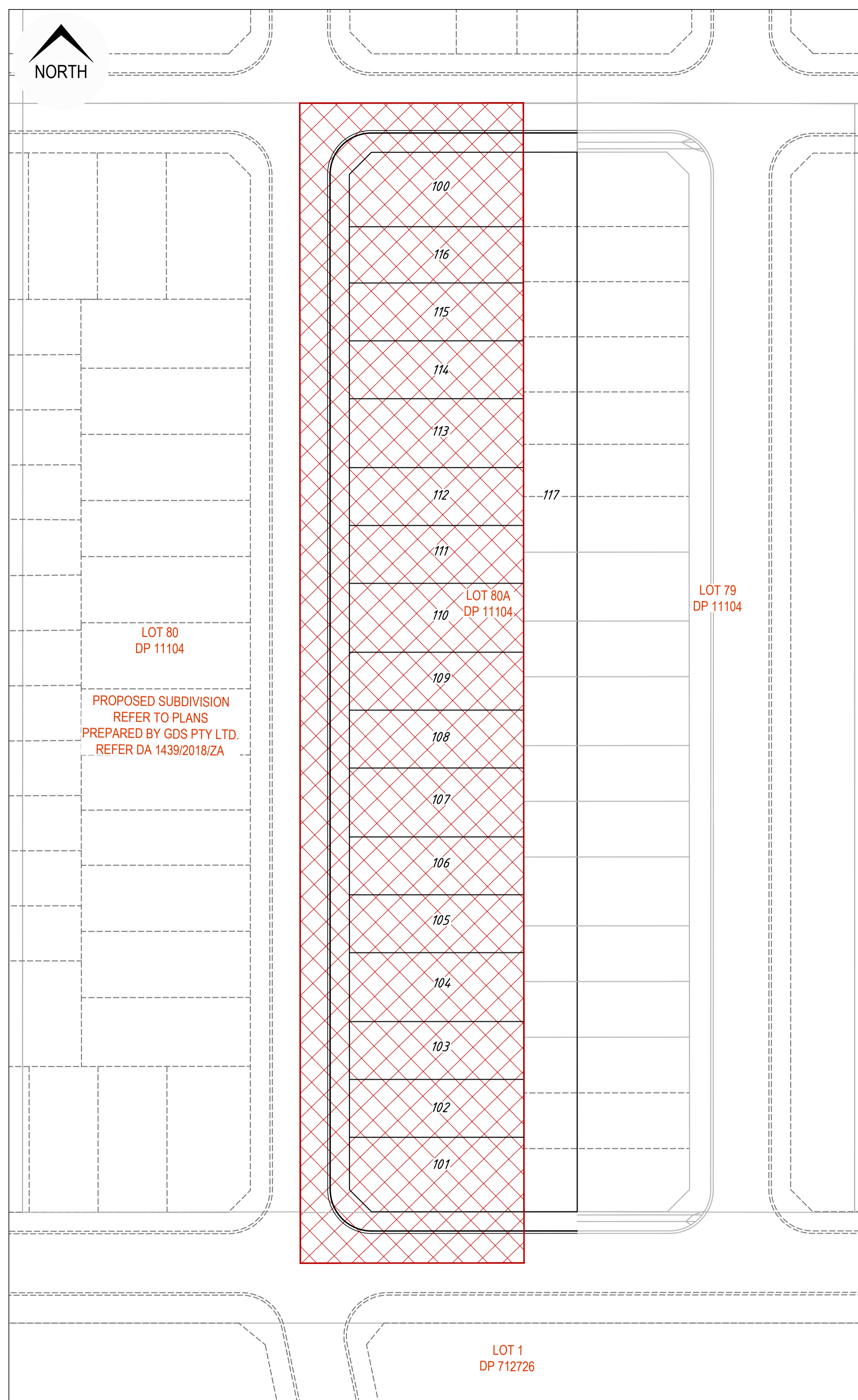


SUBDIVISION PLAN - STAGE No.01
SCALE 1:500



DENSITY PLAN
SCALE 1:500

LOT SUMMARY	
LOT RANGE	100 to 117
TOTAL LOTS	17
TOTAL LOT AREA	6058.9m ²
AVERAGE LOT SIZE	356.4m ²
TOTAL RESIDUE LOTS	1
TOTAL RESIDUE AREA	1864m ²

