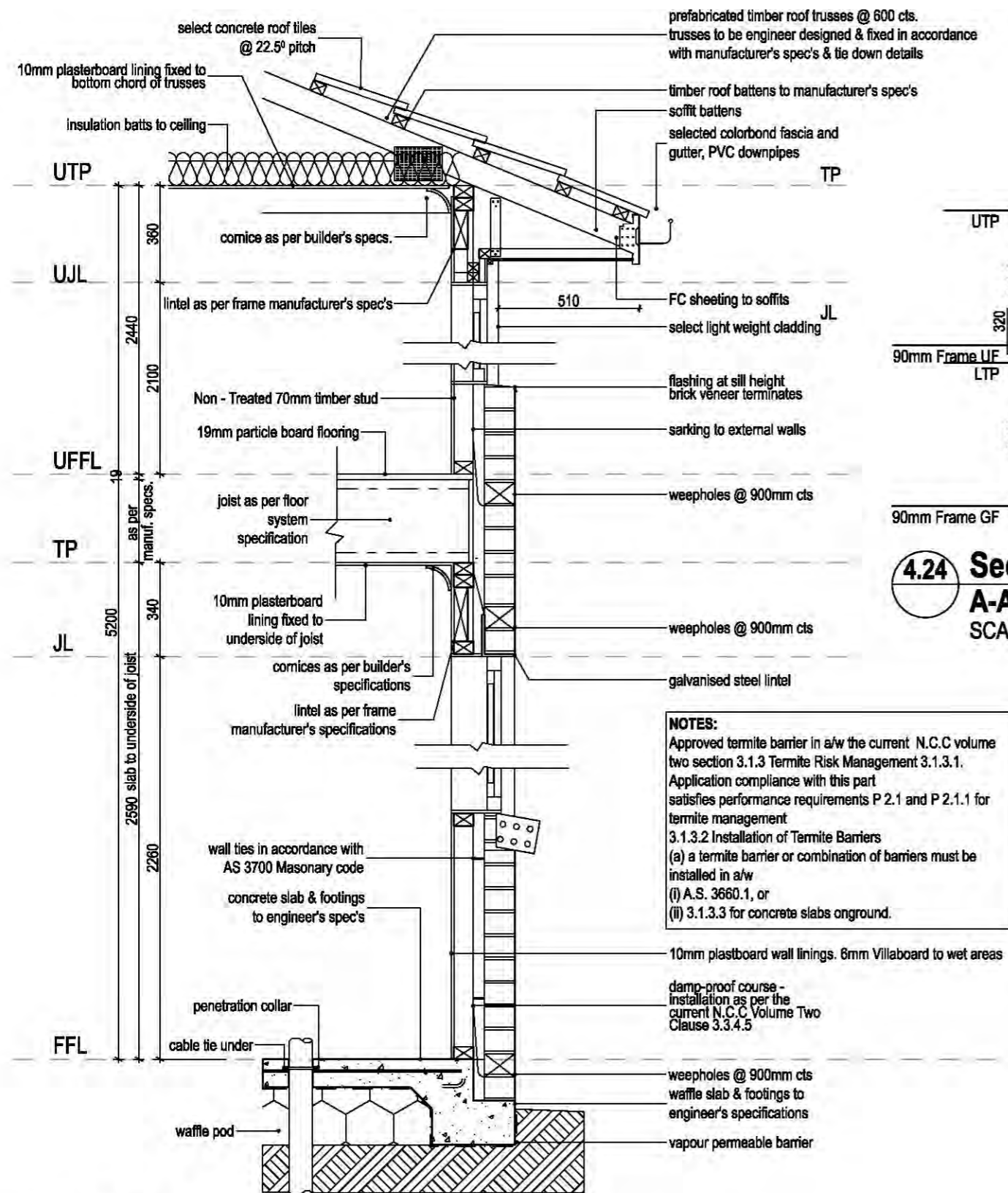
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**Umina 200 (Maple Facade)**  
Lot 957 New Road Maraylya NSW 2765

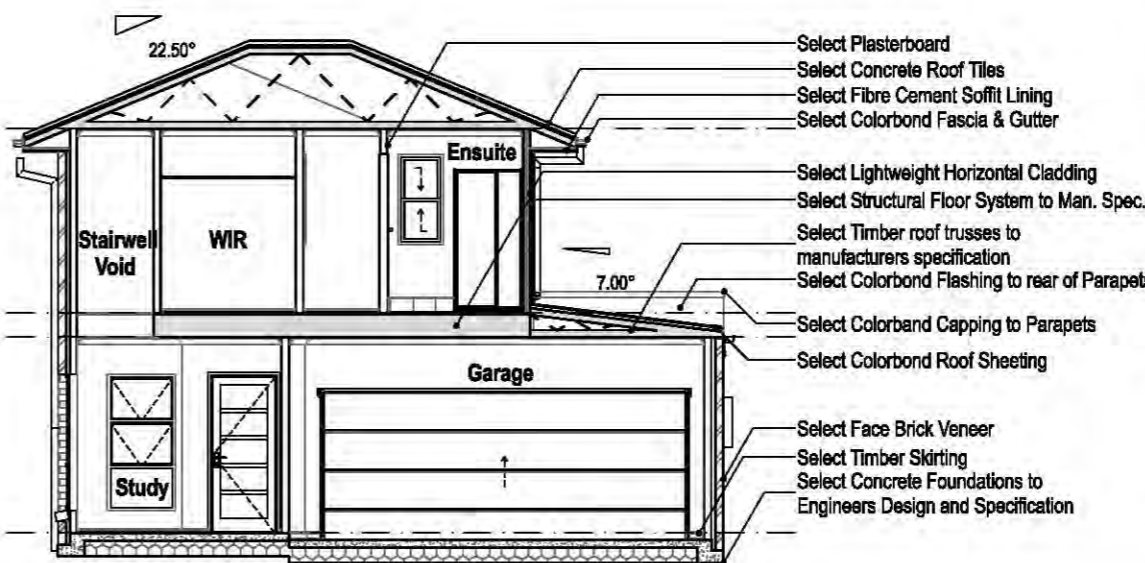
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by <b>MSC</b>	checked <b>MCR/</b>
drawing name <b>Section &amp; Detail</b>	wind class <b>TBA</b>	JSK soil class <b>TBA</b>
project status <b>DA</b>		
real property description part of Lot 411 in DP 1230476	flood level <b>TBA</b>	climate zone <b>TBA</b>
covenant <b>DA</b>	local authority <b>Box Hill</b>	parish <b>TBA</b>
drawing number <b>A3.7</b>	scale <b>1:100, 1:20@A3</b>	county <b>TBA</b>
		rev <b>B</b>



**4.24 Section A-A**  
SCALE: 1:100

**NOTES:**  
Approved termite barrier in a/w the current N.C.C volume two section 3.1.3 Termite Risk Management 3.1.3.1. Application compliance with this part satisfies performance requirements P 2.1 and P 2.1.1 for termite management  
3.1.3.2 Installation of Termite Barriers  
(a) a termite barrier or combination of barriers must be installed in a/w  
(i) A.S. 3660.1, or  
(ii) 3.1.3.3 for concrete slabs onground.



**EW-036 Detail Section**  
**DS\_BV\_2590-2440TP\_22.5Deg\_TileRoof\_600Truss\_450Eave**  
SCALE: 1:20

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**DEVELOPMENT CONSENT**  
**DA 1468/2019/ZE**  
**Please refer to conditions of Development Consent for details of matters which must be complied with.**



# External Colour Scheme

## PAROO

	STANDARD	COMMENTS
<b>COLORBOND ROOF</b>	Custom Orb	Basalt
<b>TILED ROOF</b>	Bristle Classic Range	Gunmetal
	Guttering	Basalt
	Fascia	Basalt
	Barge capping (if applicable)	Basalt
	Dry verge (if applicable)	Basalt
<b>WINDOWS</b>	Dowell	Dune
<b>BRICKS</b>	PGH Velour	Mineral
<b>MORTAR JOINTS</b>	Ironed	Off-white
<b>EAVES</b>		Builders White
<b>MAIN HOUSE COLOUR</b>		Dulux Linseed
<b>FEATURE COLOUR</b>		Dulux Male Quarter
<b>ENTRY DOOR</b>		Dulux Surfemist
<b>PVC DOWNPIPES</b>	Over Brick/Main Colour	Dulux Surfemist
	Over Feature Colour	Dulux Surfemist
<b>TIMBER POST</b>	Feature Colour	Dulux Surfemist
<b>LETTERBOX</b>	Main Colour	Dulux Surfemist
<b>BUNKER LIGHTS</b>		Silver
<b>CLOTHES LINE</b>		Woodland Grey
<b>GARAGE DOOR</b>	Flat Line	Surfemist
<b>COLOURED CONCRETE</b>		Merino

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REV.	DETAILS	INT	Date
B	Site Plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19

Total Areas	
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	200.54 m <sup>2</sup>

### ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE WITH:

THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS & POLICIES  
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client  
**Yuantong Australia Pty Ltd**

project  
**Umina 200 (Maple Facade)**  
Lot 957 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by <b>MSC</b>	checked <b>MCR/ MBA/ JSK</b>	
drawing name <b>External Colours</b>	wind class <b>TBA</b>	soil class <b>TBA</b>	
project status <b>DA</b>			
real property description <b>part of Lot 411 in DP 1230476</b>	flood level <b>TBA</b>	climate zone <b>TBA</b>	BAL <b>TBA</b>
covenant <b>DA</b>	local authority <b>Box Hill S.C</b>	parish <b>TBA</b>	county <b>TBA</b>
drawing number <b>A3.8</b>	scale <b>@A3</b>	rev <b>B</b>	



**SITE DATA**  
 SITE AREA = 300M<sup>2</sup>

**SITE COVERAGE**  
 PERMISSABLE = 55% OR 165M<sup>2</sup>  
 PROVIDED = 44.22% OR 132.66M<sup>2</sup>

**SOFT LANDSCAPE**  
 Refer to landscape intent plans

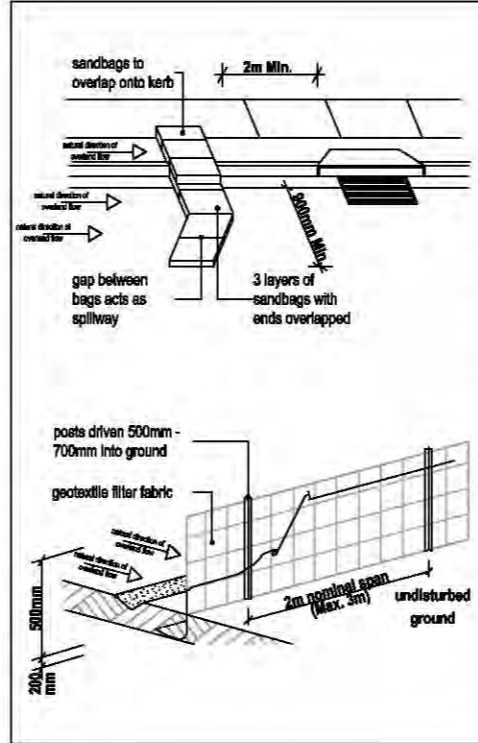
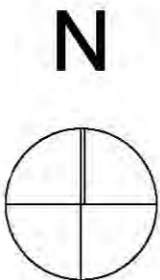
**PRINCIPLE PRIVATE OPEN SPACE**  
 REQUIRED - 20M<sup>2</sup> (5MX4M)  
 PROVIDED - 112.6M<sup>2</sup>

**GENERAL NOTES**

- Stormwater to discharge into designated discharge point to PCA requirements
- Sewer to local authorities requirements.
- All ground lines are to be verified on site by the builder
- Final location of buildings to be verified on-site by a registered surveyor.
- Written dimensions to take precedence over scaling. Any plan discrepanted to be preferred back to design before proceeding.
- Site classification TBA
- house platform to RL 37.8m AHD Approx.
- House floor level RL 38.15m AHD Approx., 310-385mm above platform level, garage level approx. RL 38.07m AHD 310-385mm above platform level

**Legend**

- Silt barrier
- Driveway location
- Stormwater drainage
- Developer retaining



**SILT FENCE DETAILS**  
 Sediment Control Notes:

All erosion & sediment control measurements including revegetation and storage of soil & top soil, shall be implemented to the standard of the soil conservation of N.S.W.

All drainage works shall be constructed around and stabilized as early as possible during development.

Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trenches.

All sediment basins & traps shall be cleared when the structures are a maximum of 60% full of materials, including the maintenance period.

All disturbed areas shall be revegetated as soon as the relevant works are completed.

Soil & topsoil stockpiles shall be located away from drainage lines and area water may concentrate.

Filters shall be constructed by stretching a filter fabric (Propex or approved equivalent between post as 2m centres). Fabric shall be burred 150mm along its lower edge.

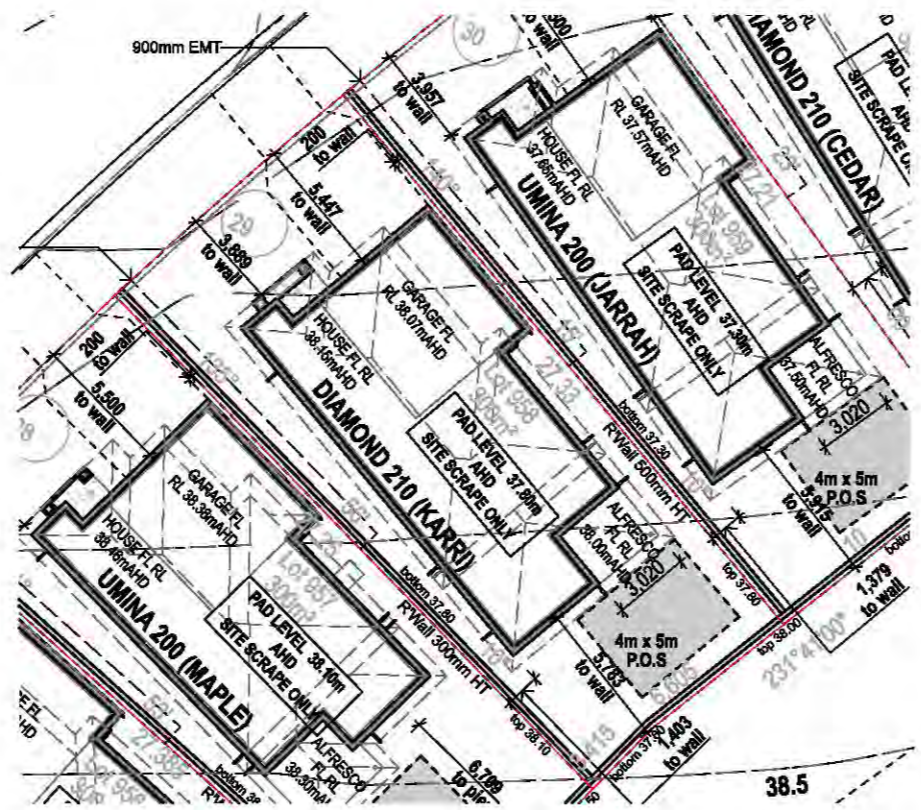
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B	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

**ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE WITH:**  
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**SU-001 Detail Section**  
**Silt Fence Detail\_NSW**  
 SCALE: 1:200



**Plan**  
**Site Plan - Proposed**  
 SCALE: 1:300

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 w: www.transpiregroup.com.au

client  
**Yuantong Australia Pty Ltd**

project  
**Diamond 210 (Karri Facade)**  
 Lot 958 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

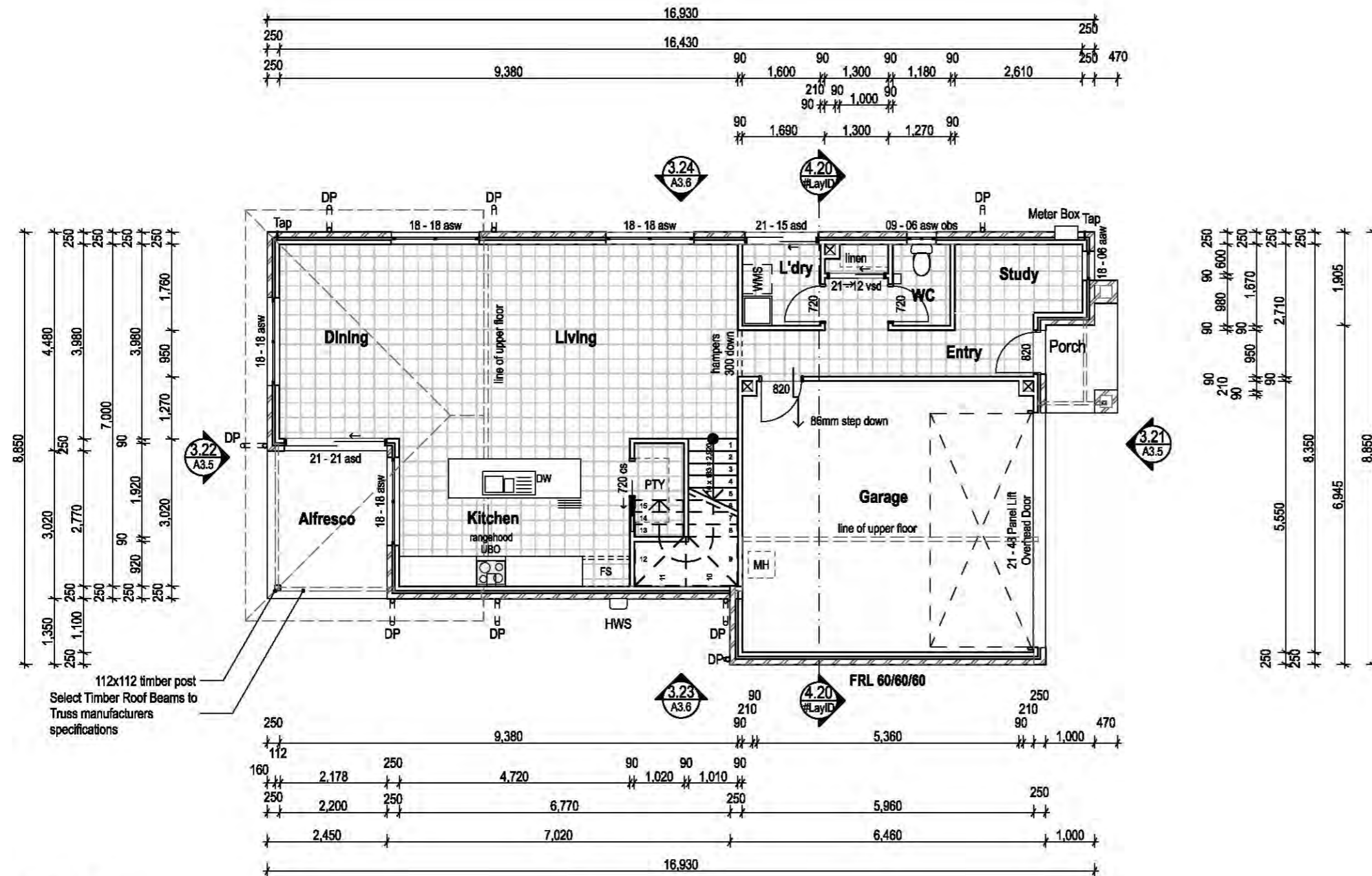
project number	drawn by	checked	
	MSC	MCR/	
drawing name	wind class	MBA/	
<b>Site Plan</b>	TBA	JSK	
project status		soil class	
DA		TBA	
real property description	food level	climate zone	BAL
part of Lot 411 In DP 1230476	TBA	TBA	TBA
covenant	local authority	parish	county
DA	Box Hill S.C	TBA	TBA
drawing number	scale	rev	
<b>A3.2</b>	1:200, 1:300@A3	B	



