

GENERAL:

- DO NOT SCALE PLANS, USE WRITTEN DIMENSIONS ONLY
- VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY WORKS / FABRICATION
- FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED
- COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW AND ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION
- THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT
- PROVIDE REMOVABLE HINGES TO WC. DOORS THAT OPEN INTERNALLY
- SEAL ALL SPACES TO PREVENT THE ENTRY OF VERMIN
- KITCHEN LAYOUT IS INDICATIVE ONLY AND SHOULD BE CONFIRMED WITH RELEVANT CONTRACTORS. SPECIFICATION TAKES PRECEDENCE OVER THIS DOCUMENTATION
- RETAINING WALLS ARE INDICATIVE, RETAINING WALLS TO BE DETERMINED ON SITE
- IF THERE ARE ANY DISCREPANCIES TO PLANS CONTACT THE OFFICE IMMEDIATELY

CONSTRUCTION:

- WIND CATEGORY TO BE DETERMINED BY STRUCTURAL ENGINEER OR OTHERS
- ROOF SHEETING/ROOF TILES FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION
- ROOFING BATTENS TO BE SUPPLIED AND INSTALLED TO MANUFACTURER'S SPECIFICATIONS
- BATTEN SPACINGS TO MANUFACTURER'S SPECIFICATION
- PROVIDE ROOF TRUSSES DESIGNED BY TRUSS MANUFACTURER TO SUIT NOMINATED WIND CATEGORY
- BRACING OF TRUSSES TO BE IN ACCORDANCE WITH TRUSS MANUFACTURER'S SPECIFICATIONS.
- FASCIA AND GUTTER TO BUILDER'S SPECIFICATION
- PROVIDE CORNICE AND GYPROCK CEILING AS PER BUILDER'S SPECIFICATION
- PROVIDE INTERNAL STUDS WITH PLASTERBOARD, PROVIDE VILLABOARD OR WATERPROOF PLASTERBOARD APPROVED AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS TO WET AREAS
- CLEARANCE IS REQUIRED TO ALLOW FOR TRUSS DEFLECTION
- ROOF TRUSSES ARE NORMALLY DESIGNED TO FREE-SPAN THE BUILDING WIDTH AND THEREFORE INTERNAL WALLS SHOULD BE KEPT CLEAR OF UNDERSIDE OF TRUSS BOTTOM CHORD OR CEILING BATTENS IF BATTENS CONTINUE ABOVE INTERNAL WALL. FOR NON-TRUSSED ROOFS THE ROOF FRAMING OR NOGGINGS MAY BEAR DIRECTLY ON INTERNAL WALLS
- STAIR REQUIREMENTS - MINIMUM TREAD 240MM, MINIMUM RISER 115MM, MAXIMUM RISER 190MM. SPACE BETWEEN OPEN TREADS MAXIMUM 125MM. TREADS TO BE NON SLIP SURFACE. BALUSTRADES TO BE MINIMUM 1000MM ABOVE LANDINGS WITH MAX OPENING OF 125MM AND IN ACCORDANCE WITH NCC 3.9.2. FOR STAINLESS STEEL BALUSTRADING, REFER TO TABLE 3.9.2.1 (WIRE BALUSTRADE CONSTRUCTION - REQUIRED WIRE TENSION AND MAXIMUM PERMISSIBLE DEFLECTION) OF THE NCC.

TERMITES:

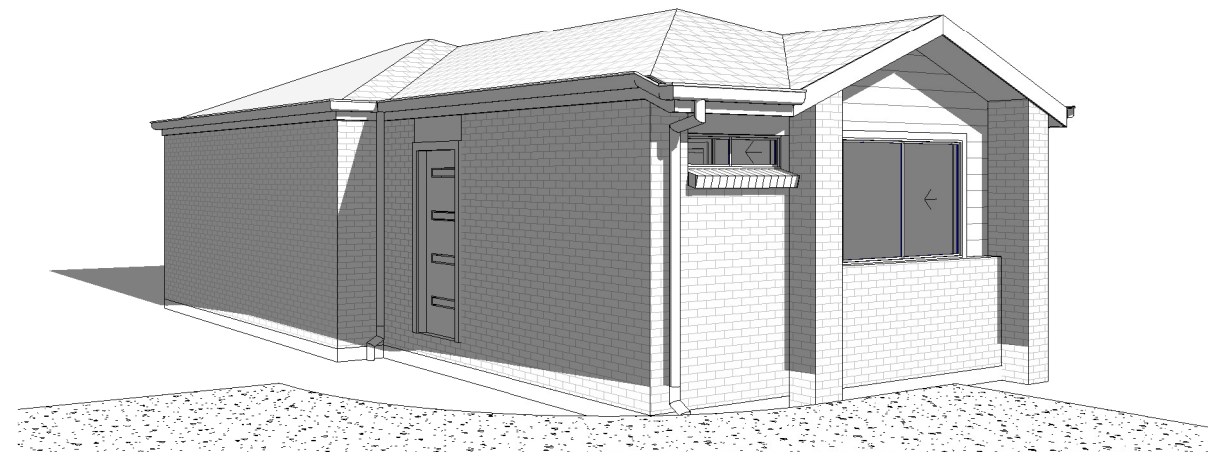
- TERMITE PROTECTION IS TO COMPLY WITH AS. 3660.1 THE BCA REQUIRES 2 DURABLE NOTICES TO BE PERMANENTLY FIXED TO THE BUILDING IN PROMINENT PLACES. THE NOTICE MUST INDICATE THE METHOD/S OF PROTECTION USED ON THE BUILDING AND THE DATE OF INSTALLATION. THE NOTICE MUST ALSO INDICATE, WHEN CHEMICAL BARRIERS ARE USED, ITS LIFE EXPECTANCY AS LISTED ON THE NATIONAL REGISTRATION AUTHORITY LABEL AND THE NEED TO MAINTAIN AND INSPECT THE SYSTEM ON A REGULAR BASIS. THE OWNER IS RESPONSIBLE FOR TERMITE PROTECTION AFTER MOVING IN. REFER BSA FACT SHEET "TERMITE PROTECTION AFTER MOVING IN"