LEGEND	
	INDICATIVE DRIVEWAY LOCATION (AS PART OF SEPARATE APPLICATION)
(A)	DENOTES 0.9m MAINTENANCE EASEMENT
(B)	DENOTES TEMPORARY EASEMENT FOR PUBLIC ACCESS
	LIMIT OF WORKS
	RESIDUE LOT 117
	DEVELOPABLE AREA = 0.854ha
	MAXIMUM LOTS = 17

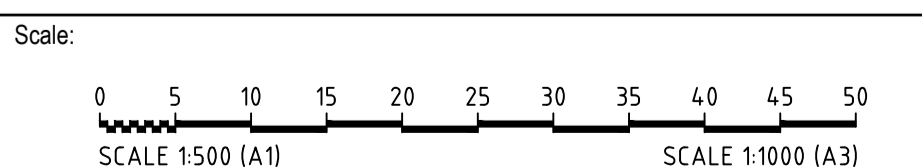
NOTES

- ROAD DESIGNS TO BE FINALISED ON ENGINEERING PLANS.
- LOT DIMENSIONS AND AREAS ARE APPROXIMATE ONLY. ALL BOUNDARIES TO BE CONFIRMED BY PROJECT SURVEYOR.

ISSUED FOR **DEVELOPMENT APPLICATION**
NOT FOR CONSTRUCTION

Revision	Drawn	Design	Appd.	Date	Revision Description
01	DW	DW	JM	21/10/2019	ISSUED FOR DEVELOPMENT APPLICATION
First Issue	DW	DW	JM	21/10/2019	

Disclaimer and Copyright:
ALL DIMENSIONS TO BE CHECKED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE. THESE DRAWINGS, PLANS, AND SPECIFICATIONS AND THE COPYRIGHT ARE THE PROPERTY OF ORION CONSULTING ENGINEERS PTY LTD AND MUST NOT BE REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE PERMISSION OF ORION CONSULTING ENGINEERS PTY LTD