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**Plan**  
**Ground Floor Plan**  
SCALE: 1:100

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B	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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project  
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Lot 958 New Road Maraylya NSW 2765

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project number	drawn by	checked	
	MSC	MCR/	
drawing name		MBA/	
<b>Ground Floor Plan</b>	wind class	JSK	
project status	TBA	soil class	TBA
DA			
real property description	food level	climate zone	BAL
part of Lot 411 In DP	TBA	TBA	TBA
1230476			
covenant	local authority	parish	county
DA	Box Hill	TBA	TBA
	S.C		
drawing number	scale		rev
<b>A3.3</b>	1:100@A3		<b>B</b>



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B	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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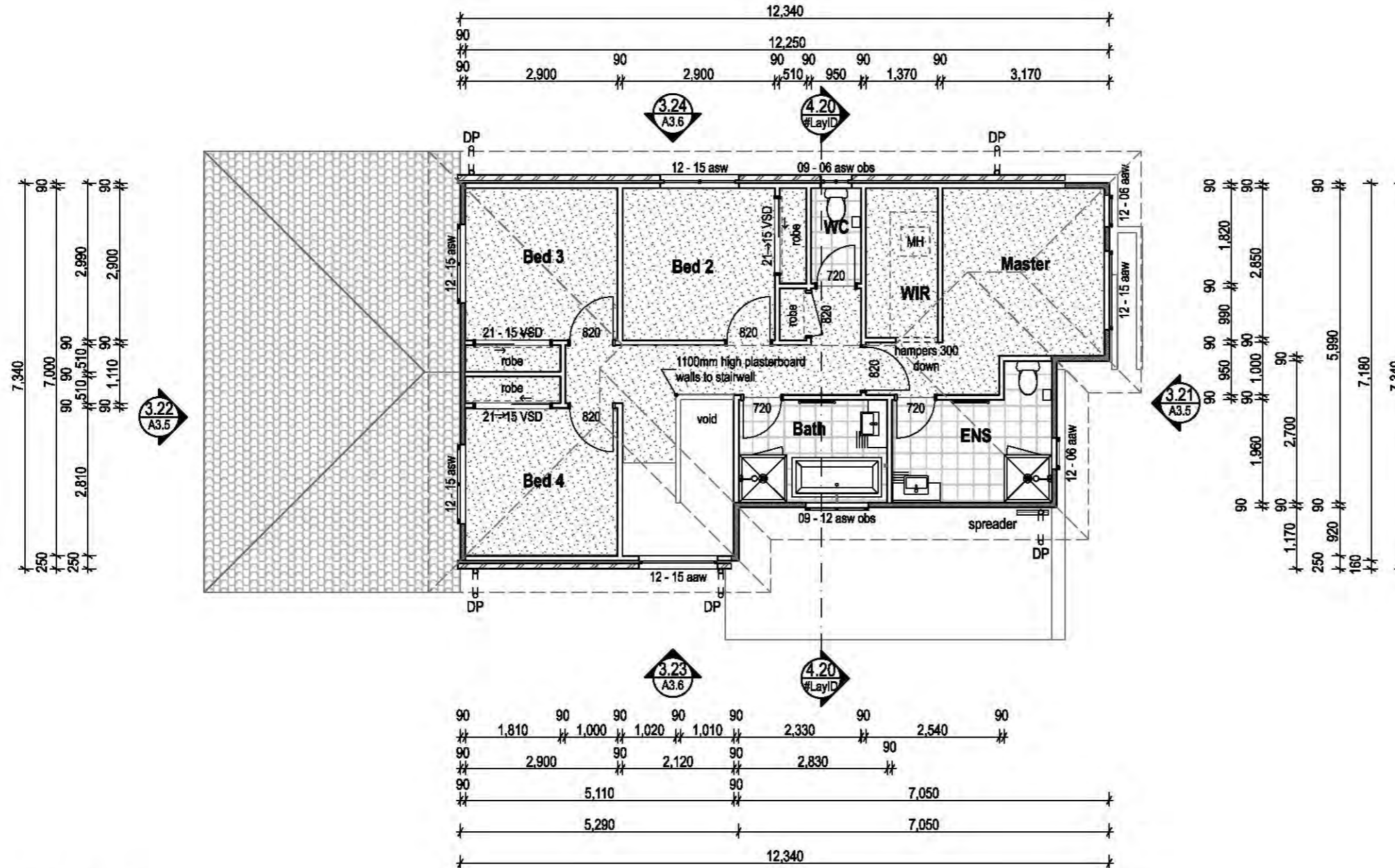


client  
**Yuantong Australia Pty Ltd**

project  
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Lot 958 New Road Maraylya NSW 2765

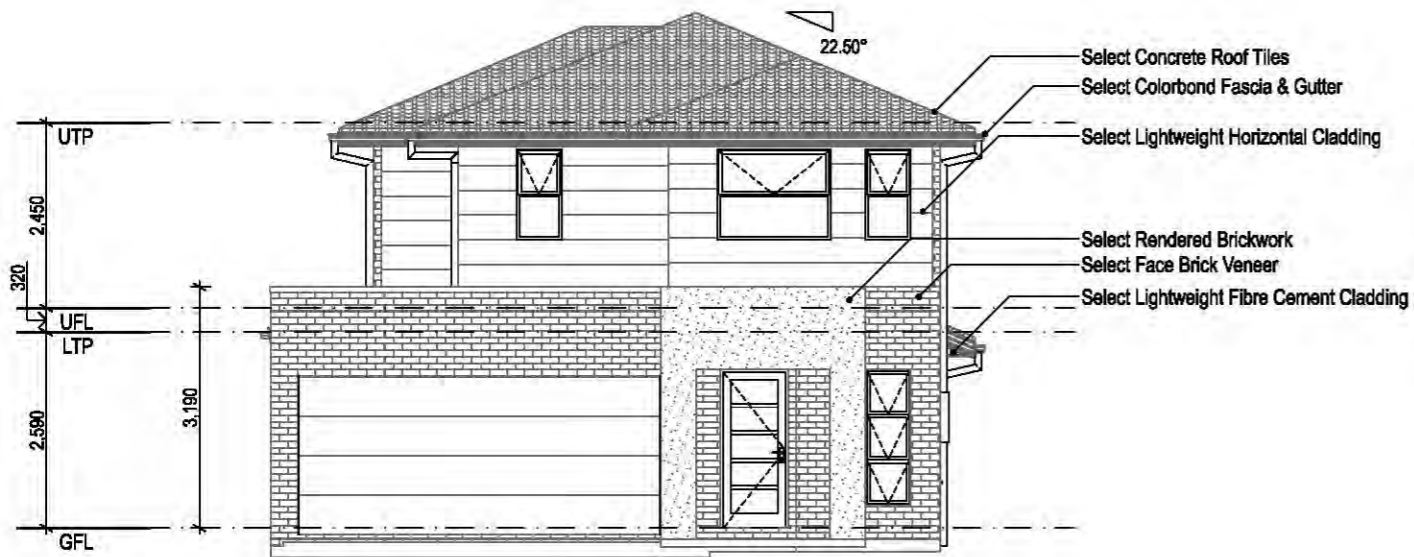
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by MSC	checked MCR/ MBA/ JSK	soil class TBA
drawing name <b>Upper Floor Plan</b>	project status TBA	wind class TBA	soil class TBA
real property description part of Lot 411 In DP 1230476	project status DA	climate zone TBA	BAL TBA
covenant DA	local authority Box Hill S.C	parish TBA	county TBA
drawing number <b>A3.4</b>	scale 1:100@A3	rev B	

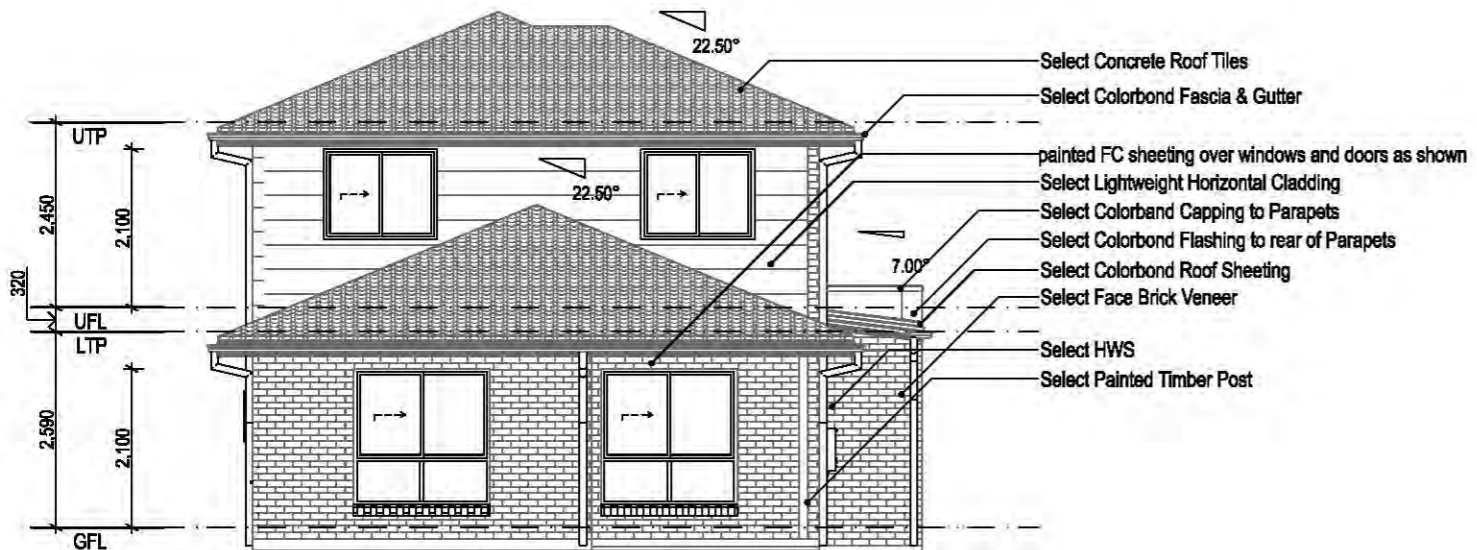


**Plan**  
**Upper Floor Plan**  
SCALE: 1:100





**Elevation**  
**Karri - West**  
SCALE: 1:100



**Elevation**  
**East**  
SCALE: 1:100

**NOTE:**  
**450mm EAVE (610MM TO FRAME) UNO**

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B	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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project  
**Diamond 210 (Karri Facade)**  
Lot 958 New Road Maraylya NSW 2765

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project number	drawn by	checked	
	MSC	MCR/	
drawing name		MBA/	
<b>Elevations 1</b>	wind class	JSK	
	TBA	soil class	TBA
project status			
DA			
real property description	flood level	climate zone	BAL
part of Lot 411 in DP	TBA	TBA	TBA
1230476			
covenant	local authority	parish	county
DA	Box Hill	TBA	TBA
	S.C		
drawing number	scale		rev
<b>A3.5</b>	1:100@A3		<b>B</b>

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REV.	DETAILS	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
B			MJS	12/11/19
A			INT	Issue
				Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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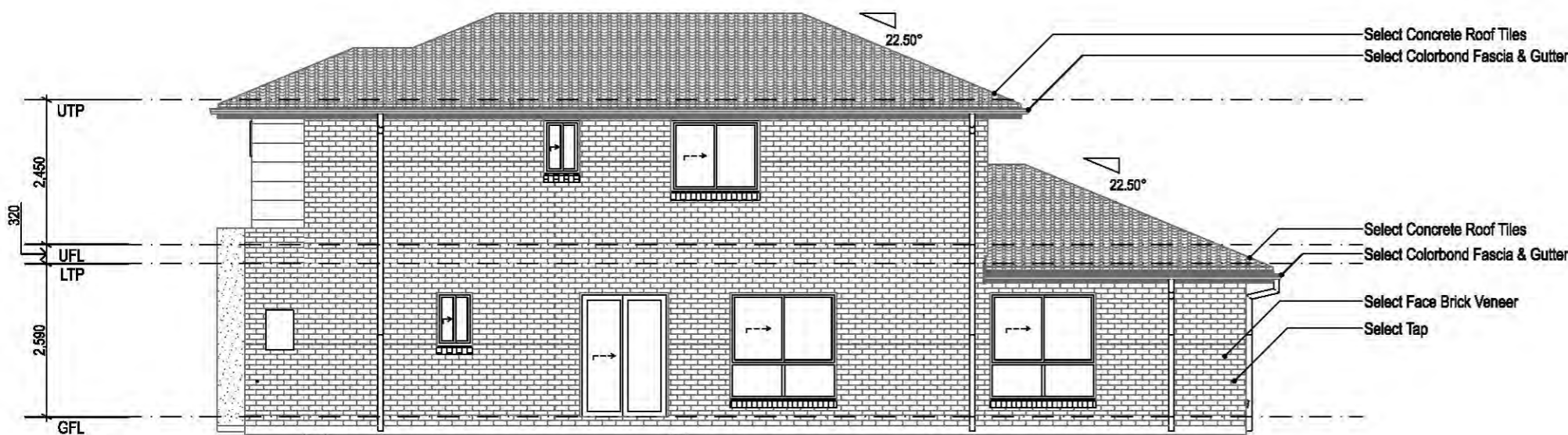
project  
**Diamond 210 (Karri Facade)**  
 Lot 958 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by	checked	
	MSC	MCR/	
drawing name		MBA/	
<b>Elevations 2</b>	wind class	JSK	
project status	TBA	soil class	TBA
DA			
real property description	flood level	climate zone	BAL
part of Lot 411 In DP	TBA	TBA	TBA
1230476			
covenant	local authority	parish	county
DA	Box Hill	TBA	TBA
	S.C		
drawing number	scale	rev	
<b>A3.6</b>	1:100@A3	B	