SMOKE DETECTORS:

- SMOKE DETECTORS TO COMPLY WITH AS. 3786 IN BOTH DESIGN AND MANUFACTURE AND IN THEIR INSTALLATION. SMOKE DETECTORS ARE TO BE HARD WIRED WITH EMERGENCY BACK-UP. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ENSURE THE CORRECT TYPE IS INSTALLED AND CERTIFIED, AND THAT THE LOCATION CONFORMS TO THE BUILDING CODE

SUSTAINABLE ENERGY BUILDING REQUIREMENT:

- SHOWER ROSES: SHOWER ROSES TO BE AAA RATING WHEN ASSESSED AGAINST AS/NZ 6400:2004 OR A 3 STAR RATING UNDER THE WATER EFFICIENCY LABELING SCHEME (WELS)
- 3 STAR RATING REQUIRED FOR TAPWARE TO KITCHEN SINKS, BATHROOM BASINS AND LAUNDRY TUBS.
- WATER SUPPLY: IN A SERVICE AREA FOR RETAIL WATER SERVICE UNDER THE WATER ACT 2000, THE WATER SUPPLIED TO A NEW CLASS 1 BUILDING DOES NOT EXCEED PRESSURE LEVELS SET OUT IN AS/NZ 3550.1:2003 AND IF THE MAIN WATER PRESSURE EXCEEDS OR COULD EXCEED 500 Kpa, A WATER PRESSURE LIMITING DEVICES IS INSTALLED TO ENSURE THAT THE MAXIMUM OPERATING PRESSURE AT THE OUTLET WITHIN THE BOUNDARIES OF THE PROPERTY DOES NOT EXCEED 500 Kpa.
- VOLUME OF WATER USED IN TOILET: IN A NEW CLASS 1 BUILDING AND A SOLE-OCCUPANCY UNIT OF A NEW CLASS 2 BUILDING, AND IN AN EXISTING CLASS 1 BUILDING OR A SOLE-OCCUPANCY UNIT OF AN EXISTING CLASS 2 BUILDING WHERE TOILETS ARE REPLACED, TOILETS ARE REQUIRED TO HAVE A 4 STAR RATING
- ENERGY EFFICIENT LIGHTING: IN A NEW CLASS 1 BUILDING AND A SOLE-OCCUPANCY UNIT OF A NEW CLASS 2 BUILDING, THE REQUIREMENT IS FOR 80% ENERGY EFFICIENT LIGHTING TO INTERNAL LIGHTS



Drawing List				
Drwg No.	Drawing Name	Rev	Rev Date	Issued By
WD00	COVER PAGE	4	16.01.2020	LL
WD01	SITE PLAN	4	16.01.2020	LL
WD02	FLOOR PLAN	4	16.01.2020	LL
WD03	ELEVATIONS	4	16.01.2020	LL
WD04	SECTIONS/ DETAILS	4	16.01.2020	LL
WD05	SLAB/ PLUMBING PLAN	4	16.01.2020	LL
WD06	ELECTRICAL	4	16.01.2020	LL

AC	Air Conditioning	NCC	National Construction Code
AFL	Above Floor Level	NGL	Natural Ground Line
AW	Awning Window	OHC	Overhead Cupboard
AHD	Australian Height Datum	PS	Plumbing Stack / Duct
AS	Australian Standards	RL	Relative Level
CJ	Construction Joint	SF	Sliding / Fixed panel in a sliding glass door or window
CSD	Cavity Sliding Door	SP	Steel Post
DH	Double Hung Window	TBC	To be confirmed
DP	Downpipe	TR	Towel Rail/Nogging Position
DW	Dishwasher	UBO	Under Bench Oven
FG	Fixed Glass	WO	Wall Oven
FSR	Floor Space Ratio	MW	Microwave
FW	Floor Waste	WM	Washing Machine
FWC	Feature Wall Colour	WIR	Walk In Robe
HWS	Hot Water System		
HT	Hose tap		
LBW	Load Bearing Wall		

ISSUE	REV. DESCRIPTION	DRAWN	DATE
1	CONCEPT PLANS	KTE	14.10.2019
2	WORKING DRAWING	ST	19.12.2019
3	AMENDED PLANS	ST	08.01.2020
4	BUILDING SEPARATION + CAR PARKING	LL	16.01.2020

NOTES

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CLIENT: M. SARVAIYA
 PROJECT: PROPOSED RESIDENCE
 SITE: #2 (LOT 417) PEPPERMINT STREET - CRESTMEAD 4132

REAL PROPERTY DISCRPTION: LOT 417 ON RP183330

WIND: N2 SITE: P/ H1 Area: 682 m²

Council: LOGAN CITY COUNCIL

DESIGN BASE: **THE PEPPER**

JOB No: 24108 DATE: 16/01/2020

DRAWN BY: KTE DESIGNED BY: KTE

PLAN VERSION: WORKING DRAWINGS

COVER PAGE

SCALE: 1 : 1 SHEET: WD00

LEGEND

- CORNER PEG
- CORNER STAKE
- EMT PEG
- PEG DISTURBED
- ROOFWATER OUTLET
- BENCHMARK
- SURVEY STATION
- ELEC LIGHT POLE
- POWER POLE
- ELEC MH
- ELEC DOME
- SEWER MH
- UNKNOWN MH
- STORM WATER MH
- ROOFWATER MH
- GULLY TRAP
- WATER METER
- WATER METER RECYCLED
- FIRE HYDRANT
- WATER VALVE
- TELSTRA PIT
- TREE
- RETAINING WALL
- FENCE
- GAS MISCELLANEOUS
- NBN PIT

Symbols are indicative of service location only and are not correct for service size.