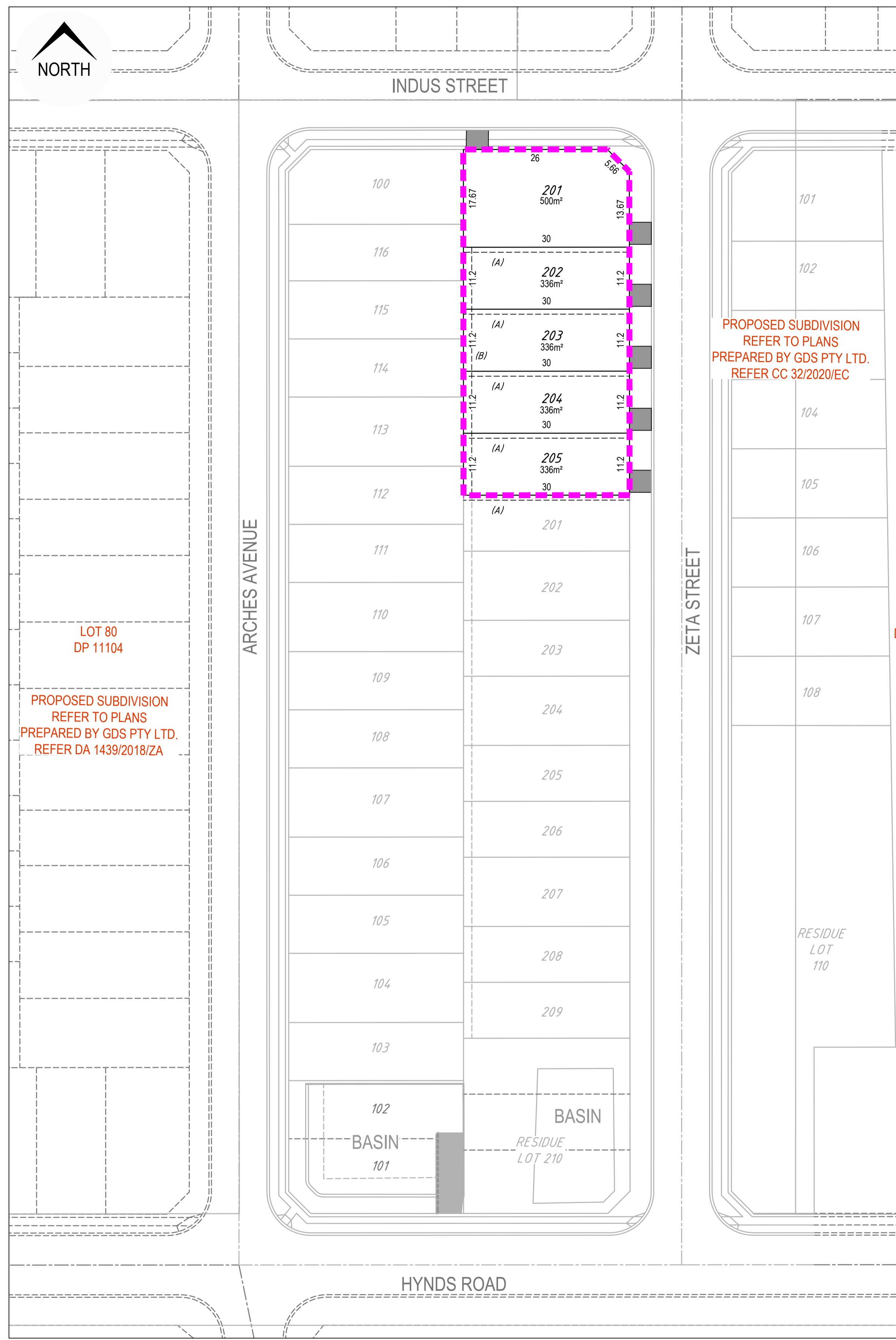


By: Orion Consulting Engineers
ABN: 25 604 069 981 PO Box 7936, BAULKHAM HILLS NSW 2153 T:(02) 8660 0035 E: info@orionconsulting.com.au

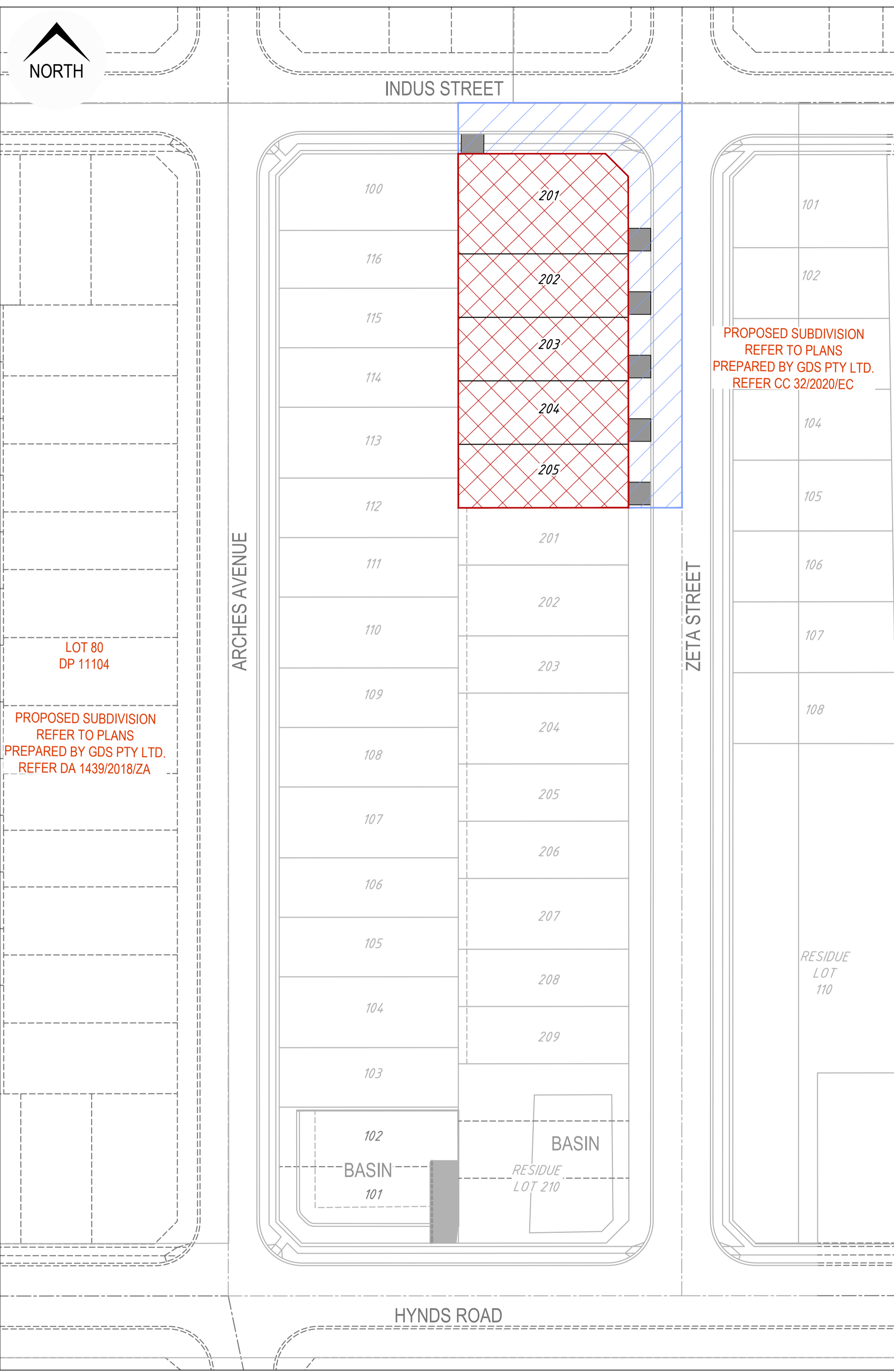
Project: LOT 80A, D.P. 11104
7 HYNDS ROAD, BOX HILL
RESIDENTIAL SUBDIVISION