**Elevation North**  
 SCALE: 1:100



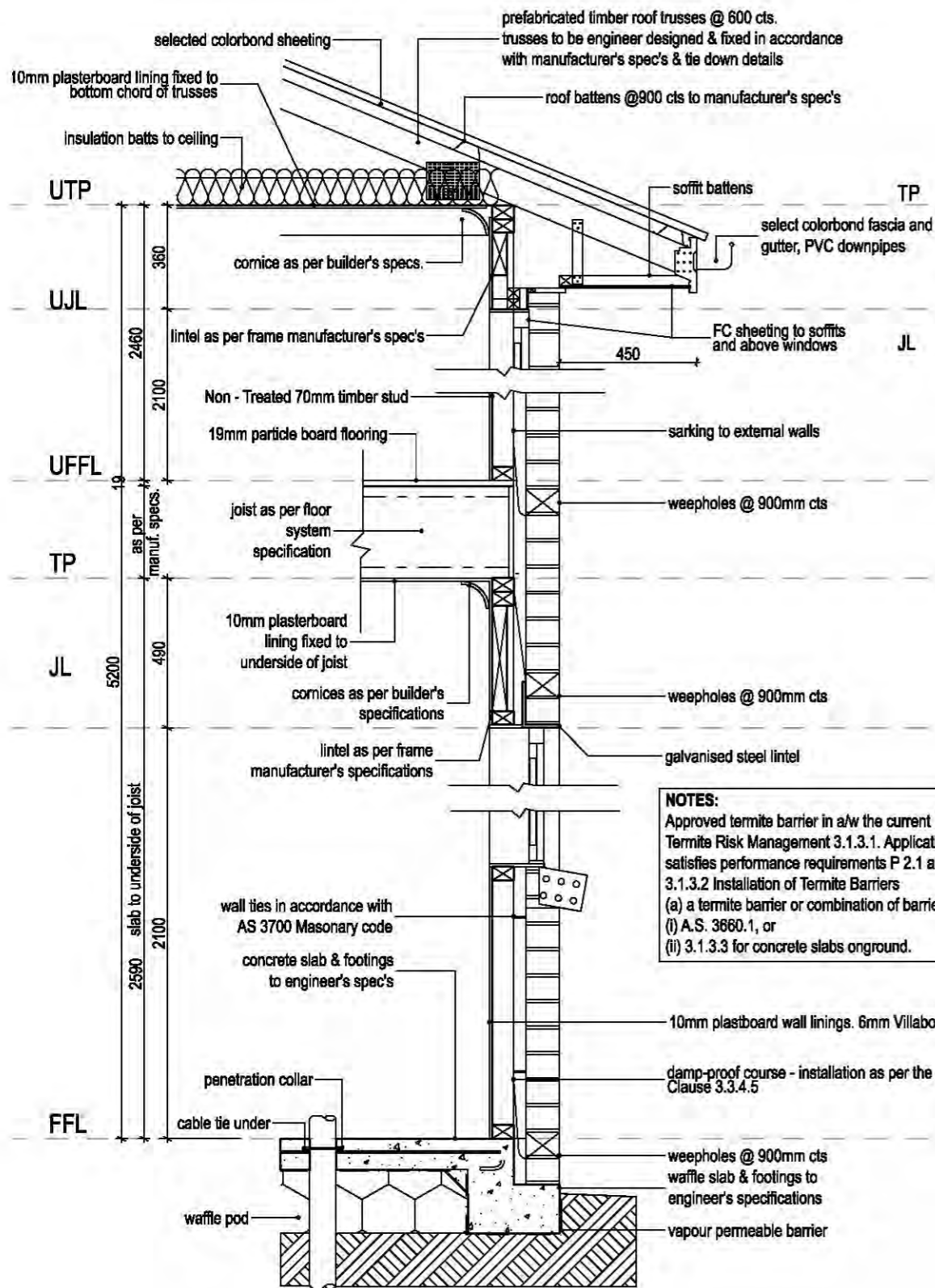
**Elevation South**  
 SCALE: 1:100

**THE HILLS SHIRE COUNCIL**

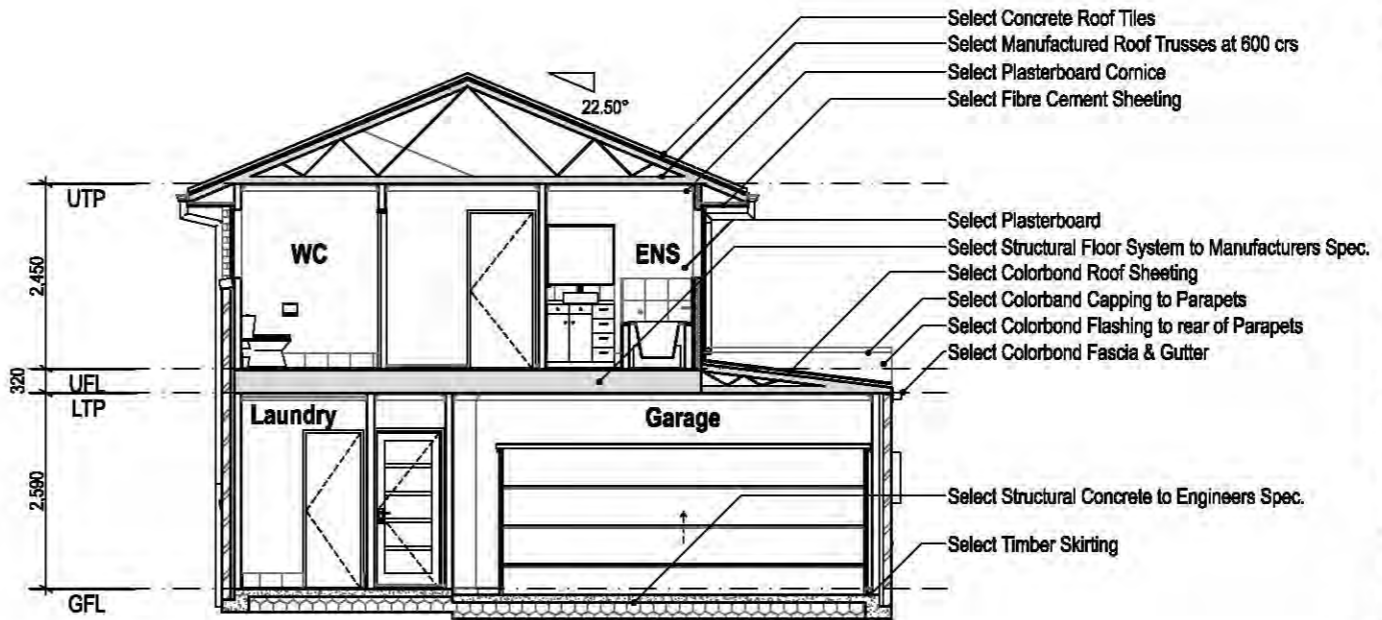
**APPROVED  
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 DA 1468/2019/ZE**

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 complied with.**





**NOTES:**  
 Approved termite barrier in a/w the current N.C.C volume two section 3.1.3 Termite Risk Management 3.1.3.1. Application compliance with this part satisfies performance requirements P 2.1 and P 2.1.1 for termite management 3.1.3.2 Installation of Termite Barriers  
 (a) a termite barrier or combination of barriers must be installed in a/w  
 (i) A.S. 3660.1, or  
 (ii) 3.1.3.3 for concrete slabs onground.



**Section A-A**  
 SCALE: 1:100

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B	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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client  
**Yuantong Australia Pty Ltd**

project  
**Diamond 210 (Karri Facade)**  
 Lot 958 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by	checked	
	MSC	MCR/	
drawing name		MBA/	
<b>Section and Detail</b>	wind class	JSK	
project status	TBA	soil class	TBA
DA			
real property description	food level	climate zone	BAL
part of Lot 411 In DP	TBA	TBA	TBA
1230476			
covenant	local authority	parish	county
DA	Box Hill	TBA	TBA
	S.C		
drawing number	scale		rev
<b>A3.7</b>	1:100, 1:20@A3		<b>B</b>

**THE HILLS SHIRE COUNCIL**

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**DEVELOPMENT CONSENT**  
**DA 1468/2019/ZE**

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**EW-010 Detail Section**  
 DS\_BV\_2590-2460TP\_22.5Deg\_SheetRoof\_600Truss\_450Eave  
 SCALE: 1:20



# External Colour Scheme - NSW OXLEY

		STANDARD	COMMENTS
<b>COLORBOND ROOF</b>	Custom Orb	Basalt	
<b>TILED ROOF</b>	Bristle Classic Range	Mica	
	Guttering	Basalt	
	Fascia	Basalt	
	Barge capping (if applicable)	Basalt	
	Dry verge (if applicable)	Basalt	
<b>WINDOWS</b>	Dowell	Woodland Grey	
<b>BRICKS</b>	PGH Alfresco	Truffle	
<b>MORTAR JOINTS</b>	Ironed	Off-white	
<b>EAVES</b>		Builders White	
<b>MAIN HOUSE COLOUR</b>		Dulux Pale Tendril	
<b>FEATURE COLOUR</b>		Dulux Timeless Grey	
<b>ENTRY DOOR</b>		Dulux Basalt	
<b>PVC DOWNPIPES</b>	Over Brick/Main Colour	Dulux Pale Tendril	
	Over Feature Colour	Dulux Timeless Grey	
<b>TIMBER POST</b>	Feature Colour	Dulux Timeless Grey	
<b>LETTERBOX</b>	Main Colour	Dulux Pale Tendril	
<b>BUNKER LIGHTS</b>		Silver	
<b>CLOTHES LINE</b>		Bark	
<b>GARAGE DOOR</b>	Flat Line	Basalt	
<b>COLOURED CONCRETE</b>		Slate Grey	

**THE HILLS SHIRE COUNCIL**

**APPROVED  
DEVELOPMENT CONSENT  
DA 1468/2019/ZE**

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B	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

### ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE WITH:

THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS & POLICIES  
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**transpire**  
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### Transpire Constructions

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e: info@transpiregroup.com.au  
w: www.transpiregroup.com.au



client  
**Yuantong Australia Pty Ltd**

project  
**Diamond 210 (Karri Facade)**  
Lot 956 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by MSC	checked MCR/ MBA/ JSK	
drawing name <b>External Colours</b>	wind class TBA	soil class TBA	
project status DA			
real property description part of Lot 411 In DP 1230476	flood level TBA	climate zone TBA	BAL TBA
covenant DA	local authority Box Hill S.C	parish TBA	county TBA
drawing number <b>A3.8</b>	scale @A3	rev B	



**SITE DATA**  
 SITE AREA = 300M<sup>2</sup>

**SITE COVERAGE**  
 PERMISSABLE = 55% OR 165M<sup>2</sup>  
 PROVIDED = 40% OR 122.65M<sup>2</sup>

**SOFT LANDSCAPE**  
 Refer to landscape intent plans

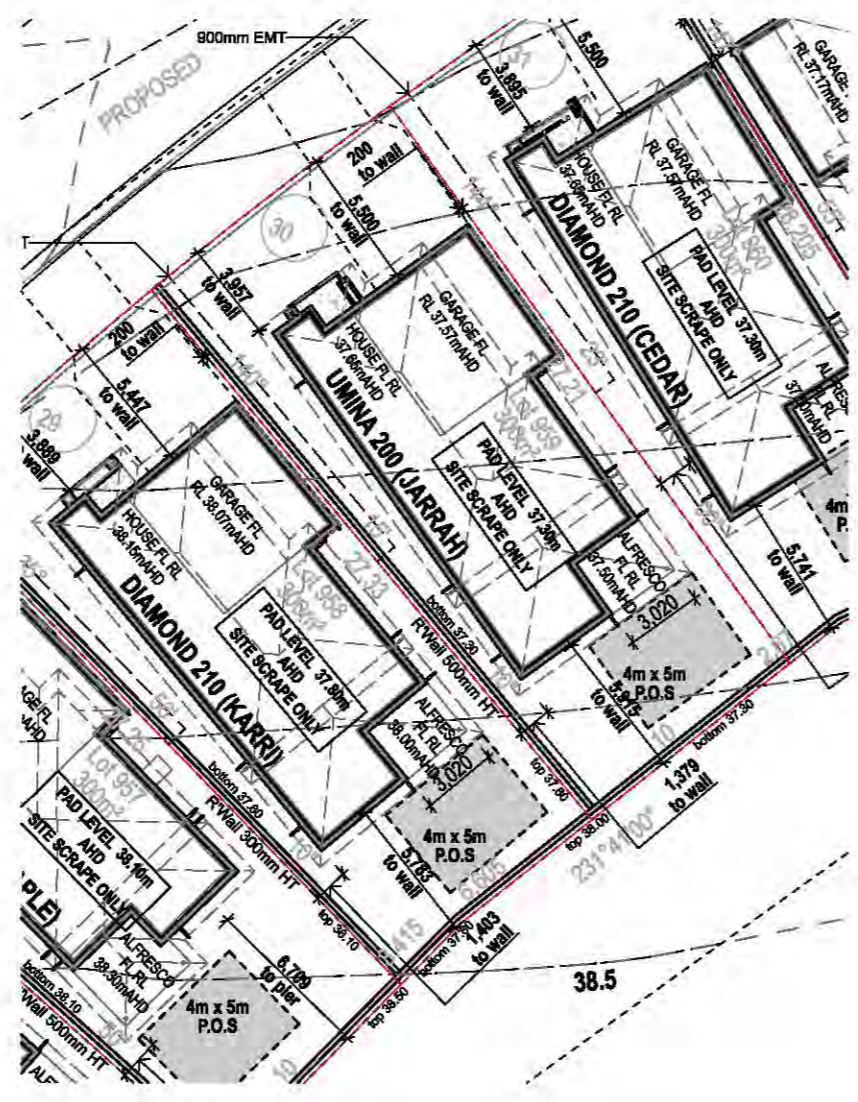
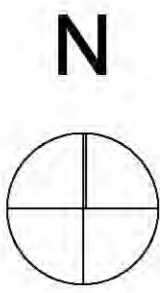
**PRINCIPLE PRIVATE OPEN SPACE**  
 REQUIRED - 20M<sup>2</sup> (5MX4M)  
 PROVIDED - 124.23M<sup>2</sup>

**GENERAL NOTES**

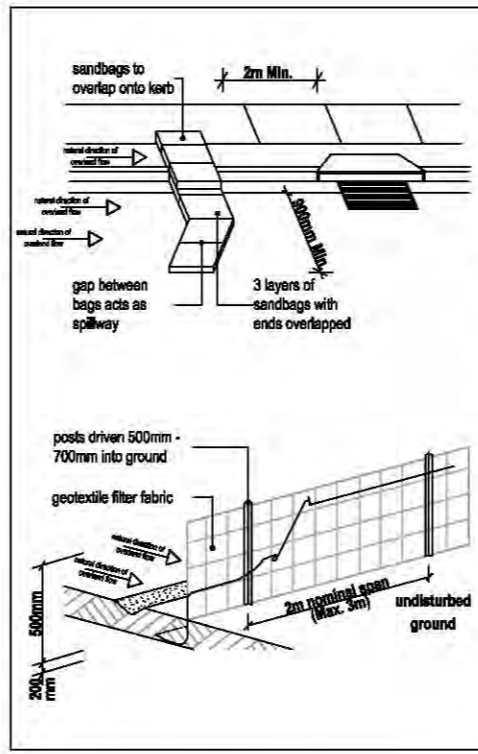
- Stormwater to discharge into designated discharge point to PCA requirements
- Sewer to local authorities requirements.
- All ground lines are to be verified on site by the builder
- Final location of buildings to be verified on-site by a registered surveyor.
- Written dimensions to take precedence over scaling. Any plan discrepency to be preferred back to design before proceeding.
- Site classification TBA
- house platform to RL 37.30m AHD Approx.
- House floor level RL 37.65m AHD Approx., 310-385mm above platform level, garage level approx. RL 37.57m AHD 310-385mm above platform level

**Legend**

- Silt barrier
- Driveway location
- Stormwater drainage
- Developer retaining



**Plan**  
**Site Plan - Proposed**  
 SCALE: 1:300



**SILT FENCE DETAILS**  
 Sediment Control Notes:

All erosion & sediment control measurements including revegetation and storage of soil & top soil, shall be implemented to the standard of the soil conservation of N.S.W.

All drainage works shall be constructed around and stabilized as early as possible during development.

Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trenches.

All sediment basins & traps shall be cleared when the structures are a maximum of 60% full of materials, including the maintenance period.

All disturbed areas shall be revegetated as soon as the relevant works are completed.

Soil & topsoil stockpiles shall be located away from drainage lines and area water may concentrate.

Filters shall be constructed by stretching a filter fabric (Propex or approved equivalent between post as 2m centres). Fabric shall be buried 150mm along its lower edge.

**SU-001**  
**Detail Section**  
**Silt Fence Detail\_NSW**  
 SCALE: 1:200

**THE HILLS SHIRE COUNCIL**

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B	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	200.54 m <sup>2</sup>

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 w: www.transpiregroup.com.au

client  
**Yuantong Australia Pty Ltd**

project  
**Umina 200 (Jarrah Facade)**  
 Lot 959 New Road Maraylya NSW 2765

Figure dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by	checked	
	MSC	MCR/	
drawing name		MBA/	
<b>Site Plan</b>	wind class	JSK	
	TBA	soil class	
project status		TBA	
DA			
real property description	flood level	climate zone	BAL
part of Lot 411 in DP	TBA	TBA	TBA
1230476			
covenant	local authority	parish	county
DA	Box Hill S.C	TBA	TBA
drawing number	scale		rev
A3.2	1:200, 1:300@A3		B



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client

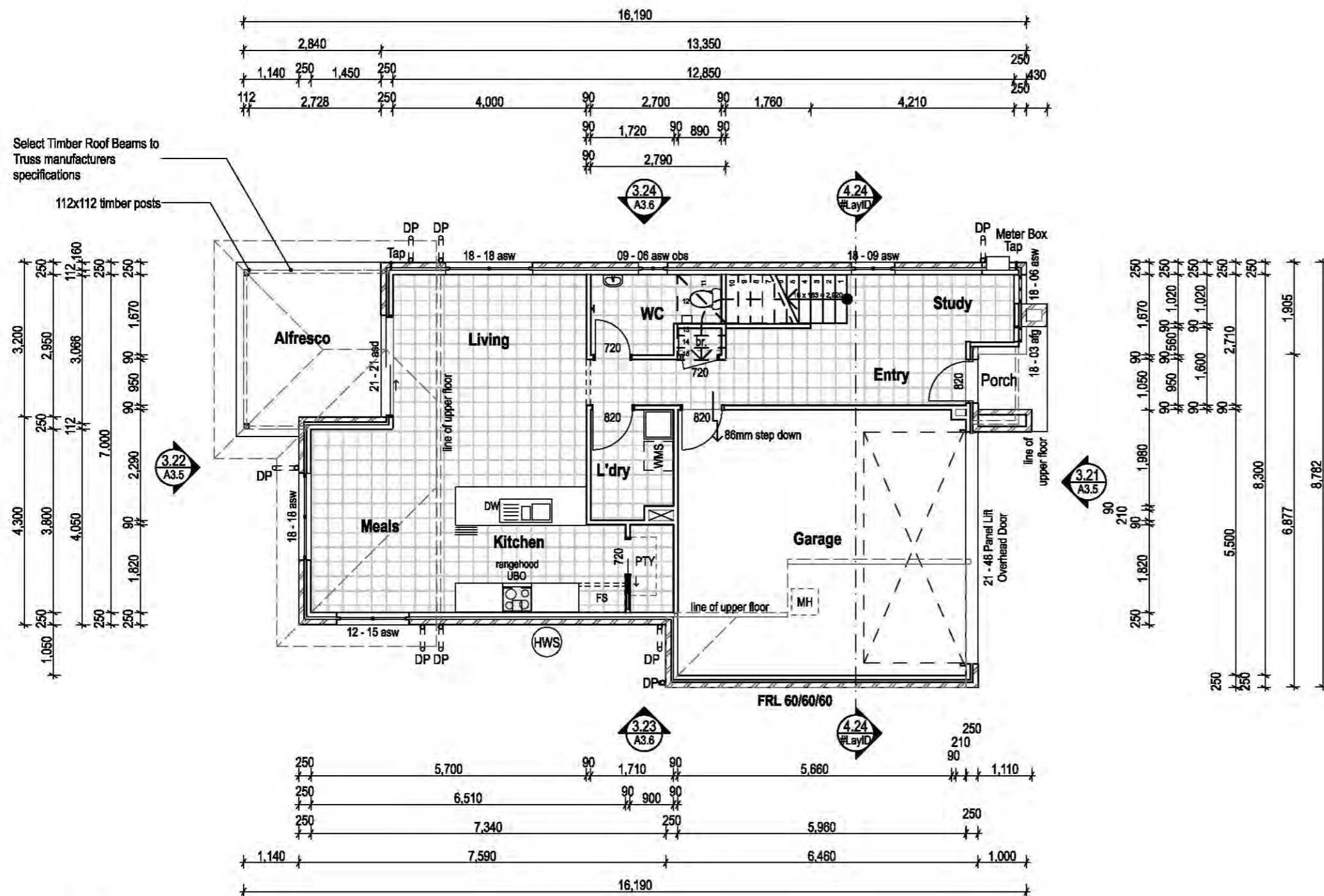
**Yuantong Australia Pty Ltd**

project

**Umina 200 (Jarrah Facade)**  
 Lot 959 New Road Maraylya NSW 2765

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project number	drawn by <b>MSC</b>	checked <b>MCR/</b>	
drawing name <b>Ground Floor Plan</b>	wind class <b>TBA</b>	soil class <b>JSK</b>	<b>TBA</b>
project status <b>DA</b>			
real property description <b>part of Lot 411 in DP 1230476</b>	flood level <b>TBA</b>	climate zone <b>TBA</b>	BAL <b>TBA</b>
coverant <b>DA</b>	local authority <b>Box Hill S.C</b>	parish <b>TBA</b>	county <b>TBA</b>
drawing number <b>A3.3</b>	scale <b>1:100@A3</b>	rev <b>B</b>	