NOTE : NORTH POINT SHOWN IS CADASTRAL PLAN NORTH, IT WILL BE DIFFERENT FROM TRUE AND MAGNETIC NORTH.

THE POSITION OF THE FENCE LINES, RETAINING WALLS AND DETAILS ARE INDICATIVE ONLY AND SHOULD NOT BE RELIED UPON AS DEPICTING THE BOUNDARY LINES.

THIS IS A PLAN OF VISIBLE SERVICES ONLY. NO COUNCIL SEARCH HAS BEEN UNDERTAKEN. THE LOCATION OF PEGS FOUND HAVE NOT BEEN CHECKED AND AS SUCH SHOULD NOT BE RELIED ON AS MARKING THE CORNERS OF THE LOT. AN IDENTIFICATION SURVEY SHOULD BE CARRIED OUT PRIOR TO CONSTRUCTION WORKS.

RETAINING WALLS AND DRIVEWAYS SHOWN ON PLANS ARE ONLY INDICATIVE REPRESENTATION AND MAY CHANGED DUE TO SITE CONDITIONS. THESE DO NOT FORM PART OF THE CONTRACT, UNLESS SPECIFICALLY DENOTED IN THE SPECIFICATIONS.

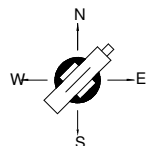
PLATFORM IMMEDIATELY SURROUNDING THE RESIDENCE TO FALL AWAY FROM THE DWELLING REFER TO ENGINEERS REPORT FOR REQUIREMENTS.

100mm PVC PIPE TO DISCHARGE TO STREET CHANNEL.

SITE SCRAPE TO REMOVE ALL VEGETATION AND PROVIDE A LEVEL BUILDING PLATFORM.

ALL SITE LEVELS SHOWN ON BUILDING PLATFORM ARE APPROXIMATE ONLY AND SHALL BE CONFIRMED AT THE TIME OF CONSTRUCTION.

LOCATION OF SEWER AND STORMWATER DETAILS TAKEN FROM AS BUILT RECORDS. ESTIMATES HAVE BEEN MADE FROM INFORMATION FOUND ON SITE AS TO HC LOCATION FOR THEMSELVES PRIOR TO EXCAVATION. LOCATION TO BE CONFIRM.