Title: STAGE No.01
PLAN OF SUBDIVISION
& DENSITY PLAN

Project No. 18-11
Milestone DA
Plan PL02
Revision 01



SUBDIVISION PLAN - STAGE No.02
SCALE 1:500



DENSITY PLAN
SCALE 1:500

LOT SUMMARY	
LOT RANGE	201 to 205
TOTAL LOTS	5
TOTAL LOT AREA	1844.1m ²
AVERAGE LOT SIZE	368.82m ²

LEGEND

- INDICATIVE DRIVEWAY LOCATION (AS PART OF SEPARATE APPLICATION)
- DENOTES 0.9m MAINTENANCE EASEMENT
- DENOTES 1.5m DRAINAGE EASEMENT
- LIMIT OF WORKS
- DEVELOPABLE AREA = 0.1866ha
•• MAXIMUM LOTS = 5
- LAND TO BE DEDICATED TO OTHERS
AREA = 0.0956ha

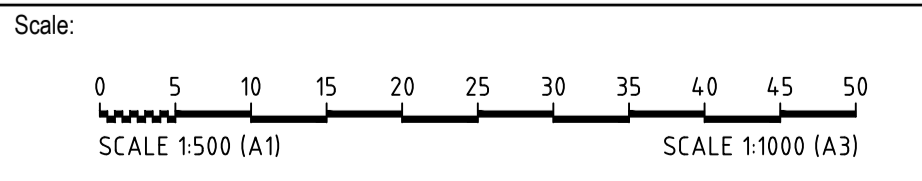
NOTES

- ROAD DESIGNS TO BE FINALISED ON ENGINEERING PLANS.
- LOT DIMENSIONS AND AREAS ARE APPROXIMATE ONLY. ALL BOUNDARIES TO BE CONFIRMED BY PROJECT SURVEYOR.

ISSUED FOR **DEVELOPMENT APPLICATION**
NOT FOR CONSTRUCTION

Revision	Drawn	Design	Appd.	Date	Revision Description
01	DW	DW	JM	21/10/2019	ISSUED FOR DEVELOPMENT APPLICATION
02	DW	DW	JM	03/12/2019	ISSUED FOR DEVELOPMENT APPLICATION
First Issue	DW	DW	JM	21/10/2019	

Disclaimer and Copyright:
ALL DIMENSIONS TO BE CHECKED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE. THESE DRAWINGS, PLANS, AND SPECIFICATIONS AND THE COPYRIGHT ARE THE PROPERTY OF ORION CONSULTING ENGINEERS PTY LTD AND MUST NOT BE REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE PERMISSION OF ORION CONSULTING ENGINEERS PTY LTD