**Plan**  
**Ground Floor Plan - 90mm**  
 SCALE: 1:100

**THE HILLS SHIRE COUNCIL**

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**DEVELOPMENT CONSENT**  
**DA 1468/2019/ZE**

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THE HILLS SHIRE COUNCIL

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A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	200.54 m <sup>2</sup>

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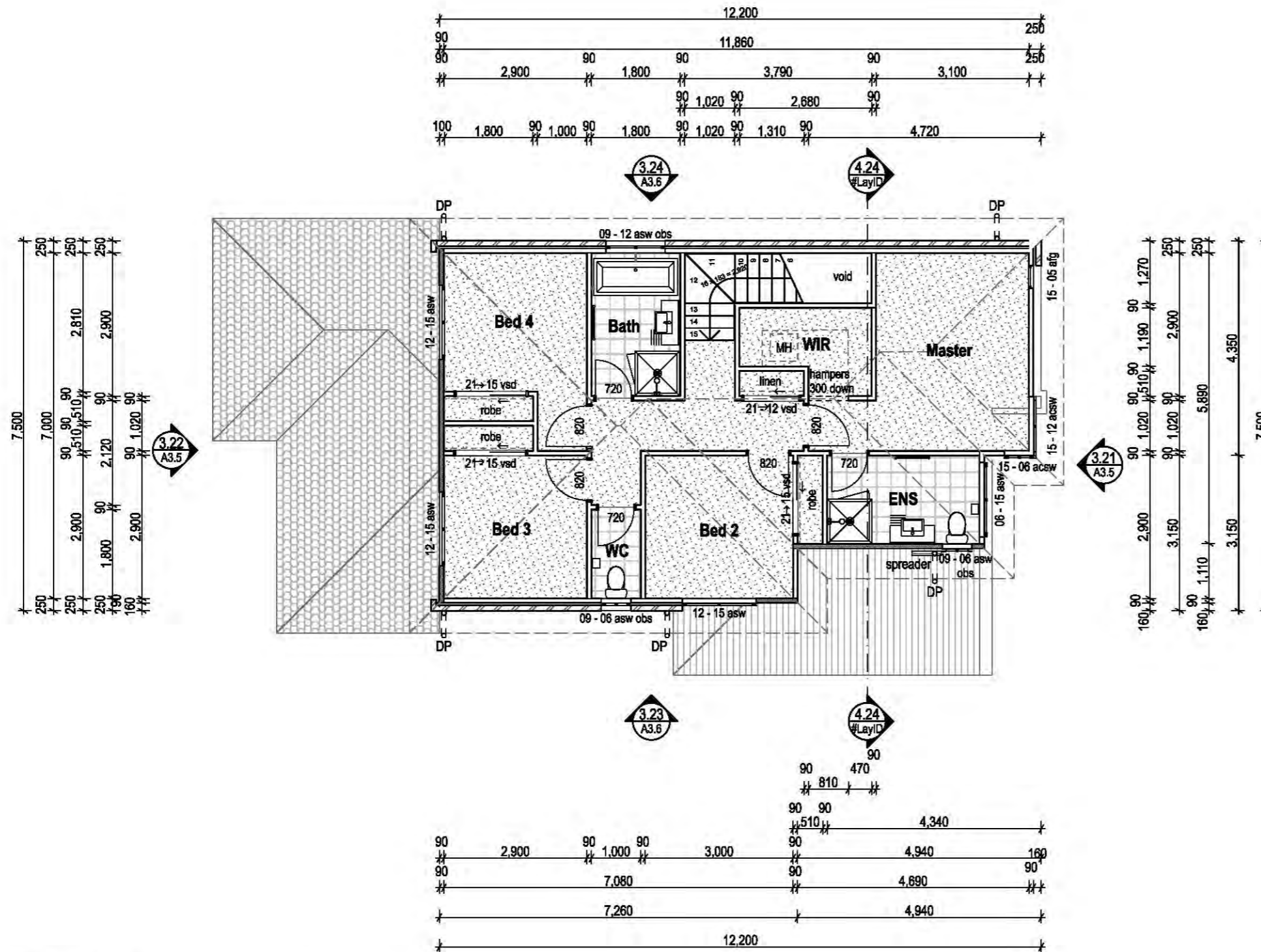


client  
**Yuantong Australia Pty Ltd**

project  
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Lot 959 New Road Maraylya NSW 2765

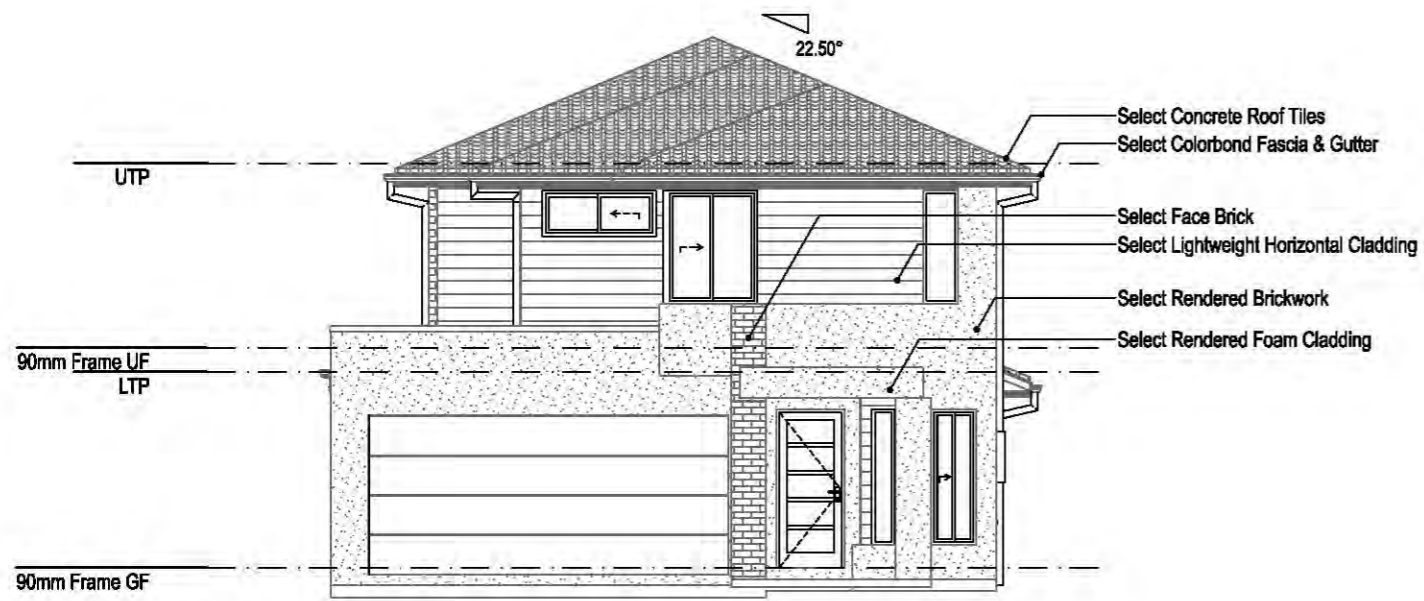
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

drawing name	Upper Floor Plan	drawn by	MSC	checked	MCR/ MBA/ JSK
project status	DA	wind class	TBA	soil class	TBA
real property description	part of Lot 411 in DP 1230476	flood level	TBA	climate zone	BAL TBA
covenant	DA	local authority	Box Hill S.C	parish	TBA
county	TBA	scale	1:100@A3	rev	B

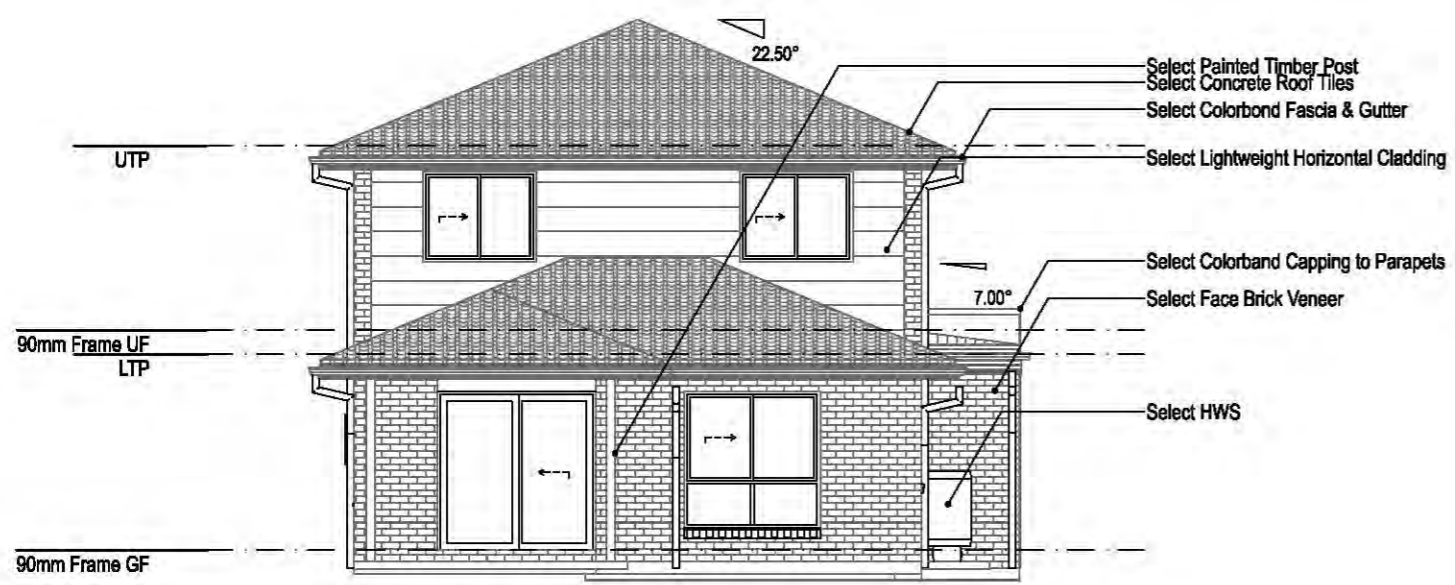


Plan  
**Upper Floor Plan - 90mm**  
SCALE: 1:100





**3.21 Plan**  
**Jarrah - West**  
 SCALE: 1:100



**3.22 Plan**  
**East**  
 SCALE: 1:100

**THE HILLS SHIRE COUNCIL**

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A		MJS	12/11/19
REV.	DETAILS	INT	Issue Date

Total Areas	
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	200.54 m <sup>2</sup>

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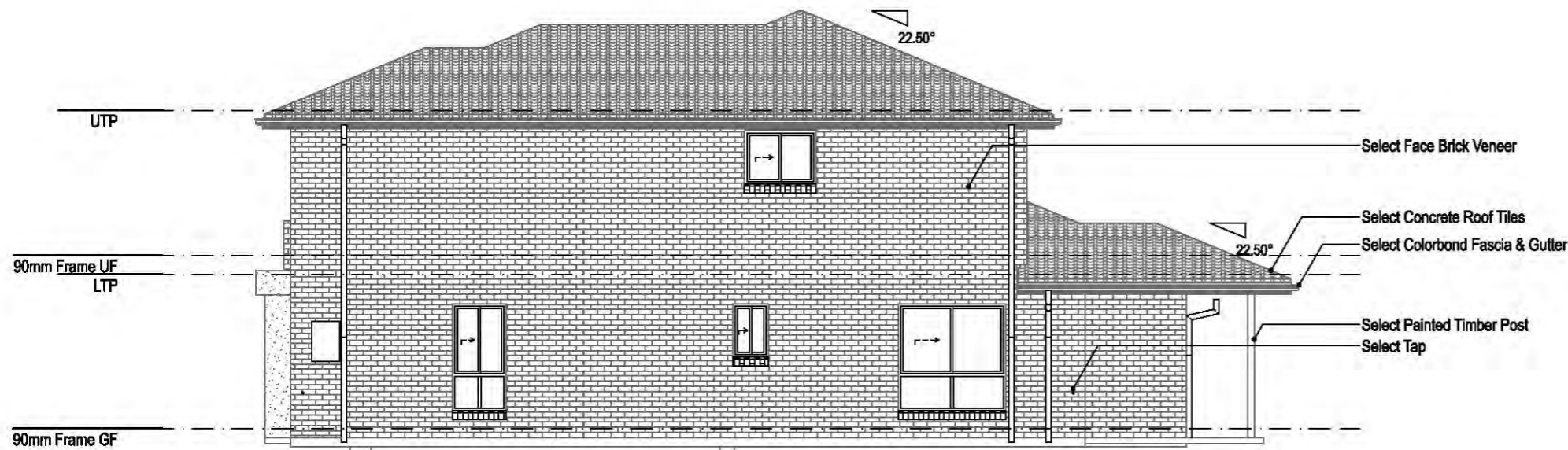
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by <b>MSC</b>	checked <b>MCR/ MBA/ JSK</b>	soil class <b>TBA</b>
drawing name <b>Elevations 1</b>	wind class <b>TBA</b>	climate zone <b>TBA</b>	BAL <b>TBA</b>
project status <b>DA</b>	real property description <b>part of Lot 411 in DP 1230476</b>	flood level <b>TBA</b>	county <b>TBA</b>
covenant <b>DA</b>	local authority <b>Box Hill S.C</b>	parish <b>TBA</b>	county <b>TBA</b>
drawing number <b>A3.5</b>	scale <b>1:100@A3</b>	rev <b>B</b>	





**3.23 Plan North**  
SCALE: 1:100



**3.24 Plan South**  
SCALE: 1:100

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A		MJS	12/11/19
REV.	<b>DETAILS</b>	INT	<b>Issue Date</b>

Total Areas	
Alfresco	10.13
Garage	36.25
House Lower	73.99
House Upper	77.89
Porch	2.28
	<b>200.54 m<sup>2</sup></b>

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w: www.transpiregroup.com.au

client  
**Yuantong Australia Pty Ltd**

project  
**Umina 200 (Jarrah Facade)**  
Lot 959 New Road Maraylya NSW 2765

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project number	drawn by <b>MSC</b>	checked <b>MCR/ MBA/ JSK</b>	
drawing name <b>Elevations 2</b>	wind class <b>TBA</b>	soil class <b>TBA</b>	
project status <b>DA</b>			
real property description <b>part of Lot 411 in DP 1230476</b>	flood level <b>TBA</b>	climate zone <b>TBA</b>	BAL <b>TBA</b>
covenant <b>DA</b>	local authority <b>Box Hill S.C</b>	parish <b>TBA</b>	county <b>TBA</b>
drawing number <b>A3.6</b>	scale <b>1:100@A3</b>	rev <b>B</b>	



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Total Areas	
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House Upper	77.89
Porch	2.28
	200.54 m <sup>2</sup>

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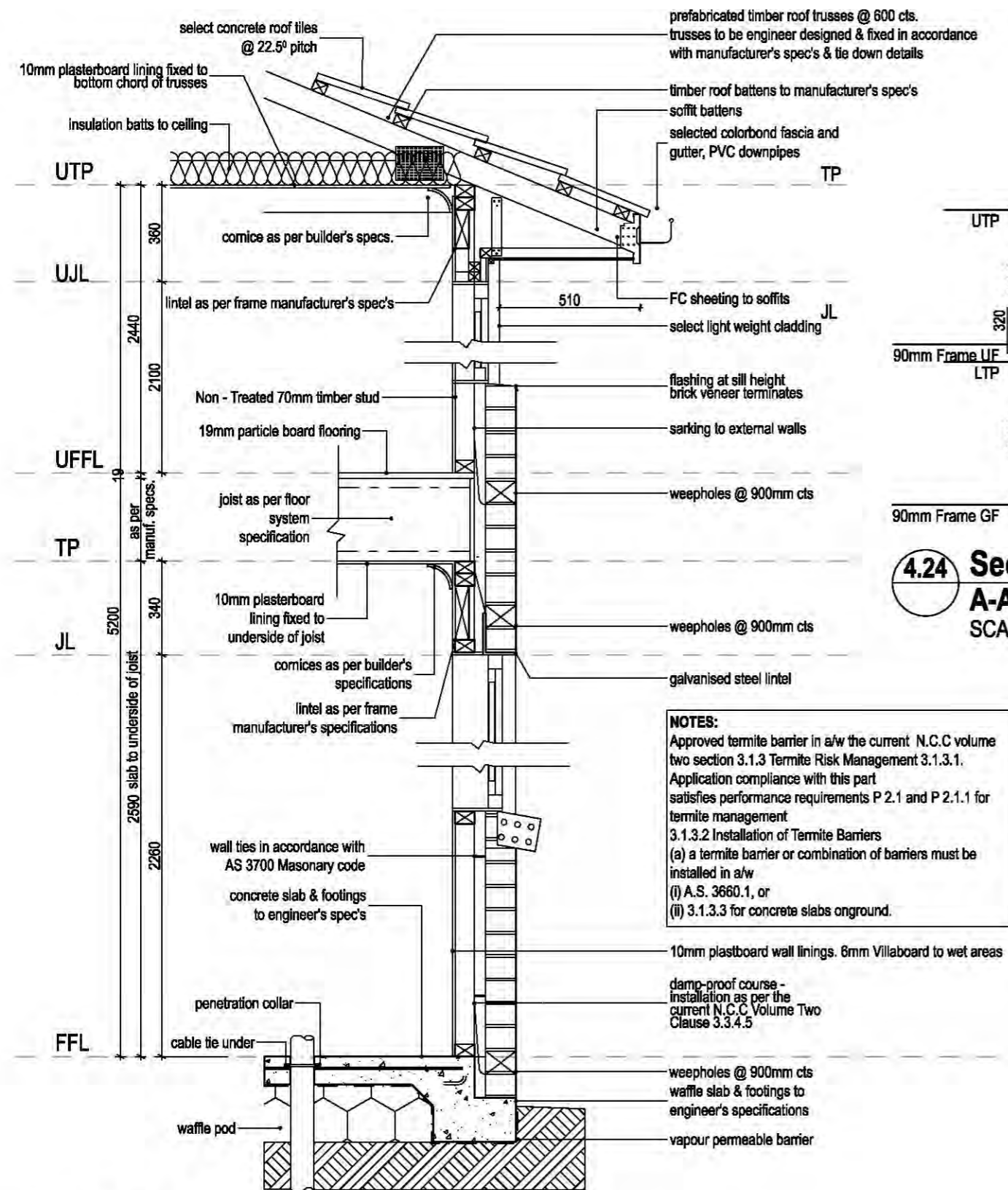
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 Lot 959 New Road Maraylya NSW 2765