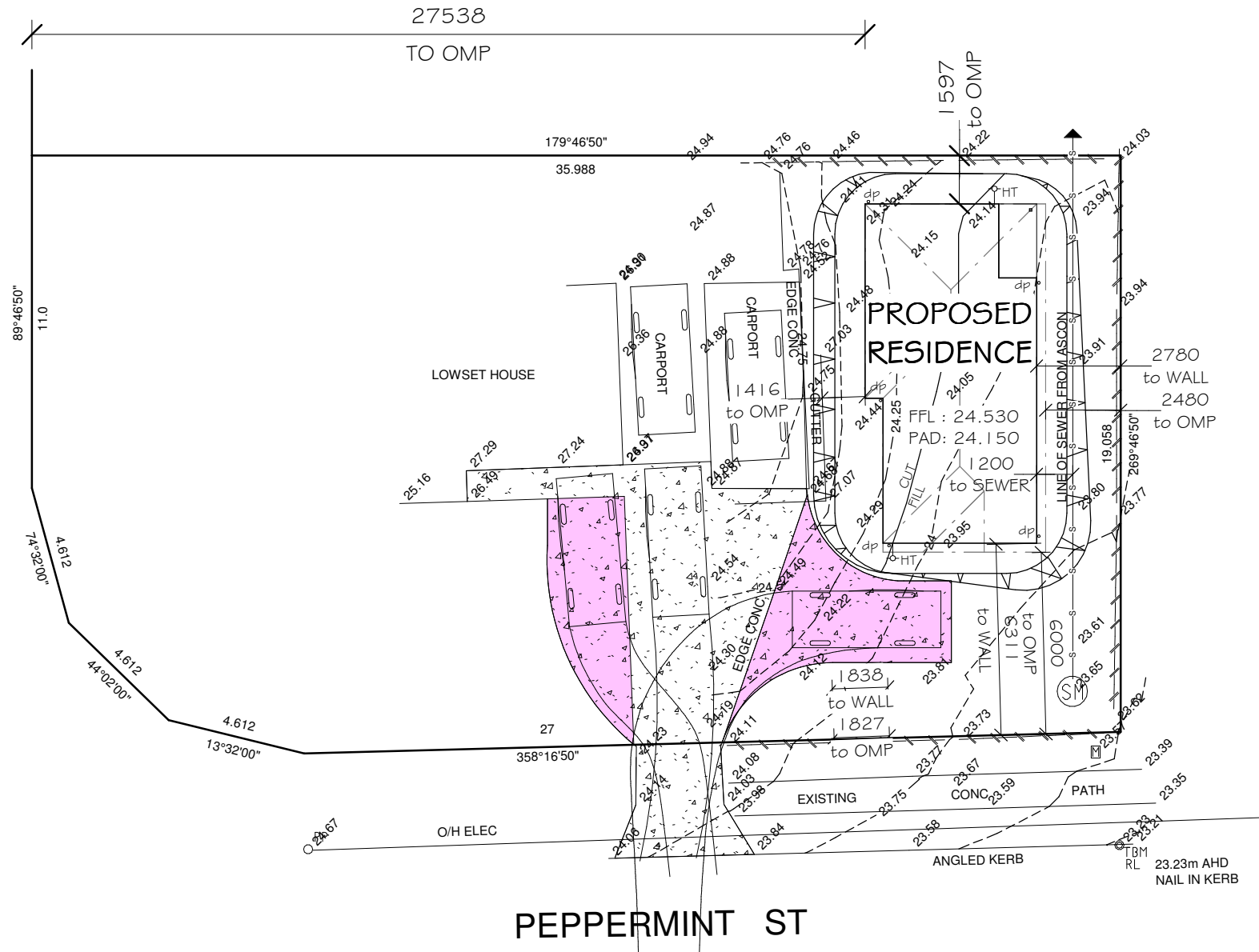


SURVEY PROJECTS
PTY LTD

LICENSED CONSULTING SURVEYOR
LAND AND ENGINEERING SURVEYS

30 TRINETTE ST
SHAILER PARK QLD 4128
PH 0412 126 573
sgwprojects@gmail.com

FORESTWOOD ST



NEW CONCRETE DRIVEWAY = 38.5m²

Site Coverage	
Total House Area	Site Coverage
60.79	8.91%

SITE LEGEND	
	existing fencing on site
OMP	outermost projection

ISSUE	REV. DESCRIPTION	DRAWN	DATE
1	CONCEPT PLANS	KTE	14.10.2019
2	WORKING DRAWING	ST	19.12.2019
3	AMENDED PLANS	ST	08.01.2020
4	BUILDING SEPARATION + CAR PARKING	LL	16.01.2020

NOTES

DRAWING SYMBOLS USED ON THIS DRAWING MAY NOT BE A TRUE REPRESENTATION OF ITEMS INCLUDED IN CONTRACT. REFER TO CONTRACT FOR SPECIFIED ITEMS

SITING IS APPROXIMATE ONLY & MAY BE ADJUSTED AT BUILDER'S DISCRETION.