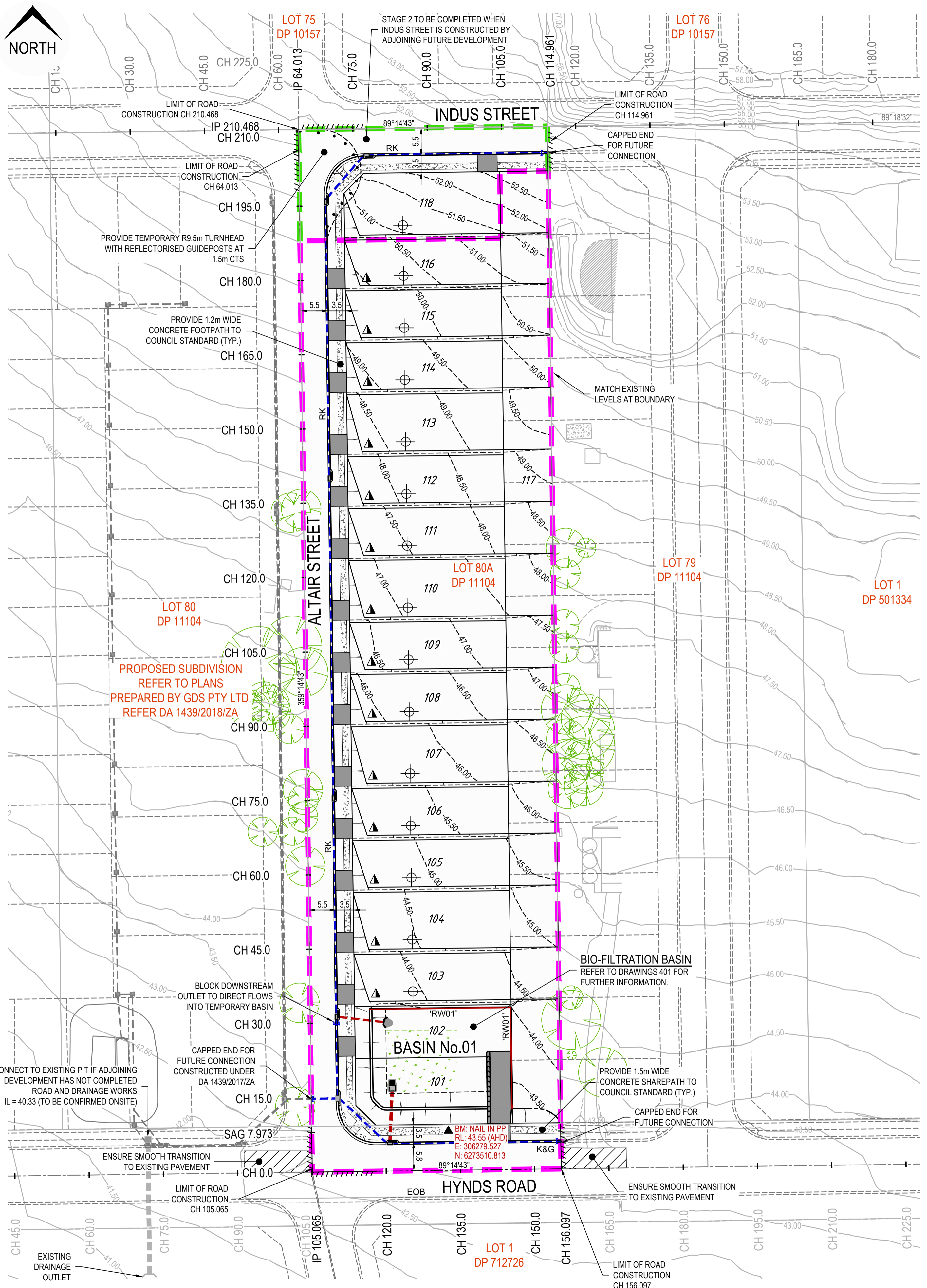


By: **Orion Consulting Engineers**
ABN: 25 604 069 981 PO Box 7936, BAULKHAM HILLS NSW 2153 T:(02) 8660 0035 E: info@orionconsulting.com.au

Project: **RESIDUE LOT 401 IN DA 1406/2019/ZA 7 & 5 HYNDS ROAD, BOX HILL RESIDENTIAL SUBDIVISION**

Title: **PLAN OF SUBDIVISION & DENSITY PLAN OF RESIDUE LOT 401 AS DESIGNATED BY GDS**

Project No. **18-11**
Milestone **DA**
Plan **PL03**
Revision **02**

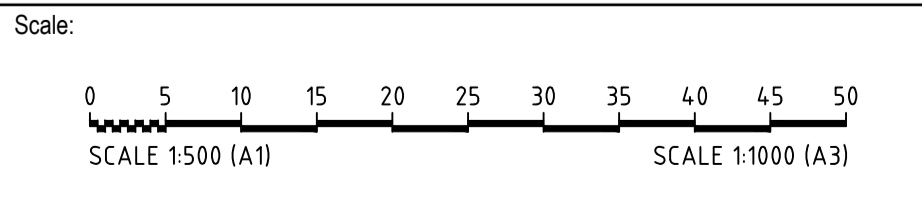


LEGEND	
RETAINING/STRUCTURAL WALL	
DENOTES 0.5m MAX. HIGH EARTH BERM BETWEEN LOTS	
DENOTES 0.5m MAX. HIGH BATTER FRONTING LOTS 1V:5H	