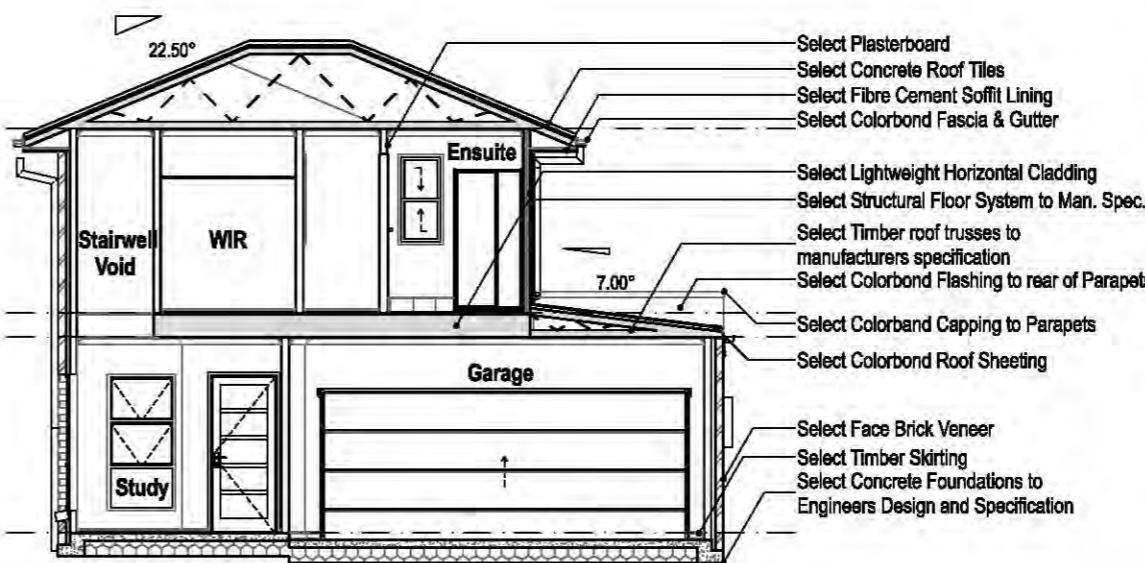
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project number	drawn by	checked	
	MSC	MCR/	
drawing name		MBA/	
<b>Section &amp; Detail</b>	wind class	JSK	
project status	TBA	soil class	
DA		TBA	
real property description	flood level	climate zone	BAL
part of Lot 411 in DP	TBA	TBA	TBA
1230476			
covenant	local authority	parish	county
DA	Box Hill S.C	TBA	TBA
drawing number	scale	rev	
<b>A3.7</b>	1:100, 1:20@A3	B	



**4.24 Section A-A**  
 SCALE: 1:100

**NOTES:**  
 Approved termite barrier in a/w the current N.C.C volume two section 3.1.3 Termite Risk Management 3.1.3.1. Application compliance with this part satisfies performance requirements P 2.1 and P 2.1.1 for termite management  
 3.1.3.2 Installation of Termite Barriers  
 (a) a termite barrier or combination of barriers must be installed in a/w  
 (i) A.S. 3660.1, or  
 (ii) 3.1.3.3 for concrete slabs onground.



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**EW-036 Detail Section**  
**DS\_BV\_2590-2440TP\_22.5Deg\_TileRoof\_600Truss\_450Eave**  
 SCALE: 1:20



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project  
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project number	drawn by <b>MSC</b>	checked <b>MCR/ MBA/ JSK</b>	
drawing name <b>External Colours</b>	wind class <b>TBA</b>	soil class <b>TBA</b>	
project status <b>DA</b>			
real property description <b>part of Lot 411 in DP 1230476</b>	flood level <b>TBA</b>	climate zone <b>TBA</b>	BAL <b>TBA</b>
covenant <b>DA</b>	local authority <b>Box Hill S.C</b>	parish <b>TBA</b>	county <b>TBA</b>
drawing number <b>A3.8</b>	scale <b>@A3</b>	rev <b>B</b>	

# External Colour Scheme

## COOPER

	STANDARD	COMMENTS
<b>COLORBOND ROOF</b>	Custom Orb	Woodland Grey
<b>TILED ROOF</b>	Bristle Classic Range	Gun Metal
	Guttering	Woodland Grey
	Fascia	Woodland Grey
	Barge capping (if applicable)	Woodland Grey
	Dry verge (if applicable)	Woodland Grey
<b>WINDOWS</b>	Dowell	Paperbark
<b>BRICKS</b>	PGH Velour	Brown
<b>MORTAR JOINTS</b>	Ironed	Off-white
<b>EAVES</b>		Builders White
<b>MAIN HOUSE COLOUR</b>		Dulux Hog Bristle
<b>FEATURE COLOUR</b>		Dulux Paperbark
<b>ENTRY DOOR</b>		Dulux Brown Leaf
<b>PVC DOWNPIPES</b>	Over Brick/Main Colour	Dulux Paperbark
	Over Feature Colour	Dulux Paperbark
<b>TIMBER POST</b>	Feature Colour	Dulux Brown Leaf
<b>LETTERBOX</b>	Main Colour	Dulux Paperbark
<b>BUNKER LIGHTS</b>		Silver
<b>CLOTHES LINE</b>		Classic Cream
<b>GARAGE DOOR</b>	Flat Line	Terrain
<b>COLOURED CONCRETE</b>		Chocolate

**THE HILLS SHIRE COUNCIL**

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**SITE COVERAGE**  
 PERMISSIBLE = 55% OR 165M<sup>2</sup>  
 PROVIDED = 44.22% OR 132.66M<sup>2</sup>

**SOFT LANDSCAPE**  
 Refer to landscape intent plans

**PRINCIPLE PRIVATE OPEN SPACE**  
 REQUIRED - 20M<sup>2</sup> (5Mx4M)  
 PROVIDED - 112.6M<sup>2</sup>

**GENERAL NOTES**

- Stormwater to discharge into designated discharge point to PCA requirements
- Sewer to local authorities requirements.
- All ground lines are to be verified on site by the builder
- Final location of buildings to be verified on-site by a registered surveyor.
- Written dimensions to take precedence over scaling. Any plan discrepancy to be preferred back to design before proceeding.
- Site classification TBA
- house platform to RL 37.3m AHD Approx.
- House floor level RL 37.65m AHD Approx., 310-385mm above platform level, garage level approx. RL 37.57m AHD 310-385mm above platform level

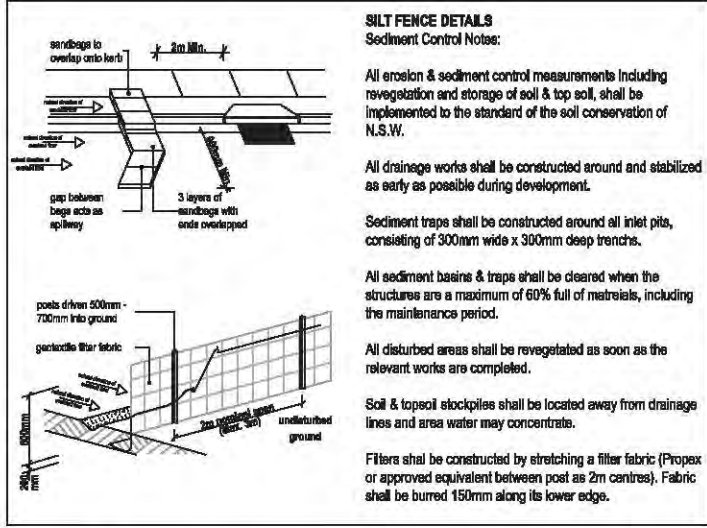
**Legend**

- Silt barrier
- Driveway location
- Stormwater drainage
- Developer retaining

**THE HILLS SHIRE COUNCIL**

**APPROVED  
 DEVELOPMENT CONSENT  
 DA 1468/2019/ZE**

Please refer to conditions of Development Consent for details of matters which must be complied with.



**SILT FENCE DETAILS**  
 Sediment Control Notes:

All erosion & sediment control measurements including revegetation and storage of soil & top soil, shall be implemented to the standard of the soil conservation of N.S.W.

All drainage works shall be constructed around and stabilized as early as possible during development.

Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trenches.

All sediment basins & traps shall be cleared when the structures are a maximum of 60% full of materials, including the maintenance period.

All disturbed areas shall be revegetated as soon as the relevant works are completed.

Soil & topsoil stockpiles shall be located away from drainage lines and area water may concentrate.

Filters shall be constructed by stretching a filter fabric (Propex or approved equivalent) between post as 2m centres). Fabric shall be buried 150mm along its lower edge.

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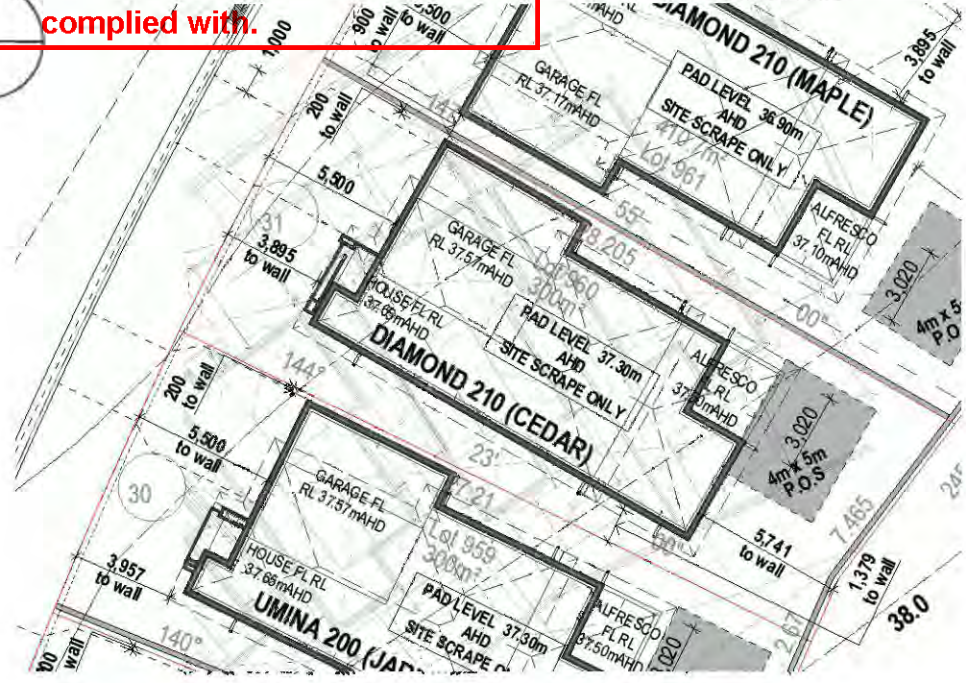
B	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

**ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE WITH:**

THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS & POLICIES  
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 CURRENT MANUFACTURERS SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED

**SU-001 Detail Section**  
**Silt Fence Detail\_NSW**  
 SCALE: 1:200



**Plan**  
**Site Plan - Proposed**



**transpire**  
 constructions

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 W: www.transpiregroup.com.au

client:  
**Yuantong Australia Pty Ltd**

project:  
**Diamond 210 (Cedar Facade)**  
 Lot 960 New Road Marayya NSW 2765

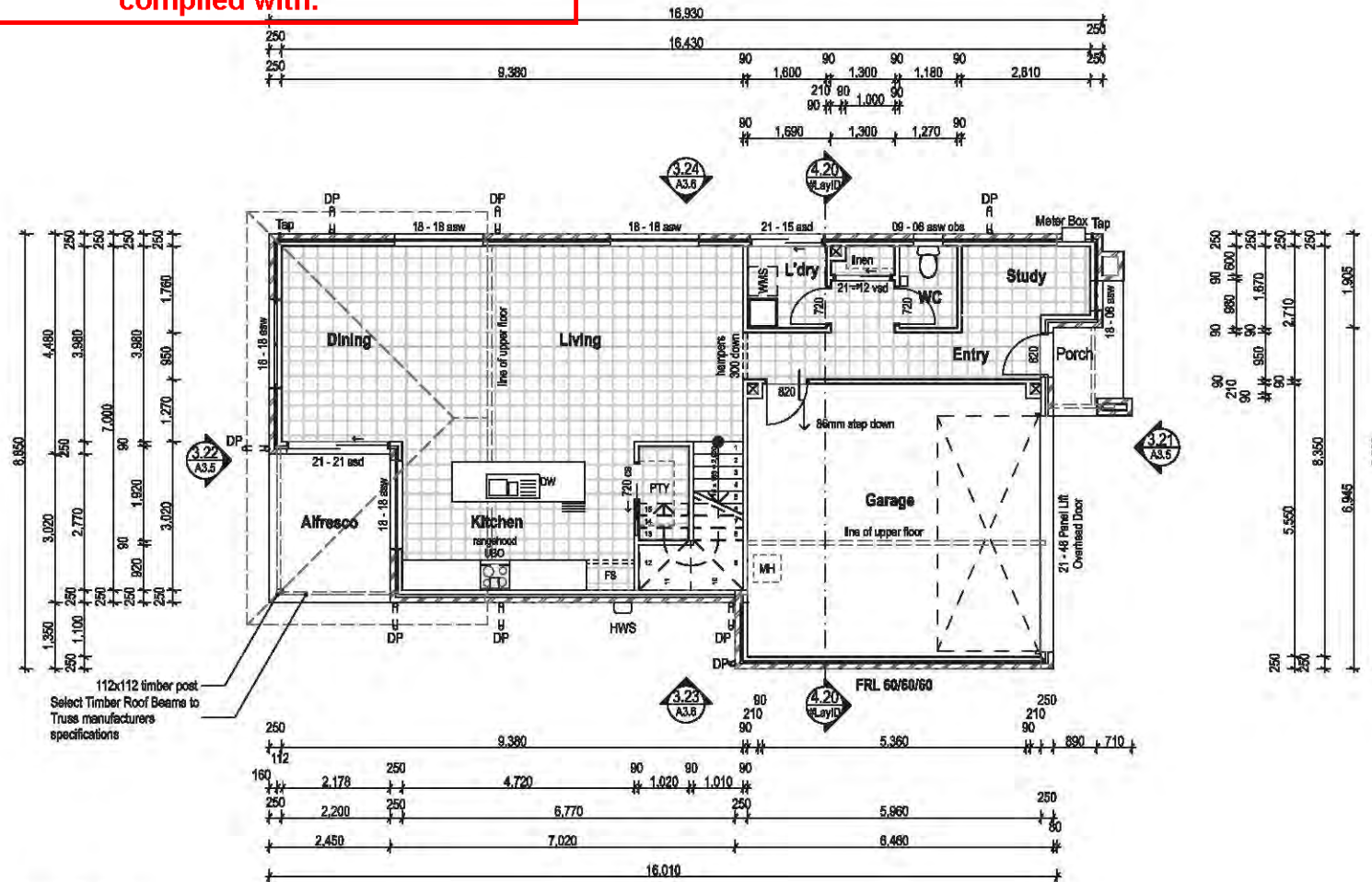
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	DA	drawn by	MBC	checked	MCR/ MBA/ JSK
drawing name	Site Plan	wind class	TBA	project status	TBA
real property description	part of Lot 411 in DP 1230476	floor level	TBA	climate zone	TBA
consent	DA	local authority	Box Hill S.C	parish	TBA
drawing number	A3.2	scale	1:200, 1:300@A3	rev	B



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DEVELOPMENT CONSENT  
DA 1468/2019/ZE

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Plan  
Ground Floor Plan  
SCALE: 1:100

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REV.	DETAILS	MJS INT	12/11/19 Date
B	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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W: www.transpiregroup.com.au

Client:  
Yuantong Australia Pty Ltd

Project:  
Diamond 210 (Cedar Facade)  
Lot 960 New Road Marayya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	DA	drawn by	MBC	checked	MCR/ MBA/ JSK
drawing name	Ground Floor Plan	w/nd class	TBA		
project status	DA				
real property description	part of Lot 411 in DP 1230476	floor level	TBA	climate zone	BAL
consent	DA	local authority	Box Hill S.C	parish	TBA
county					TBA
drawing number	A3.3	scale	1:100@AS	rev	B