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CLIENT: **M. SARVAIYA**

PROJECT: **PROPOSED RESIDENCE**

SITE: **#2 (LOT 417) PEPPERMINT STREET - CRESTMEAD 4132**

REAL PROPERTY DISCRPTION: **LOT 417 ON RP183330**

WIND: **N2** SITE: **P/ H1** Area: **682 m²**

Council: **LOGAN CITY COUNCIL**

DESIGN BASE: **THE PEPPER**

JOB No: **24108** DATE: **16/01/2020**

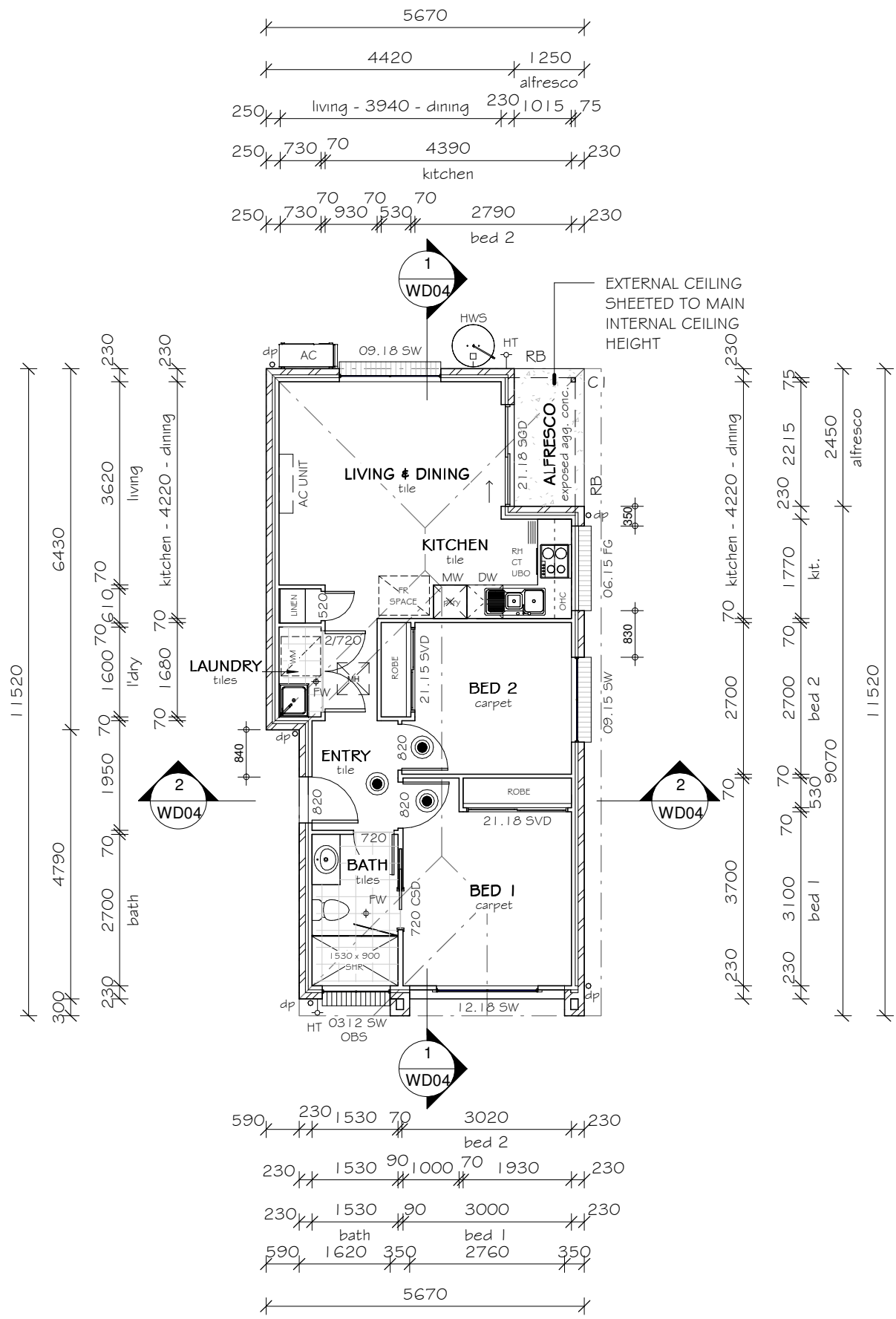
DRAWN BY: **KTE** DESIGNED BY: **KTE**

PLAN VERSION: **WORKING DRAWINGS**

SITE PLAN

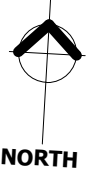
SCALE: **1 : 200** SHEET: **WD01**

GENERAL NOTES:
 1. PROVIDE CONDUIT IN SLAB FOR ISLAND BENCH IN KITCHEN WHEN MSB CONDUIT IS INSTALLED
 2. PLUMBER TO ENSURE WATER FOR SINK IS IN SLAB BEFORE POUR
 3. ENGINEER'S TO DETERMINE LOCATION OF BRACING WALLS WITH APPROPRIATE VERTICAL REINFORCEMENT
 4. LOAD BEARING WALLS REFER TO ENGINEER'S DRAWINGS
 5. PROVIDE MECHANICAL VENTILATION TO ALL INTERNAL WET AREAS



Approx Area	
DWELLING	
LIVING	57.73 m ²
ALFRESCO	3.06 m ²
	60.79 m ²
GRAND TOTAL	60.79 m ²
PERIMETER	33780 mm

LEGEND:
 C1 = 75x75 SHS POST REFER TO ENGINEER'S DRAWINGS
 HT = HOSE TAP
 RB = ROOF BEAM REFER TO ENGINEER'S DRAWINGS
 ● = SELF CONTAINED SMOKE DETECTOR TO AS3786.



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CLIENT: **M. SARVAIYA**
 PROJECT: **PROPOSED RESIDENCE**
 SITE: **#2 (LOT 417) PEPPERMINT STREET - CRESTMEAD 4132**

REAL PROPERTY DISCRPTION:
LOT 417 ON RP183330

WIND: **N2** SITE: **P/ H1** Area: **682 m²**

Council: **LOGAN CITY COUNCIL**

DESIGN BASE:
THE PEPPER

JOB No: **24108** DATE: **16/01/2020**

DRAWN BY: **KTE** DESIGNED BY: **KTE**

PLAN VERSION:
WORKING DRAWINGS

FLOOR PLAN

SCALE: **1 : 100** SHEET: **WD02**

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CLIENT: M. SARVAIYA
 PROJECT: PROPOSED RESIDENCE
 SITE: #2 (LOT 417) PEPPERMINT STREET - CRESTMEAD 4132

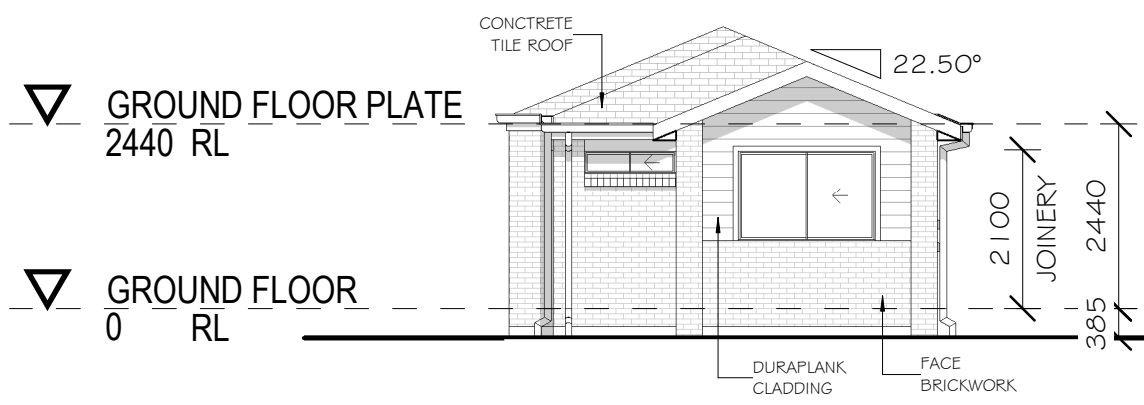
REAL PROPERTY DISCRPTION: LOT 417 ON RP183330
 WIND: N2 SITE: P/ H1 Area: 682 m²
 Council: LOGAN CITY COUNCIL