ISSUED FOR **DEVELOPMENT APPLICATION**
NOT FOR CONSTRUCTION

Revision	Drawn	Design	Appd.	Date	Revision Description
01	DW	DW	SM	05/07/2018	ISSUED FOR DEVELOPMENT APPLICATION
02	DW	DW	SM	25/07/2018	REVISED TO SUIT CLIENT COMMENTS
First Issue	DW	DW	SM	05/07/2018	

Disclaimer and Copyright:
ALL DIMENSIONS TO BE CHECKED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE. THESE DRAWINGS, PLANS, AND SPECIFICATIONS AND THE COPYRIGHT ARE THE PROPERTY OF ORION CONSULTING ENGINEERS PTY LTD AND MUST NOT BE REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE PERMISSION OF ORION CONSULTING ENGINEERS PTY LTD



By: Orion Consulting Engineers
ABN: 25 604 069 981 PO Box 7936, BAULKHAM HILLS NSW 2153 T:(02) 8660 0035 E: info@orionconsulting.com.au

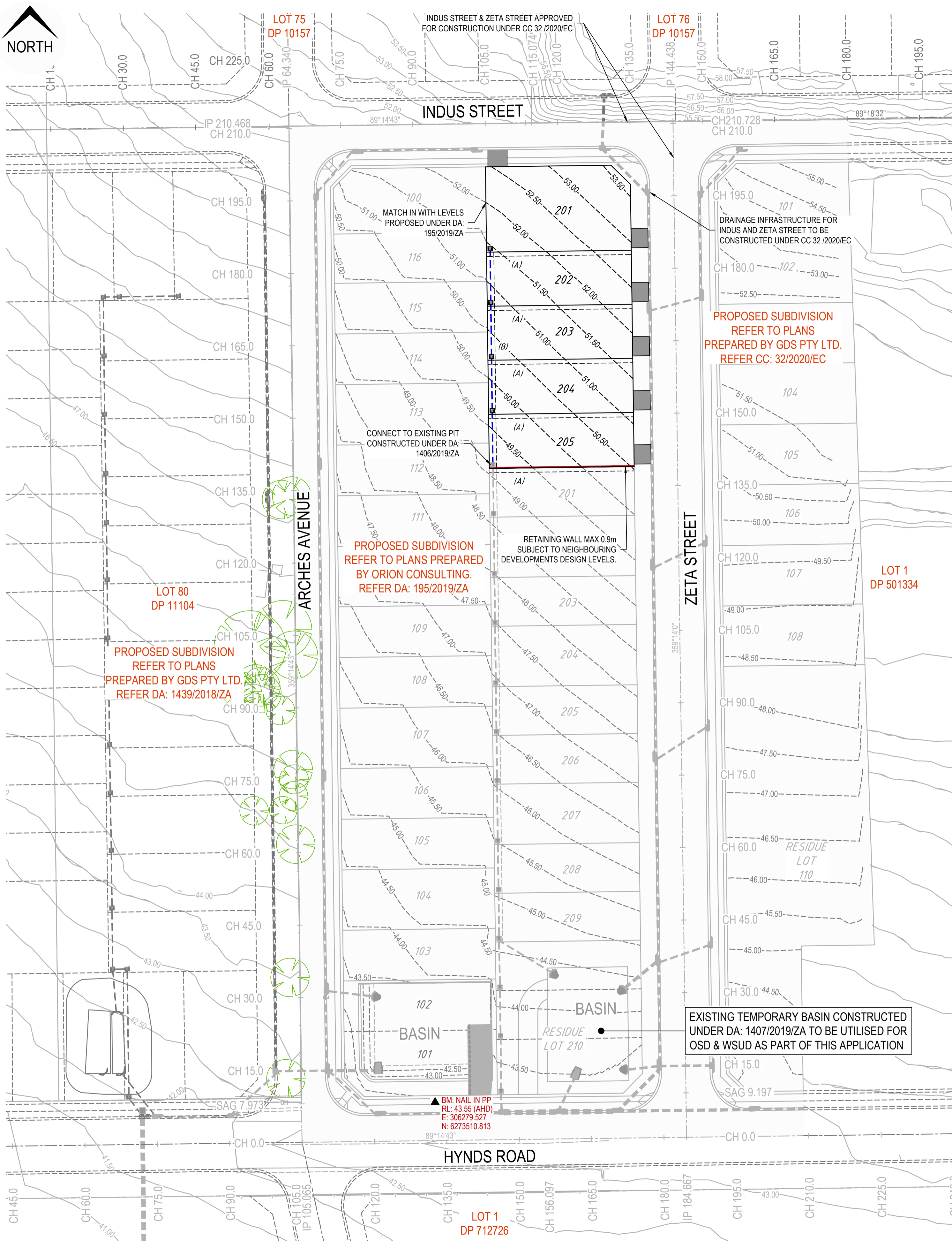
Project: **LOT 80A, D.P. 11104**
7 HYNDS ROAD, BOX HILL
RESIDENTIAL SUBDIVISION