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DA 1468/2019/ZE

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REV.	DETAILS	MJS	12/11/19
A	Site plan amended, Floor plans amended, Elevations amended	MJS	12/11/19
		INT	25/01/20
			Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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CURRENT MANUFACTURERS SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED



transpire  
constructions

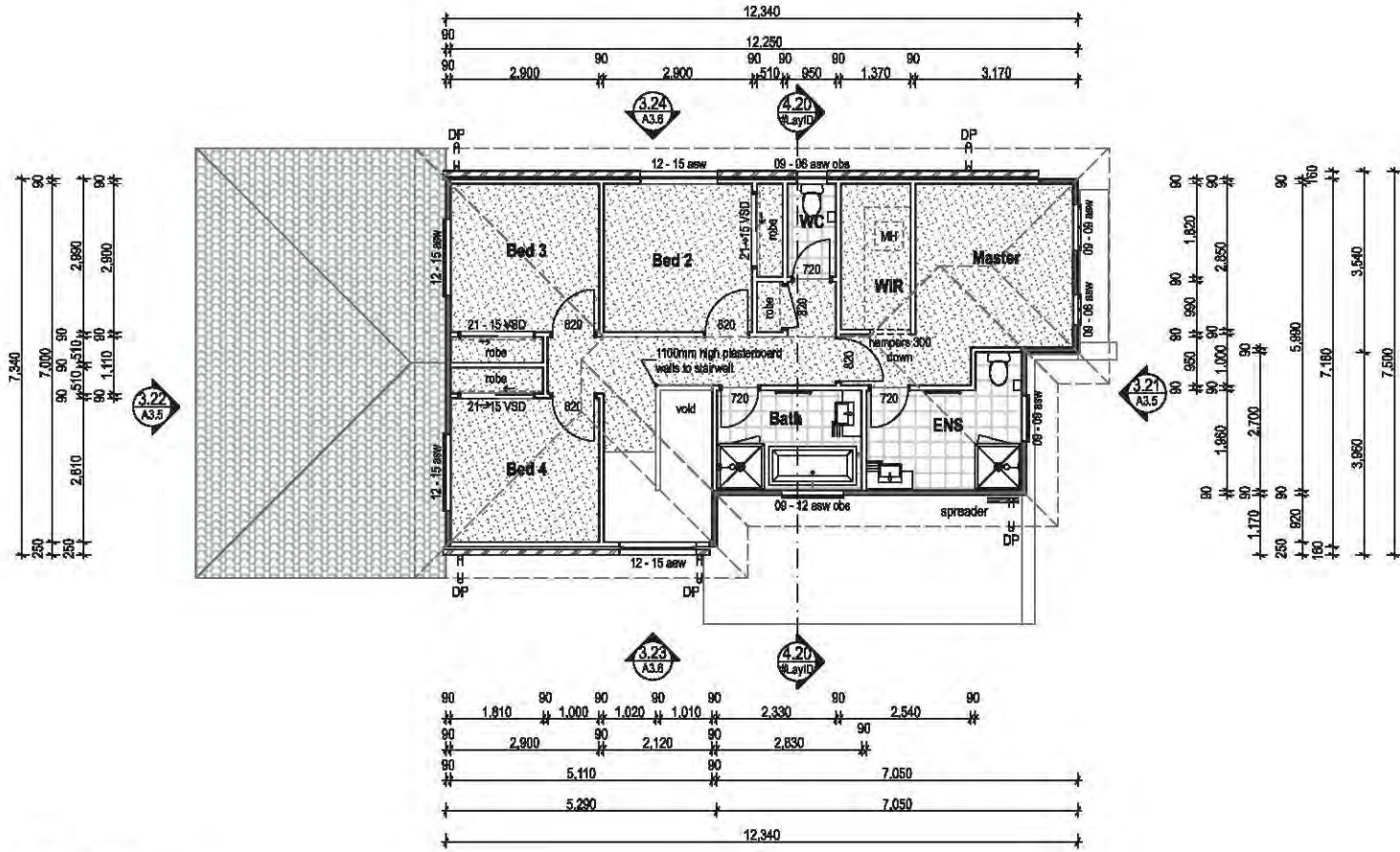
Transpire Constructions  
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QLD 4227  
T: 07 5589 2800  
E: info@transpiregroup.com.au  
W: www.transpiregroup.com.au

client:  
Yuantong Australia Pty Ltd

project:  
Diamond 210 (Cedar Facade)  
Lot 960 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by	checked
	MBC	MCR/
drawing name		MBA/
Upper Floor Plan	wind class	JSK
project status	TBA	not class
DA		TBA
real property description	floor level	climate zone
part of Lot 411 in DP	TBA	TBA
1230476		TBA
covenant	local authority	parish
DA	Box Hill	TBA
	S.C	county
		TBA
drawing number	scale	rev
A3.4	1:100@A3	B

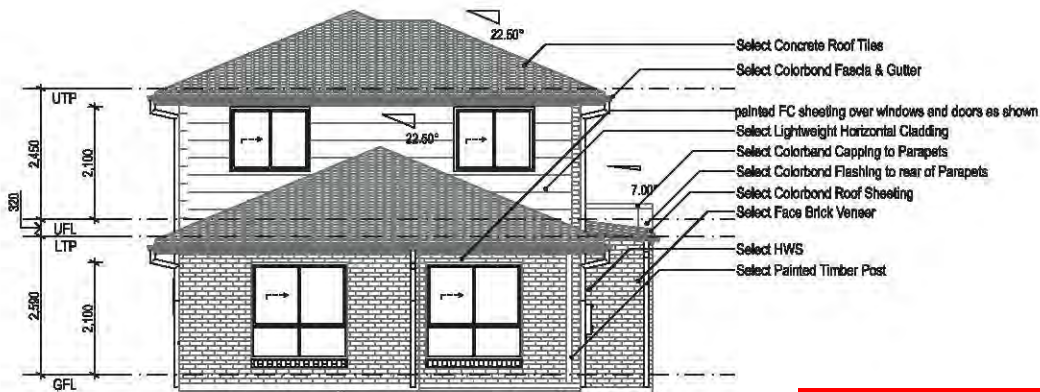


Plan  
Upper Floor Plan  
SCALE: 1:100





**Elevation**  
**Cedar - West**  
SCALE: 1:100



**Elevation**  
**East**  
SCALE: 1:100

**NOTE:**  
**450mm EAVE (610MM TO FRAME) UNO**

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REV.	DESCRIPTION	DATE
B	Site plan amended, Floor plans amended, Elevations amended	MJS 12/11/19
A		MJS 12/11/19
		28/08/19
		Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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client:  
**Yuantong Australia Pty Ltd**

project:  
**Diamond 210 (Cedar Facade)**  
Lot 960 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by	checked	
	MBC	MCR/	
drawing name		MBA/	
<b>Elevations 1</b>	w/nd class	JSK	
project status	TBA	TBA	
DA			
real property description	floor level	climate zone	BAL
part of Lot 411 in DP	TBA	TBA	TBA
1230476			
covenant	local authority	parish	county
DA	Box Hill	TBA	TBA
	S.C		
drawing number	scale	rev	
<b>A3.5</b>	1:100@AS	B	

**THE HILLS SHIRE COUNCIL**

**APPROVED**  
**DEVELOPMENT CONSENT**  
**DA 1468/2019/ZE**

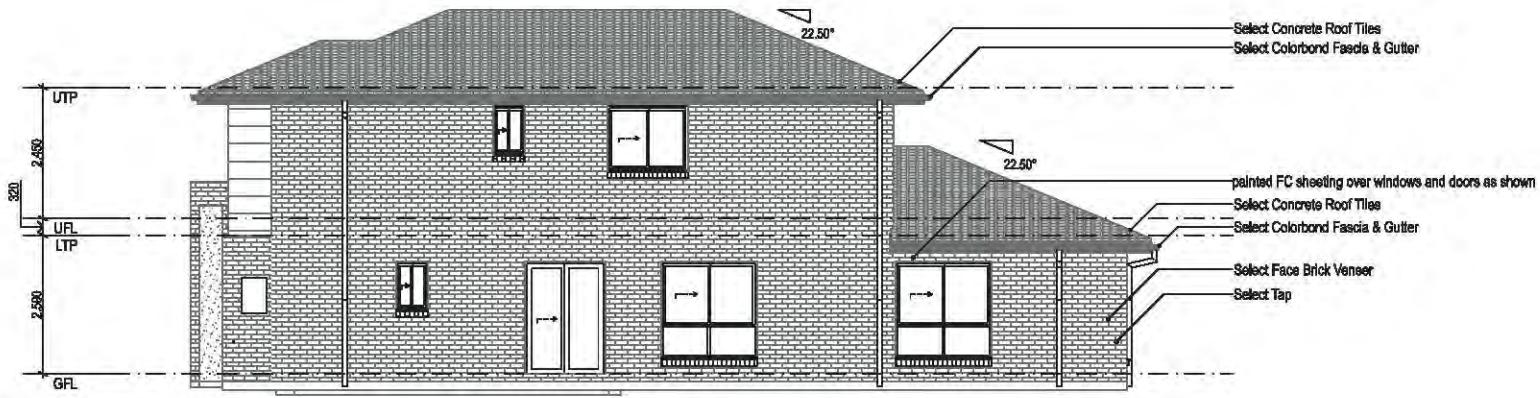
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**Elevation North**  
 SCALE: 1:100



**Elevation South**  
 SCALE: 1:100

REV.	DESCRIPTION	DATE
B	Site plan amended, Floor plans amended, Elevations amended	12/11/19
A		12/11/19
		18/08/19

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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 W: www.transpiregroup.com.au

client:  
**Yuantong Australia Pty Ltd**

project:  
**Diamond 210 (Cedar Facade)**  
 Lot 960 New Road Maraylya NSW 2766

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

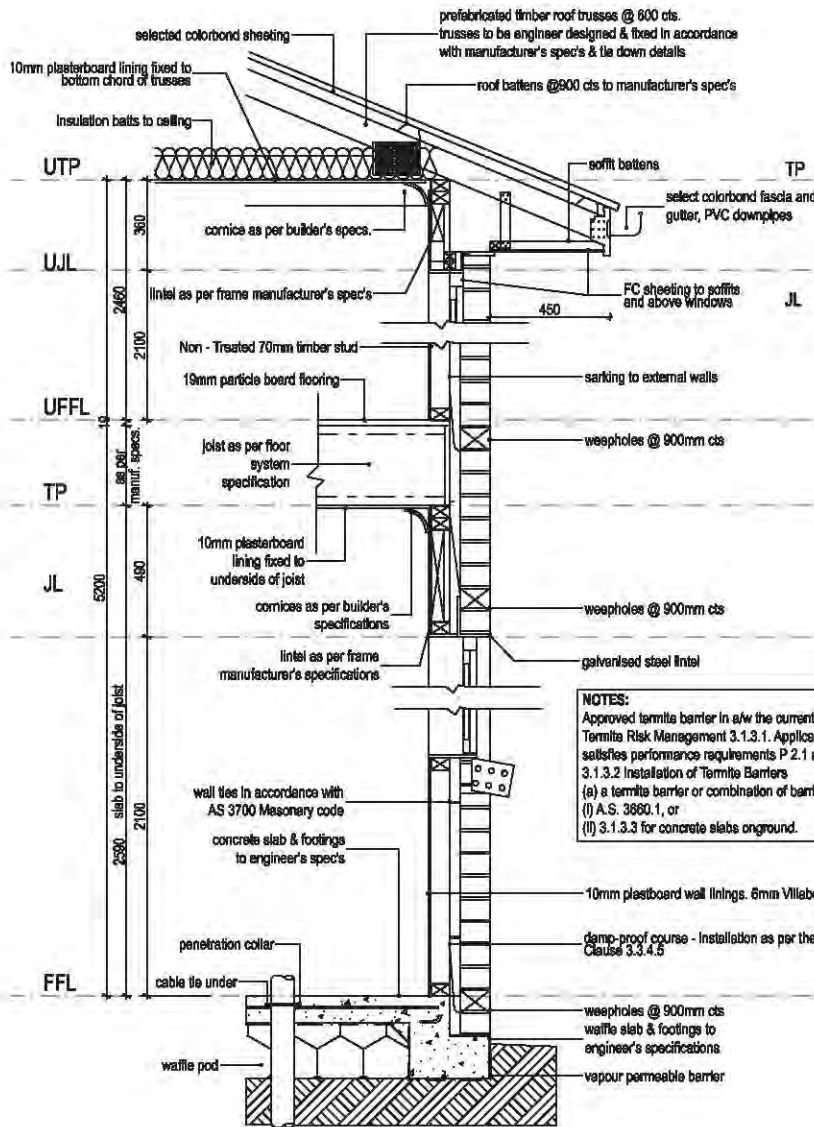
project number	drawn by	checked	
	MBC	MCR/	
drawing name		MBA/	
<b>Elevations 2</b>	wind class	JSK	
project status		not class	
DA	TBA	TBA	
real property description	floor level	climate zone	BAL
part of Lot 411 in DP 1230476	TBA	TBA	TBA
covenant	local authority	parish	county
DA	Box Hill S.C	TBA	TBA
drawing number	scale	rev	
<b>A3.6</b>	1:100@AS	B	

**THE HILLS SHIRE COUNCIL**

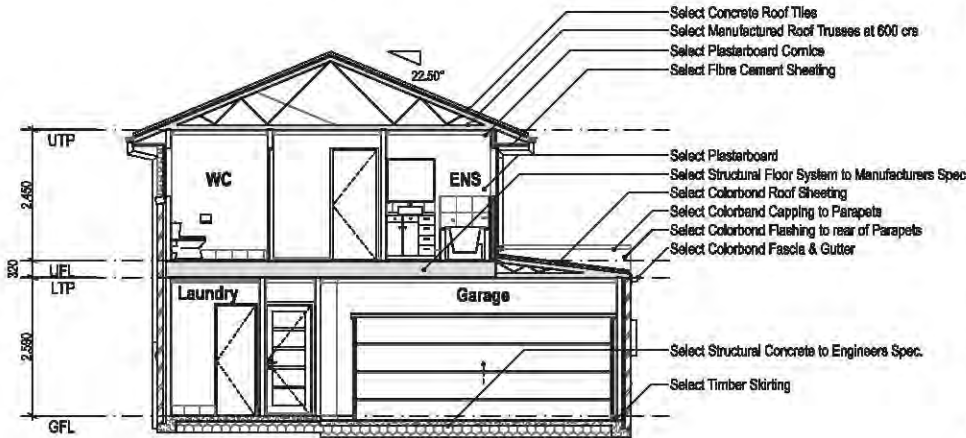
**APPROVED DEVELOPMENT CONSENT**  
**DA 1468/2019/ZE**

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**NOTES:**  
 Approved termite barrier in a/w the current N.C.C volume two section 3.1.3 Termite Risk Management 3.1.3.1. Application compliance with this part satisfies performance requirements P 2.1 and P 2.1.1 for termite management 3.1.3.2 Installation of Termite Barriers  
 (a) a termite barrier or combination of barriers must be installed in a/w (i) A.S. 3680.1, or (ii) 3.1.3.3 for concrete slabs on ground.



**Section A-A**  
 SCALE: 1:100

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A		MJS	12/11/19
REV.	DETAILS	INT	Date

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 E: info@transpiregroup.com.au  
 W: www.transpiregroup.com.au

client:  
**Yuantong Australia Pty Ltd**

project:  
**Diamond 210 (Cedar Facade)**  
 Lot 860 New Road Marayya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by	checked
	MBC	MCR/
drawing name		MBA/
<b>Section and Detail</b>	w/nd class	JSK
project status	TBA	not class
DA		TBA
real property description	floor level	climate zone
part of Lot 411 in DP 1230476	TBA	TBA
consent	local authority	parish
DA	Box Hill S.C	TBA
	county	TBA
drawing number	scale	rev
<b>A3.7</b>	1:100, 1:20@AS	B

**EW-010 Detail Section**  
 DS\_BV\_2580-2460TP\_22.5Deg\_SheetRoof\_600Truss\_450Eave  
 SCALE: 1:20

**THE HILLS SHIRE COUNCIL**

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**DA 1468/2019/ZE**

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# External Colour Scheme - NSW YARRA

		STANDARD	COMMENTS
<b>COLORBOND ROOF TILED ROOF</b>	Custom Orb	Woodland Grey	
	Bristle Classic Range	Gun Metal	
	Guttering	Woodland Grey	
	Fascia	Woodland Grey	
	Barge capping (if applicable)	Woodland Grey	
	Dry verge (if applicable)	Woodland Grey	
<b>WINDOWS</b>	Dowell	Woodland Grey	
<b>BRICKS</b>	PGH Naturals	Moon Dust	
<b>MORTAR JOINTS</b>	Ironed	Off-white	
<b>EAVES</b>		Builders White	
<b>MAIN HOUSE COLOUR</b>		Dulux Surfemist	
<b>FEATURE COLOUR</b>		Dulux Light Leather	
<b>ENTRY DOOR</b>		Dulux Surfemist	
<b>PVC DOWNPIPES</b>	Over Brick/Main Colour	Dulux Surfemist	
	Over Feature Colour	Dulux Light Leather	
<b>TIMBER POST</b>	Feature Colour	Dulux Light Leather	
<b>LETTERBOX</b>	Main Colour	Dulux Light Leather	
<b>BUNKER LIGHTS</b>		Silver	
<b>CLOTHES LINE</b>		Bark	
<b>GARAGE DOOR</b>	Flat Line	Surfemist	
<b>COLOURED CONCRETE</b>		Slate Grey	

**THE HILLS SHIRE COUNCIL**

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A		MJS	12/11/19
REV.	DETAILS	INT	Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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w: www.transpiregroup.com.au

client:

**Yuantong Australia Pty Ltd**

project:

**Diamond 210 (Cedar Facade)**

Lot 960 New Road Marsayya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number		drawn by	MBC	checked	MCR/ MBA/ JSK
drawing name	<b>External Colours</b>	w/nd class	TBA	not class	TBA
project status	DA				
real property description	part of Lot 411 in DP 1230476	food level	TBA	climate zone	TBA
covenant	DA	local authority	Box Hill S.C	parish	TBA
county					TBA
drawing number	<b>A3.8</b>	scale	@A3	rev	B



**SITE DATA**  
 SITE AREA = 410M<sup>2</sup>

**SITE COVERAGE**  
 PERMISSIBLE = 56% OR 225.5M<sup>2</sup>  
 PROVIDED = 32.35% OR 132.66M<sup>2</sup>

**SOFT LANDSCAPE**  
 Refer to landscape intent plans

**PRINCIPLE PRIVATE OPEN SPACE**  
 REQUIRED - 20M<sup>2</sup> (5Mx4M)  
 PROVIDED - 203.91M<sup>2</sup>

**GENERAL NOTES**

- Stormwater to discharge into designated discharge point to PCA requirements
- Sewer to local authorities requirements.
- All ground lines are to be verified on site by the builder
- Final location of buildings to be verified on-site by a registered surveyor.
- Written dimensions to take precedence over scaling. Any plan discrepancies to be preferred back to design before proceeding.
- Site classification TBA
- house platform to RL 36.90m AHD Approx.
- House floor level RL 37.25m AHD Approx., 310-385mm above platform level, garage level approx. RL 37.17m AHD 310-385mm above platform level