DESIGN BASE: **THE PEPPER**

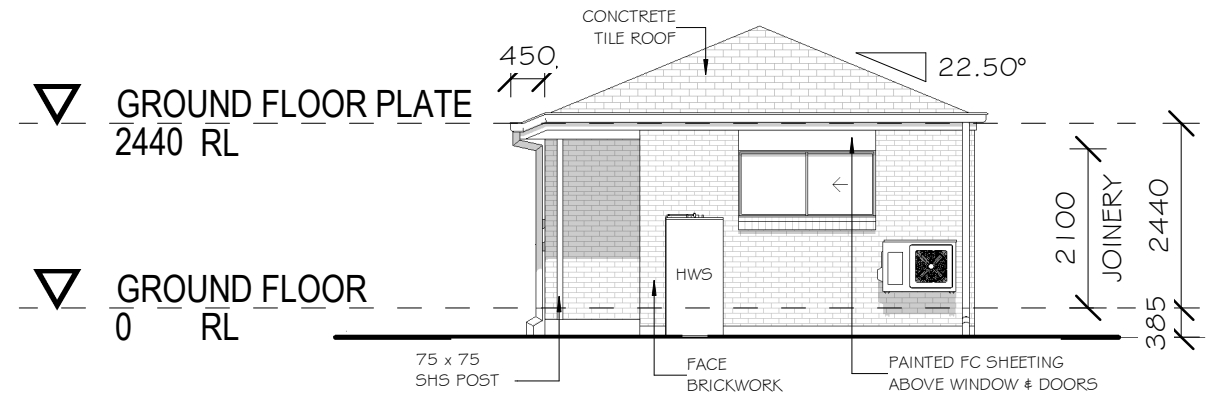
JOB No: 24108 DATE: 16/01/2020
 DRAWN BY: KTE DESIGNED BY: KTE

PLAN VERSION: WORKING DRAWINGS
ELEVATIONS

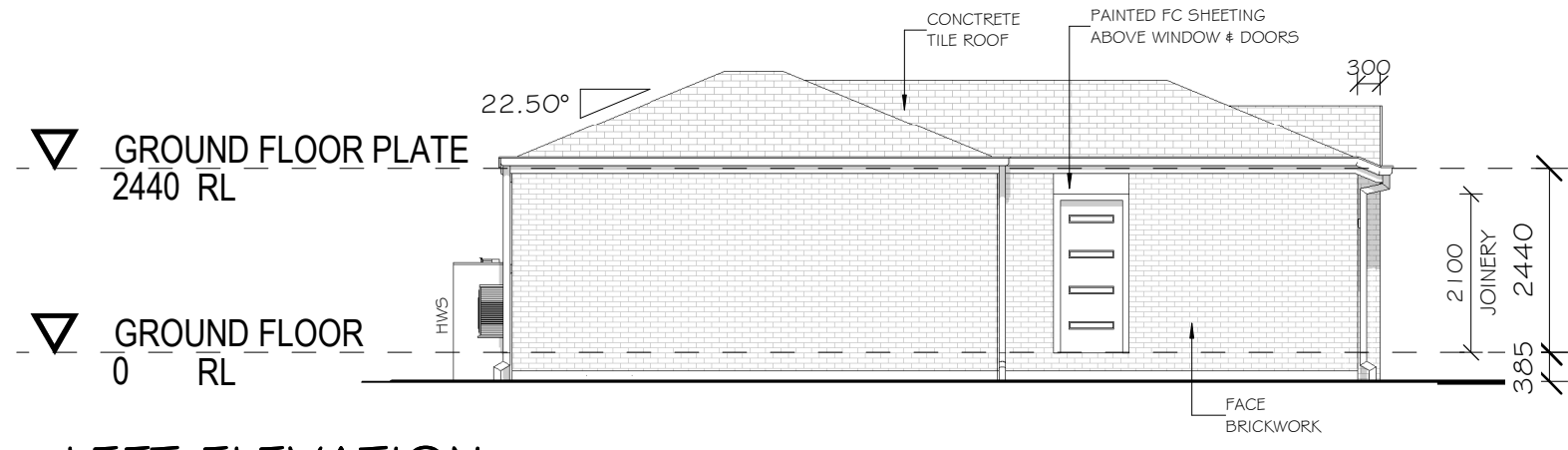
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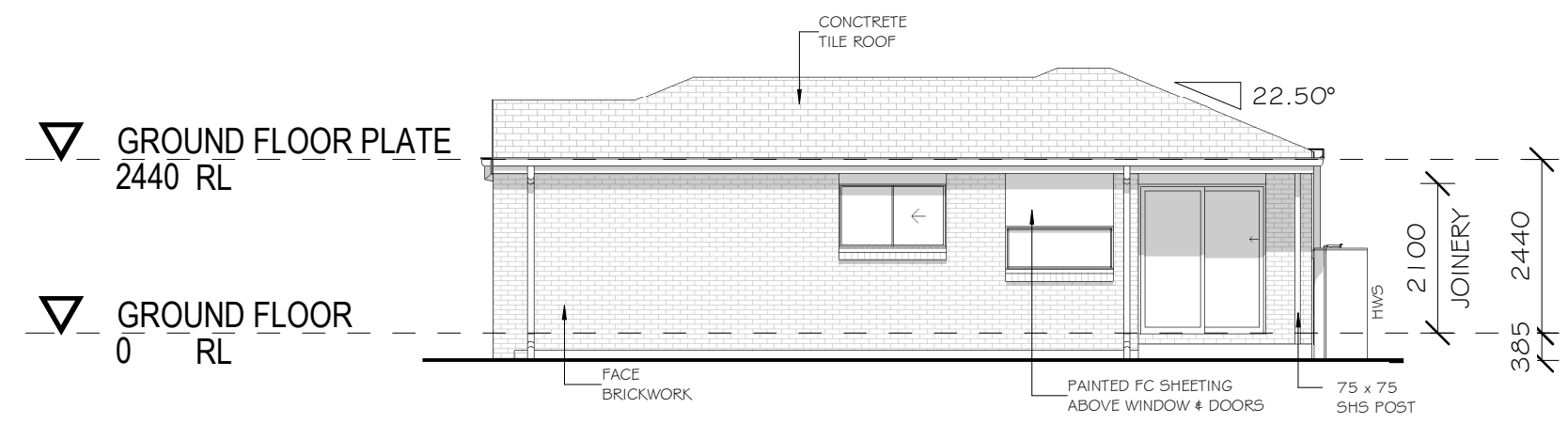
1 FRONT ELEVATION
 1 : 100