Title: **ENGINEERING PLAN**

Project No. **18-11**
Milestone **DA**
Plan **200**
Revision **02**



NORTH



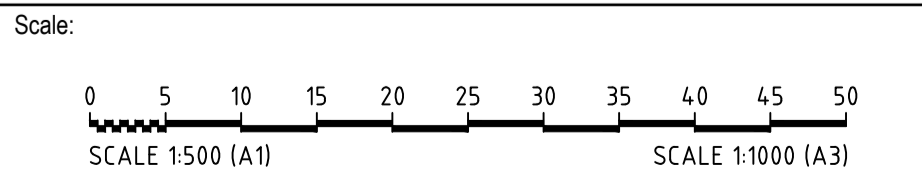
LEGEND	
DENOTES 0.9m MAINTENANCE EASEMENT	(A)
DENOTES 1.5m EASEMENT FOR DRAINAGE	(B)
INDICATIVE DRIVEWAY LOCATION (FOR INFORMATION ONLY)	

- NOTES:**
1. PROPOSED LOTS TO CONNECT TO EXISTING DRAINAGE PIT CONSTRUCTED UNDER DA: 1406/2019/ZA REFER TO PLANS PREPARED BY GDS REF: P00310 (REV 5)
 2. SUBJECT DEVELOPMENT TO BE DISCHARGE TO EXISTING BASIN CONSTRUCTED UNDER DA: 1406/2019/ZA REFER TO PLANS PREPARED BY GDS REF: P00310 (REV 5)
 3. THE DESIGN OF THE TEMPORARY BASIN PROPOSED UNDER DA 1406/2019/ZA ALLOWS FOR THE RUNOFF/FLOWS FROM THE SUBJECT DEVELOPMENT, THEREFORE NEGATING THE NEED TO BURDEN THE DEVELOPMENT WITH ANOTHER BASIN. REFER TO THE REVISED "CONCEPT STORMWATER AND WATER QUALITY MANAGEMENT REPORT" BY GDS SUBMITTED WITH DA: 1406/2019/ZA

ISSUED FOR **DEVELOPMENT APPLICATION**
NOT FOR CONSTRUCTION

Rev	Drawn	Design	Appd.	Date	Revision Description
01	DW	JM		17/01/2020	ISSUED FOR DEVELOPMENT APPLICATION

Disclaimer and Copyright:
ALL DIMENSIONS TO BE CHECKED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE. THESE DRAWINGS, PLANS, AND SPECIFICATIONS AND THE COPYRIGHT ARE THE PROPERTY OF ORION CONSULTING ENGINEERS PTY LTD AND MUST NOT BE REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE PERMISSION OF ORION CONSULTING ENGINEERS PTY LTD



By: Orion Consulting
 For: CONSULT AUSTRALIA
 Project: 5 & 7 HYNDS ROAD, BOX HILL
 Residential Subdivision
 ABN:25 604 069 981 PO Box:7936, BAULKHAM HILLS NSW 2153 T:(02) 8660 0035 E:info@orionconsulting.com.au

Project: 5 & 7 HYNDS ROAD, BOX HILL
RESIDENTIAL SUBDIVISION

ENGINEERING PLAN				
Project No.	Set No.	Milestone	Plan	Revision
18-11	01	DA	200	01