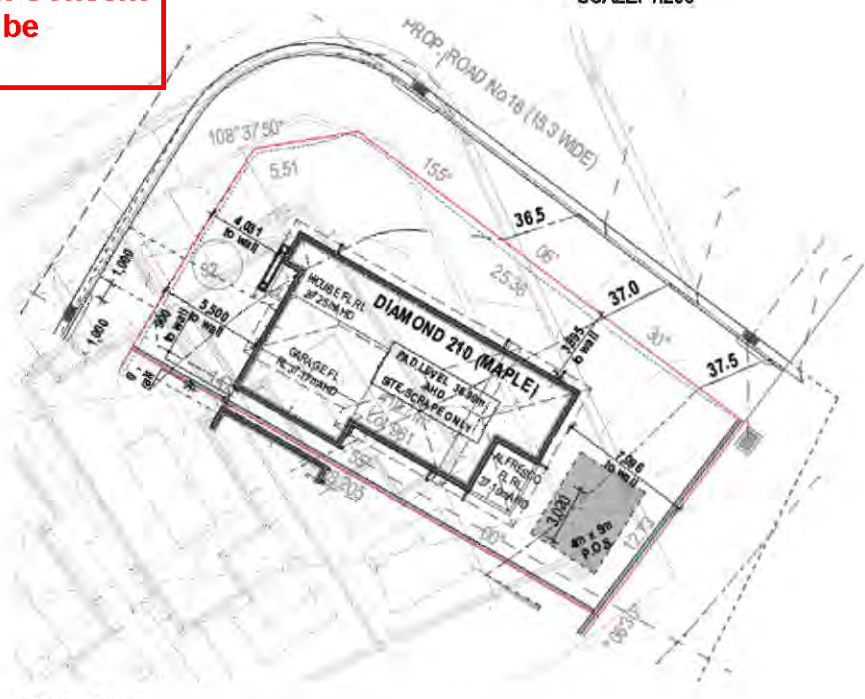
**Legend**

- Silt barrier
- Driveway location
- Stormwater drainage
- Developer retaining

**THE HILLS SHIRE COUNCIL**

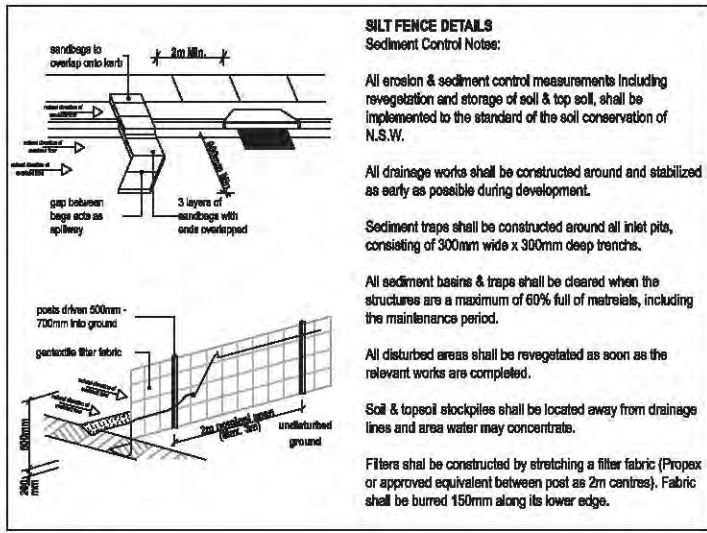
**APPROVED  
 DEVELOPMENT CONSENT  
 DA 1468/2019/ZE**

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**Plan  
 Site Plan - Proposed**

**SU-001  
 Detail Section  
 Silt Fence Detail\_NSW  
 SCALE: 1:200**



**SILT FENCE DETAILS**  
**Sediment Control Notes:**

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Filters shall be constructed by stretching a filter fabric (Propex or approved equivalent) between post as 2m centres). Fabric shall be buried 150mm along its lower edge.

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B	Site Plan amended, Plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
REV.	DETAILS	INT	Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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**Yuantong Australia Pty Ltd**

project:  
**Diamond 210 (Maple Facade)**  
 Lot 861 New Road Marsayya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by	checked	
#P/n	MBC	MCR/	
drawing name		MBA/	
<b>Site Plan</b>	wind class	JSK	
project status	TBA	TBA	
DA			
real property description	floor level	climate zone	BAL
part of Lot 411 in DP 1230476	TBA	TBA	TBA
zoned	local authority	parish	county
DA	Box Hill S.C	TBA	TBA
drawing number	scale	rev	
<b>A3.2</b>	1:200, 1:300@A3	B	



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REV.	Site Plan amended, Plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
		INT	25/09/19
			Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

**ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE WITH:**  
 THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA); THE QUEENSLAND DEVELOPMENT CODE (QDC); BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS & POLICIES  
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 CURRENT MANUFACTURERS SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED



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client:

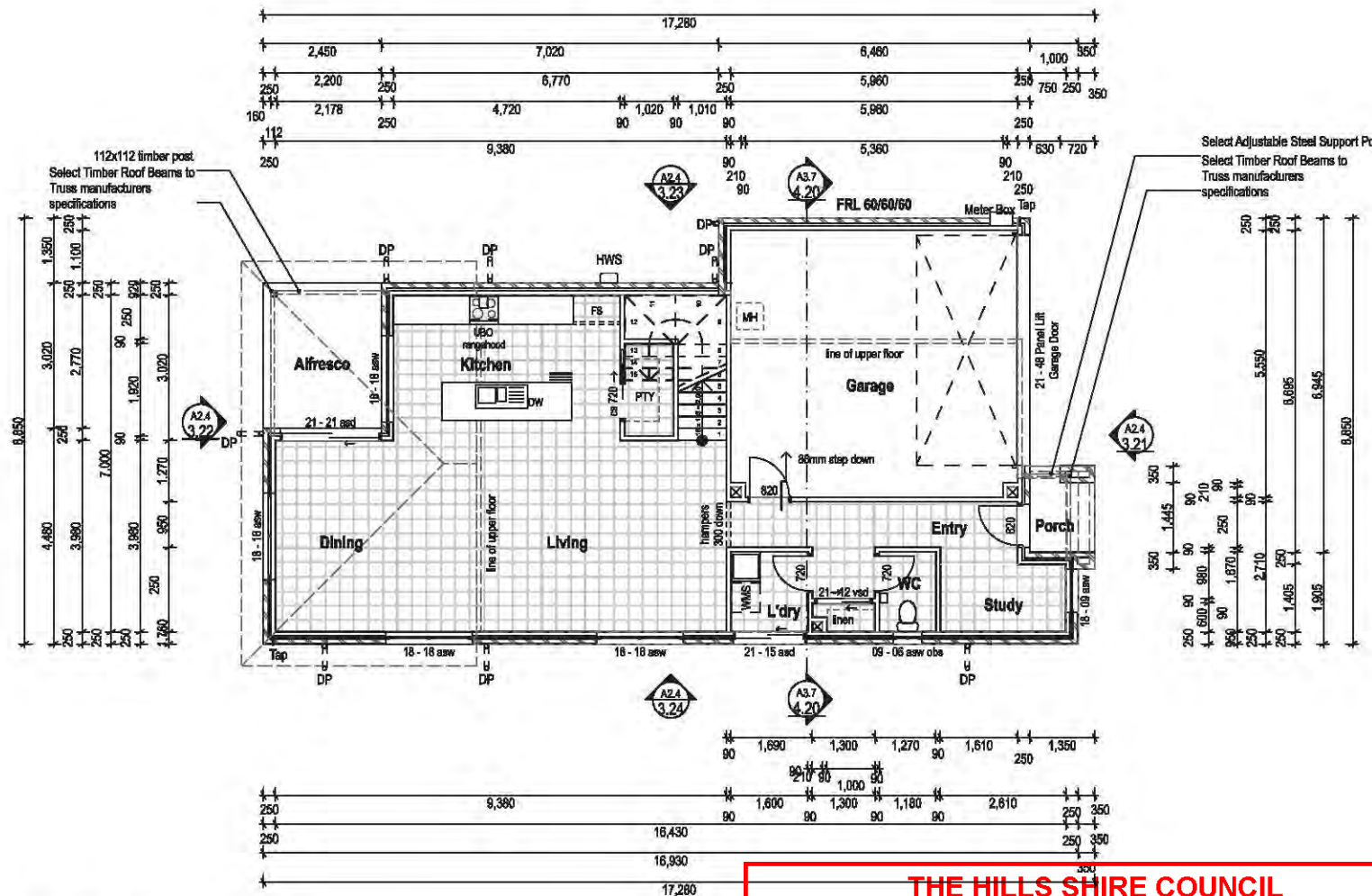
**Yuantong Australia Pty Ltd**

project:

**Diamond 210 (Maple Facade)**  
 Lot 861 New Road Marayya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	#P1n	drawn by	MBC	checked	MCR/ MSA/ JSK
drawing name	Ground Floor Plan	wind class	TBA	project status	TBA
real property description	part of Lot 411 in DP 1230476	floor level	TBA	climate zone	TBA
consent	DA	local authority	Box Hill S.C	parish	TBA
drawing number	A3.3	scale	1:100@AS	county	TBA
		rev	B		



**Plan**  
**Ground Floor Plan**  
 SCALE: 1:100

**THE HILLS SHIRE COUNCIL**

**APPROVED**  
**DEVELOPMENT CONSENT**  
**DA 1468/2019/ZE**

**Please refer to conditions of Development Consent for details of matters which must be complied with.**



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DEVELOPMENT CONSENT  
DA 1468/2019/ZE

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REV.	DETAILS	MJS	12/11/19
A	Site Plan amended, Plans amended, Elevations amended	MJS	12/11/19
		INT	28/08/19
			Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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client:  
Yuantong Australia Pty Ltd

project:  
Diamond 210 (Maple Facade)  
Lot 861 New Road Marayya NSW 2765

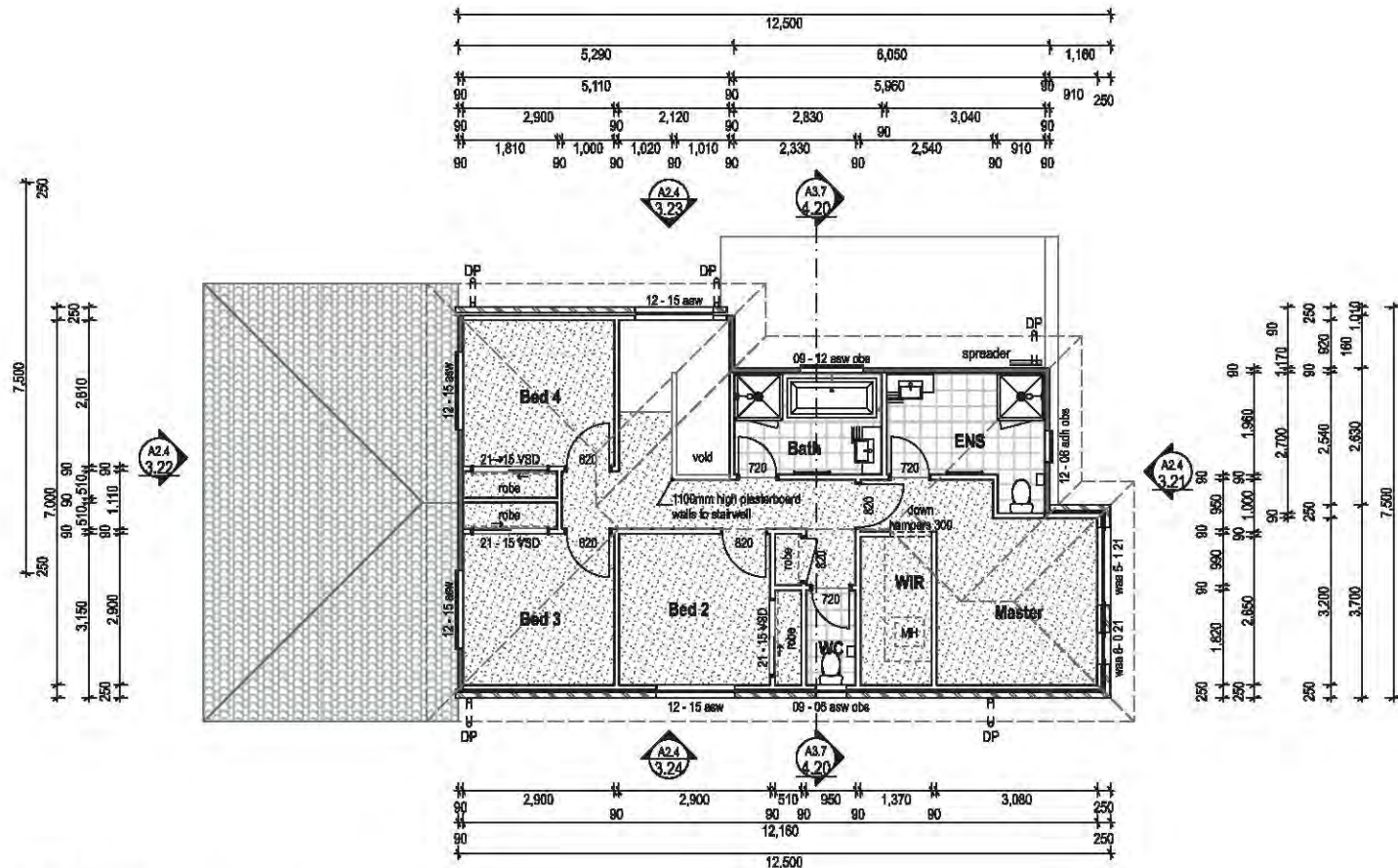
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by	checked
#P11	MBC	MCR/
drawing name		MBA/
Upper Floor Plan	wind class	JSK
project status		not class
DA		TBA

real property description	floor level	climate zone	BAL
part of Lot 411 in DP 1230476	TBA	TBA	TBA

covenant	local authority	parish	county
DA	Box Hill S.C	TBA	TBA

drawing number	scale	rev
A3.4	1:100@AS	B

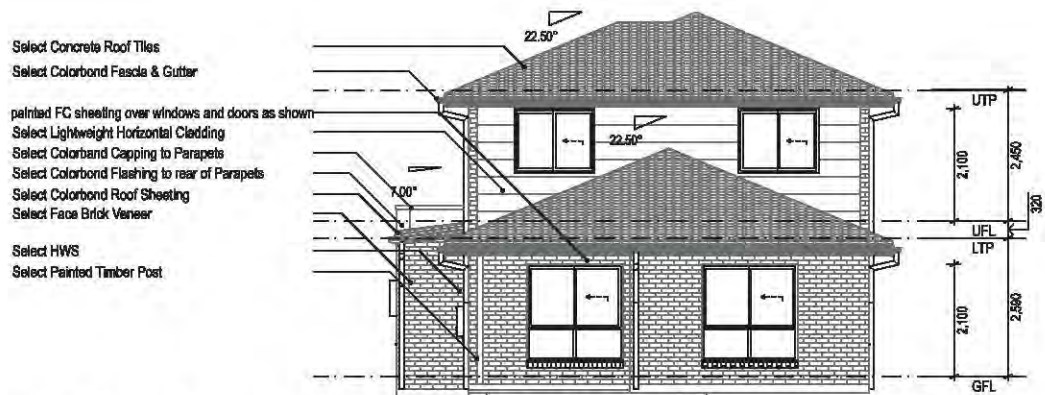


Plan  
Upper Floor Plan  
SCALE: 1:100





**Elevation**  
**Maple - West**  
SCALE: 1:100



**Elevation**  
**East**  
SCALE: 1:100

**NOTE:**  
**450mm EAVE (610MM TO FRAME) UNO**

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REV.	DETAILS	Site Plan amended, Plans amended, Elevations amended	MJS MJS INT	12/11/19 12/11/19 18/04/19 Date
------	---------	--	-------------------	--

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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W: www.transpiregroup.com.au

client:  
**Yuantong Australia Pty Ltd**

project:  
**Diamond 210 (Maple Facade)**  
Lot 861 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	#P1n	drawing name	Elevations 1	project status	DA	real property description	part of Lot 411 in DP 1230476	consent	DA	drawing number	A3.5
drawn by	MBC	w/d class	TBA	floor level	TBA	local authority	Box Hill S.C	scale	1:100@AS	checked	MCR/ MSA/ JSK
checked	MCR/ MSA/ JSK	project status	TBA	climate zone	TBA	parish	TBA	county	TBA	rev	B

**THE HILLS SHIRE COUNCIL**

**APPROVED  
DEVELOPMENT CONSENT  
DA 1468/2019/ZE**

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REV.	Site Plan amended, Plans amended, Elevations amended	MJS	12/11/19
A		MJS	12/11/19
		INT	28/08/20
			Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

**ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE WITH:**  
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client:  
**Yuantong Australia Pty Ltd**

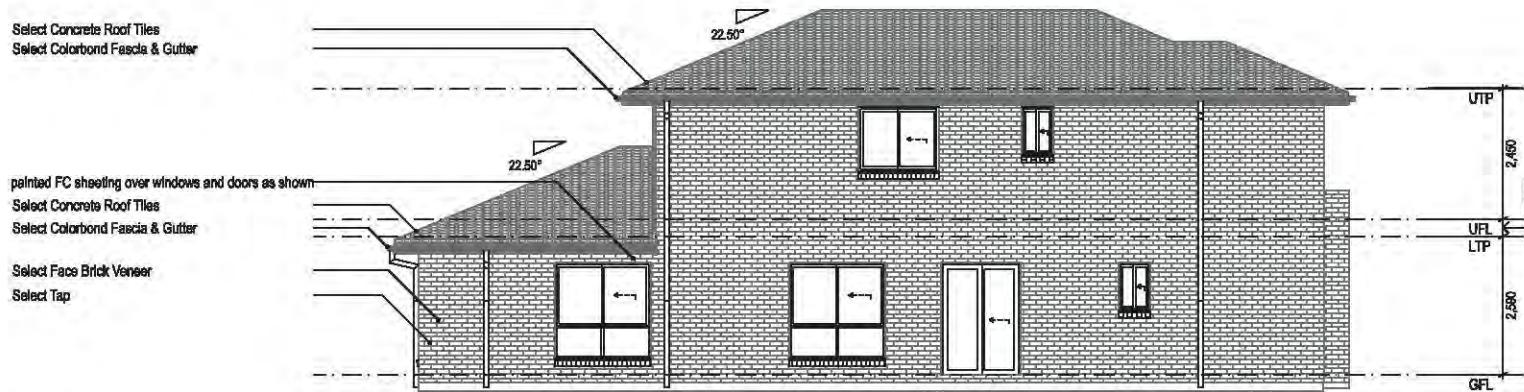
project:  
**Diamond 210 (Maple Facade)**  
 Lot 861 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	#P1n	drawn by	MBC	checked	MCR/
drawing name	Elevations 2	w/nd class	TBA		MBA/
project status	DA				JSK
real property description	part of Lot 411 in DP 1230476	floor level	TBA	climate zone	TBA
consent	DA				TBA
drawing number	A3.6	scale	1:100@AS	rev	B