2 REAR ELEVATION
 1 : 100



3 LEFT ELEVATION
 1 : 100



4 RIGHT ELEVATION
 1 : 100

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 PROJECT: PROPOSED RESIDENCE
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WIND: N2 SITE: P/ H1 Area: 682 m²

Council: LOGAN CITY COUNCIL

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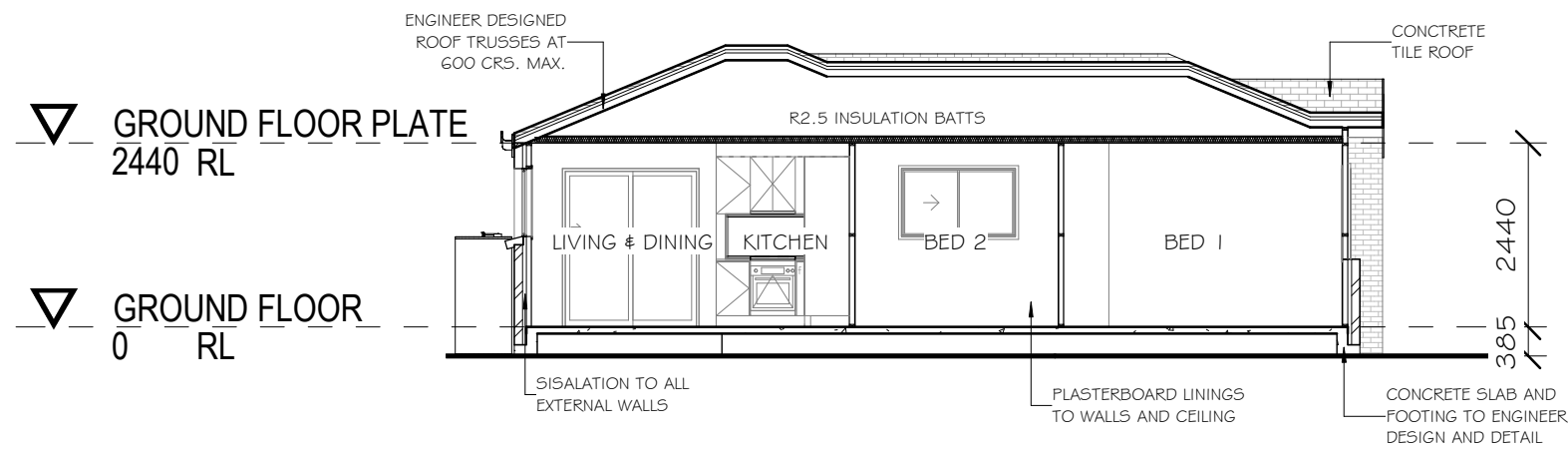
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DRAWN BY: KTE DESIGNED BY: KTE