**Elevation South**  
 SCALE: 1:100



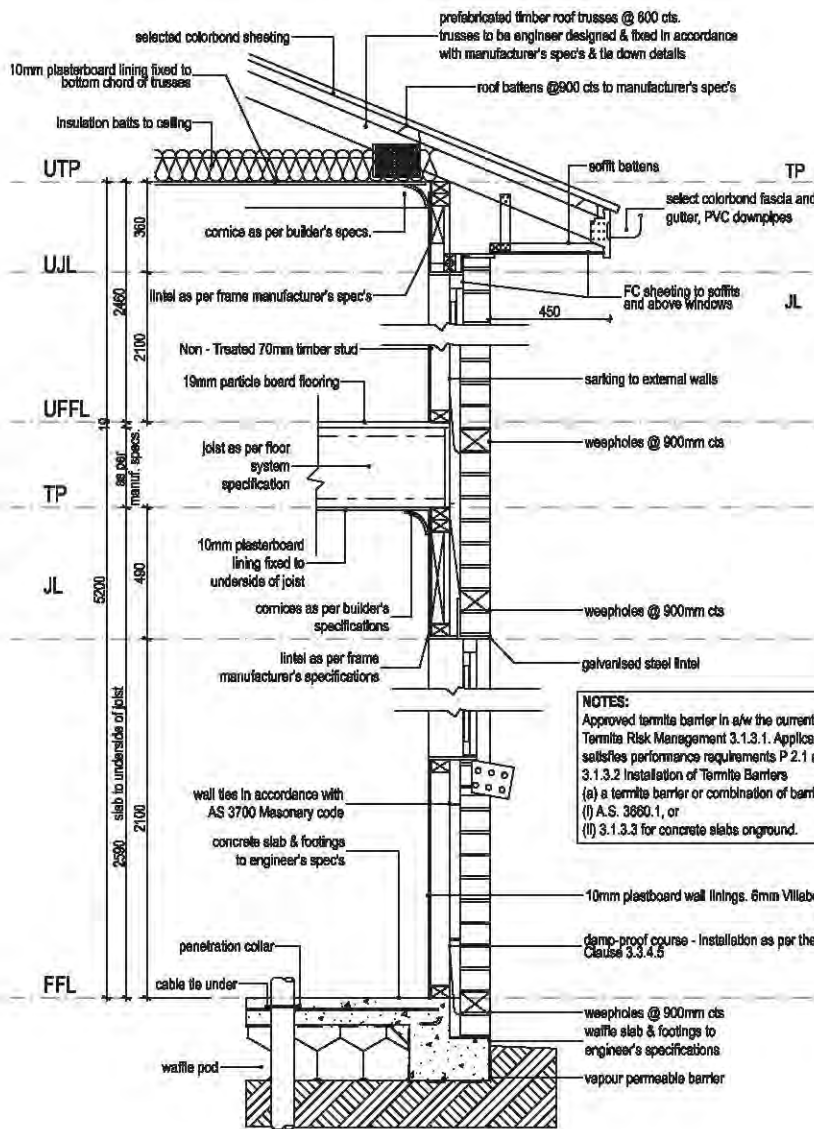
**Elevation North**  
 SCALE: 1:100

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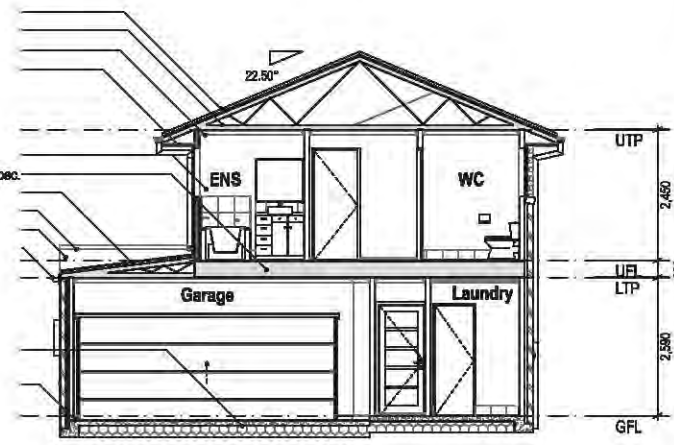
Select Concrete Roof Tiles  
 Select Manufactured Roof Trusses at 600 cts  
 Select Plasterboard Cornice  
 Select Fibre Cement Sheeting

Select Plasterboard  
 Select Structural Floor System to Manufacturers Spec.  
 Select Colorbond Roof Sheeting  
 Select Colorbond Capping to Parapets  
 Select Colorbond Flashing to rear of Parapets  
 Select Colorbond Fascia & Gutter

Select Structural Concrete to Engineers Spec.  
 Select Timber Skirting

Section  
 A-A  
 SCALE: 1:100

**NOTES:**  
 Approved termite barrier in a/w the current N.C.C volume two section 3.1.3  
 Termite Risk Management 3.1.3.1. Application compliance with this part  
 satisfies performance requirements P 2.1 and P 2.1.1 for termite management  
 3.1.3.2 Installation of Termite Barriers  
 (a) a termite barrier or combination of barriers must be installed in a/w  
 (i) A.S. 3680.1, or  
 (ii) 3.1.3.3 for concrete slabs on ground.



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B	Site Plan amended, Plans amended, Elevations amended	MJS	12/11/19
A	REV. DETAILS	MJS INT	12/11/19 25/01/20

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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 w: www.transpiregroup.com.au

client:  
**Yuantong Australia Pty Ltd**

project:  
**Diamond 210 (Maple Facade)**  
 Lot 861 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number #P/n	drawn by MBC	checked MCR/ MBA/ JSK
drawing name <b>Section and Detail</b>	w/nd class TBA	rev class TBA
project status DA		
real property description part of Lot 411 in DP 1230476	floor level TBA	climate zone TBA
consent DA	local authority Box Hill S.C	parish TBA
county TBA		
drawing number <b>A3.7</b>	scale 1:100, 1:20@AS	rev B

**EW-010** Detail Section  
 DS\_BV\_2590-2460TP\_22.5Deg\_SheetRoof\_600Truss\_450Eave  
 SCALE: 1:20

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# External Colour Scheme PAROO

	STANDARD	COMMENTS
<b>COLORBOND ROOF</b>	Custom Orb	Basalt
<b>TILED ROOF</b>	Bristle Classic Range	Gunmetal
	Guttering	Basalt
	Fascia	Basalt
	Barge capping (if applicable)	Basalt
	Dry verge (if applicable)	Basalt
<b>WINDOWS</b>	Dowell	Dune
<b>BRICKS</b>	PGH Velour	Mineral
<b>MORTAR JOINTS</b>	Ironed	Off-white
<b>EAVES</b>		Builders White
<b>MAIN HOUSE COLOUR</b>		Dulux Linseed
<b>FEATURE COLOUR</b>		Dulux Male Quarter
<b>ENTRY DOOR</b>		Dulux Surfemist
<b>PVC DOWNPIPES</b>	Over Brick/Main Colour	Dulux Surfemist
	Over Feature Colour	Dulux Surfemist
<b>TIMBER POST</b>	Feature Colour	Dulux Surfemist
<b>LETTERBOX</b>	Main Colour	Dulux Surfemist
<b>BUNKER LIGHTS</b>		Silver
<b>CLOTHES LINE</b>		Woodland Grey
<b>GARAGE DOOR</b>	Flat Line	Surfemist
<b>COLOURED CONCRETE</b>		Merino

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DA 1468/2019/ZE**

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REV.	DETAILS			
B	Site Plan amended, Plans amended, Elevations amended	MJS	MJS	12/11/19
A				12/11/19
			INT	28/08/19
				Date

Total Areas	
Alfresco	7.40
Garage	36.36
House Lower	86.35
House Upper	77.06
Porch	2.55
	209.72 m <sup>2</sup>

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client:  
**Yuantong Australia Pty Ltd**

project:  
**Diamond 210 (Maple Facade)**  
Lot 861 New Road Maraylya NSW 2765

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by	checked	
#P1n	MBC	MCR/	
drawing name		MBA/	
<b>External Colours</b>	w/nd class	JSK	
project status	TBA	TBA	
DA			
real property description	floor level	climate zone	BAL
part of Lot 411 in DP	TBA	TBA	TBA
1230476			
covenant	local authority	parish	county
DA	Box Hill S.C	TBA	TBA
drawing number	scale	rev	
<b>A3.8</b>	@A3	B	





**LOTS 901- 911  
STREET TREES**

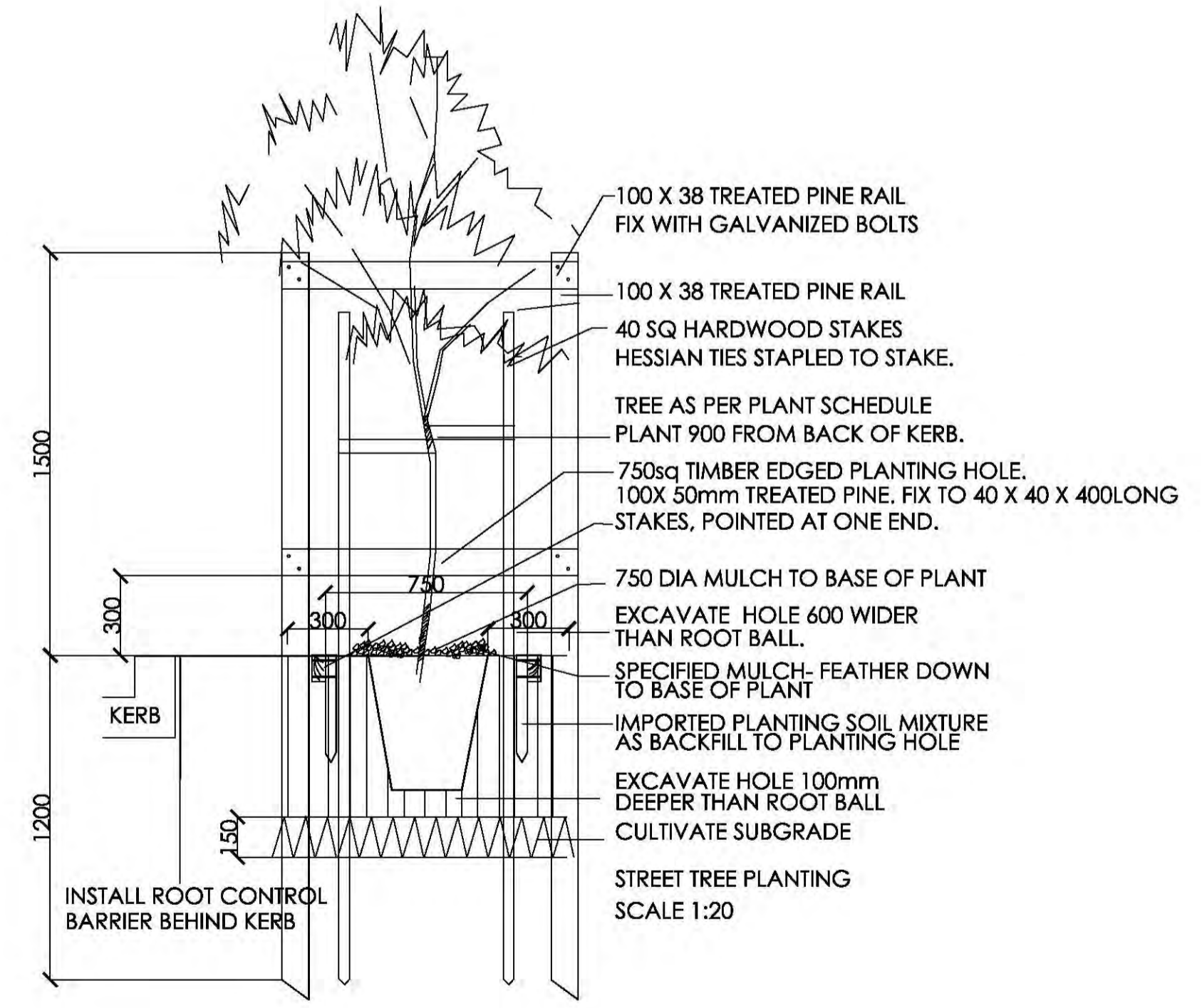
PLANT SCHEDULE NAME	KEY	QTY	SIZE	COMMON NAME	EXT HT X SP @MAT
ACER PLATINOIDES 'GLOBOSUM'	A	12	75L	Globe Norway Maple	6 x 3m
LOPHOSTEMON CONFERTUS	L	11	"	Brush box	15 x 6m
TRISTANIOPSIS LAURINA 'LUSCIOUS'	T	11	"	Water gum var	5 x 4m

**LEGEND**  
 750 sq TIMBER EDGED TREE PLANTING HOLE  
 TURF TO NATURE STRIP: SHADE TOLERANT BUFFALO.



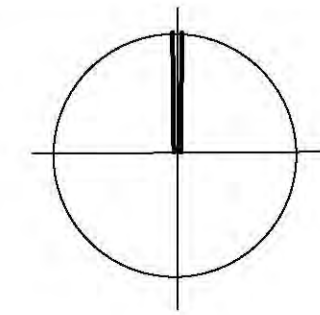
**LOTS 951- 961  
STREET TREES**

**THE HILLS SHIRE COUNCIL**  
  
**APPROVED  
DEVELOPMENT CONSENT  
DA 1468/2019/ZE**  
  
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A	PRELIMINARY	01.05.18
ISSUE	AMENDMENTS	DATE

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CLIENT:  
YUANTONG AUSTRALIA PTY. LIMITED

DATE:  
MARCH 2019  
DWG. NO.  
19-003/L02

SCALE:  
1:500 @ A1  
NO. IN SET  
4

PROJECT:  
PROPOSED INTEGRATED HOUSING &  
SUBDIVISION, LOTS 411-410 XXX  
MARAYLYA

DRAWING:  
STREET TREE PLANTING.

JOCELYN RAMSAY & ASSOC. PTY. LTD  
A.B.N. 38 097 146 999  
LANDSCAPE ARCHITECTS.  
P.O. BOX 292  
CHERRYBROOK NSW 2126  
ph. 0417 227843  
email:jocelyn@jrla.com.au



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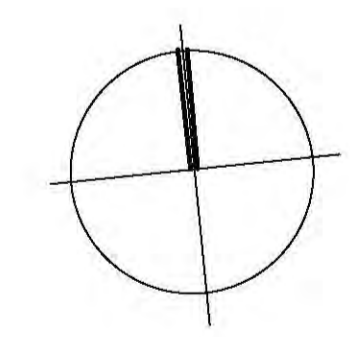
EASEMENT FOR TRANSMISSION LINE



- LEGEND**
- FRL EXISTING CONTOURS
  - TW PROPOSED FINISHED LEVELS
  - PROPOSED LEVEL TOP OF WALL
  - PROPOSED TURF AREAS: 'SIR WALTER BUFFALO'
  - PROPOSED STORMWATER LINES AND PITS refer to Hyd dwgs for full details
  - BRICK EDGING TO MASS PLANTED AREAS
  - PROPOSED LETTERBOX LOCATIONS
  - PROPOSED CLOTHES LINE LOCATIONS: HILLS PARALINE
  - PROPOSED LOCATION PRESSURE SEWER UNIT.
  - PROPOSED RIVER PEBBLE MULCH AREAS: 20mm DIA NEPEAN RIVER PEBBLE 75mm DEEP

**PLANT SCHEDULE- LOTS 951-961.**

NAME	KEY	QTY	SIZE	COMMON NAME	EST HT X SP @ MAT
ELAEOCARPUS RETICULATUS	E	12	75L	Blueberry Ash	5 x 3.5m
LAGERSTROEMIA 'SIOUX'	L	5	"	Crepe myrtle var	4 x 4m
MELALEUCA DECORA	D	4	"	White feather honeymyrtle	8 x 5m
PYRUS CALLERYANA 'CAPITAL'	P	9	"	Ornamental pear var	8 x 2.5m
TRISTANIOPSIS LAURINA 'LUSCIOUS'	T	10	"	Water gum	4 x 4m
CALLISTEMON 'SCARLET FLAME'	O	26	200 dia	Bottlebrush var	1 x 1m
CALLISTEMON VIMINALIS 'SLIM'	P	21	"	Bottlebrush var	2.5 x 1.3m
LOROPETALUM 'RUBRUM'	F	41	"	Purple fringe flower	1.5 x 1.5m
PHORMIUM 'CHOC COOKIES'	X	18	"	NZ flax var	1.5 x 1.5m
RAPHIOLEPIS 'ORIENTAL PEARL'	R	35	"	Dwarf indian hawthorn var	1 x 1m
SYZYGIUM PANICULATUM 'DWARF'	L	15	"	Dwarf lillypill var	2.5 x 1.5m
SYZYGIUM 'PINK CASCADE'	S	26	"	Dwarf lillypill var	2.5 x 1.5m
VIBURNUM ODORATISSIMA	V	18	"	Viburnum	2.5 x 2m
WESTRINGIA 'AUSSIE BOX'	W	50	"	Coast rosemary var	1 x 1m
DIANELLA 'TASMANICA'		@450 cts	2.5L	Native flax var.	0.45 x 0.45m
GREVILLEA JUNIPERINA 'GOLD CLUSTER'		@1m cts	"	Grevillea var.	g'cover
LOMANDRA 'SHARA'		@500cts	"	Mat rush var.	0.45 x 0.45m
LOMANDRA 'TANIKA'		@500cts	"	Mat rush var.	0.6 x 0.6m
NANDINA 'GULF STREAM'		@300cts	"	Dwarf nandina	0.5 x 0.5m
TRACHELOSPERMUM 'TRICOLOR'		@500cts	"	Star jasmine var.	g'cover



A	APPROVAL	21.3.19
	Issue Amendments	Date
	JOCELYN RAMSAY & ASSOC. PTY. LTD	

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email: jocelyn@jrta.com.au

PROJECT:  
PROPOSED INTEGRATED HOUSING  
NEW LOTS 951-961 ROAD #15., MARAYLYA

DRAWING:  
LANDSCAPE PLAN

CLIENT:  
YUANTONG AUST. PTY. LTD.

DATE: MARCH 2019  
DWG. NO. 19-003/L04

SCALE: 1:200 @ A1  
NO. IN SET: 4

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