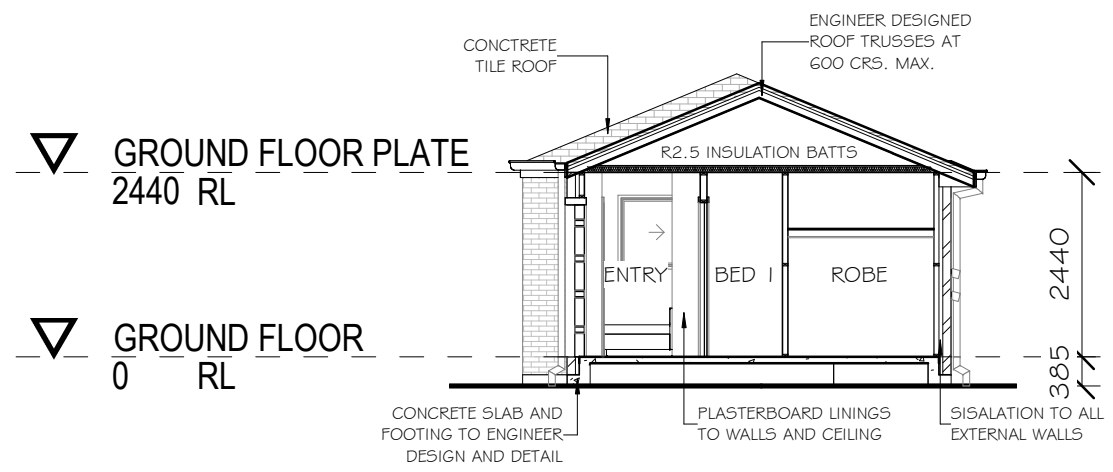
PLAN VERSION: WORKING DRAWINGS

SECTIONS/ DETAILS

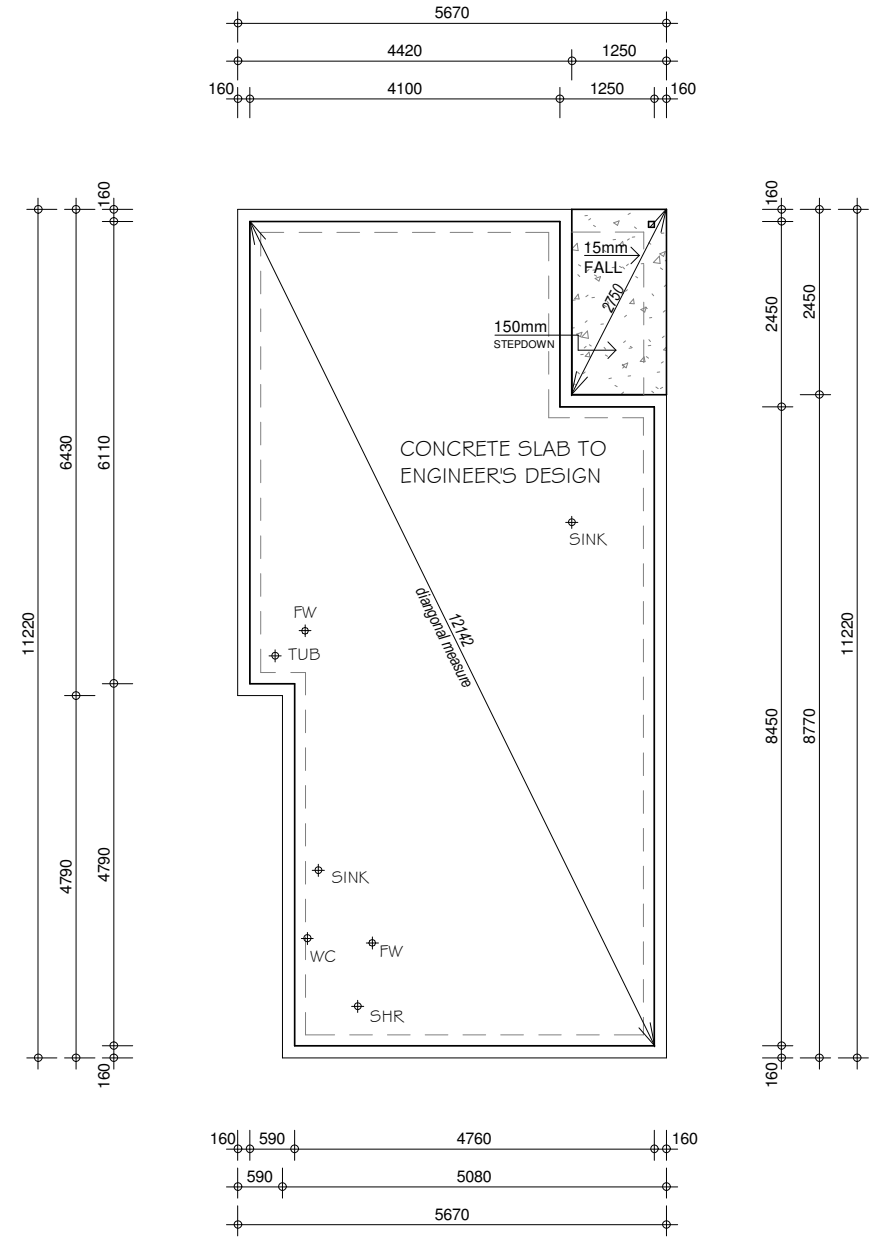
SCALE: 1 : 100 SHEET: WD04



1 Section 1
1 : 100



2 Section 2
1 : 100



NOTE: TO CONCRETORS

1. THIS PLAN IS TO BE READ IN CONJUNCTION WITH ENGINEER'S DRAWING.
2. ALL DIMENSIONS TO BE CONFIRMED ON SITE.
3. ALL CONSTRUCTION TO BE AS PER SOIL ENGINEER'S DESIGNS.
4. ALL FLOOR LEVELS T.B.C ON SITE.
5. TERMITE PROTECTION IN ACCORDANCE WITH A.S 3660.1 & CURRENT B.C.A. - GRANITGUARD PROTECTION TO PERIMETER & ALL PENETRATIONS TO THE SLAB.
6. ALFRESCO/ PORCH SLABS MUST NOT COVER BRICK WEEP HOLES
7. ABELFLEX TO BE INSTALLED ON ALL JOINTS.
8. SLAB MUST NOT BE POURED IF TERMITE BARRIERS ARE BROKEN.

WATERTANK SLAB TO BE
POURED AT THE SAME STAGE
REFER TO ENG. DESIGN PLANS

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CLIENT: **M. SARVAIYA**

PROJECT: **PROPOSED RESIDENCE**

SITE: **#2 (LOT 417) PEPPERMINT STREET - CRESTMEAD 4132**

REAL PROPERTY DISCRPTION: **LOT 417 ON RP183330**

WIND: **N2** SITE: **P/ H1** Area: **682 m²**

Council: **LOGAN CITY COUNCIL**

DESIGN BASE: **THE PEPPER**

JOB No: **24108** DATE: **16/01/2020**

DRAWN BY: **KTE** DESIGNED BY: **KTE**

PLAN VERSION: **WORKING DRAWINGS**

SLAB/ PLUMBING PLAN

SCALE: **1 : 100** SHEET: **WD05**