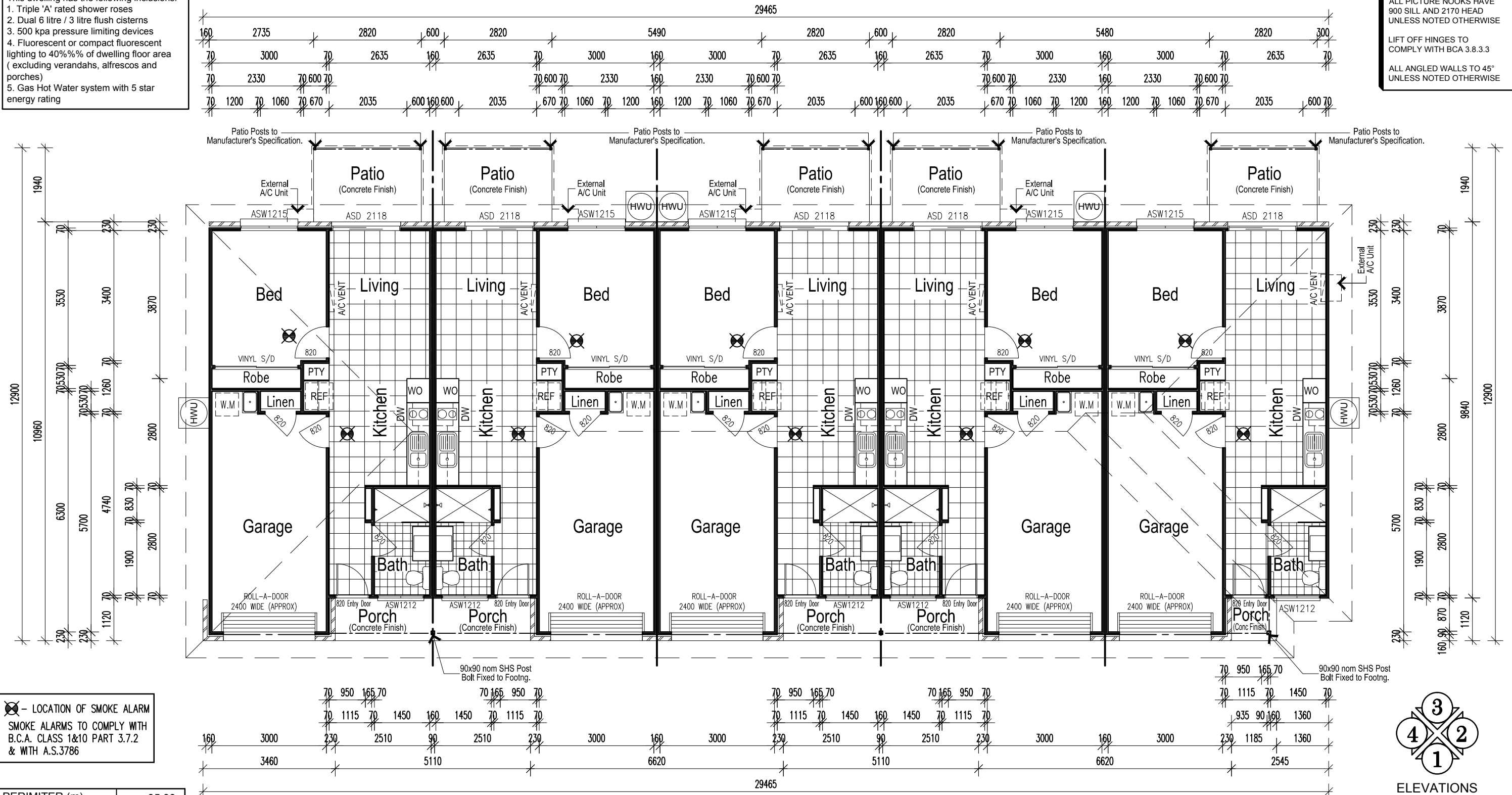


**SUSTAINABILITY COMPLIANCE**

This dwelling has the following inclusions:  
 1. Triple 'A' rated shower roses  
 2. Dual 6 litre / 3 litre flush cisterns  
 3. 500 kpa pressure limiting devices  
 4. Fluorescent or compact fluorescent lighting to 40%% of dwelling floor area (excluding verandahs, alfrescos and porches)  
 5. Gas Hot Water system with 5 star energy rating

**NOTES:**  
 ALL PICTURE NOOKS HAVE 900 SILL AND 2170 HEAD UNLESS NOTED OTHERWISE  
 LIFT OFF HINGES TO COMPLY WITH BCA 3.8.3.3  
 ALL ANGLED WALLS TO 45° UNLESS NOTED OTHERWISE

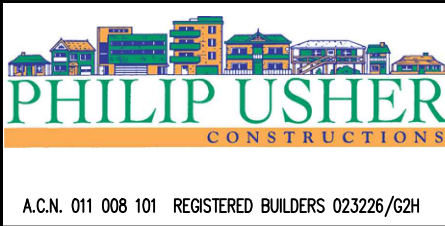


⊗ - LOCATION OF SMOKE ALARM  
 SMOKE ALARMS TO COMPLY WITH B.C.A. CLASS 1&10 PART 3.7.2 & WITH A.S.3786

PERIMETER (m)	85.33
---------------	-------

AREA (m <sup>2</sup> )	Left Unit	Middle Units	Right Unit
Living:	41.99	41.99	41.99
Garage:	19.40	19.22	19.22
Patio:	5.47	5.47	5.47
Porch:	2.86	2.86	1.33
<b>TOTAL:</b>	<b>69.72</b>	<b>69.54</b>	<b>68.01</b>

**FLOOR PLAN**  
 UNIT TYPE D2-5 1:100 @ A3



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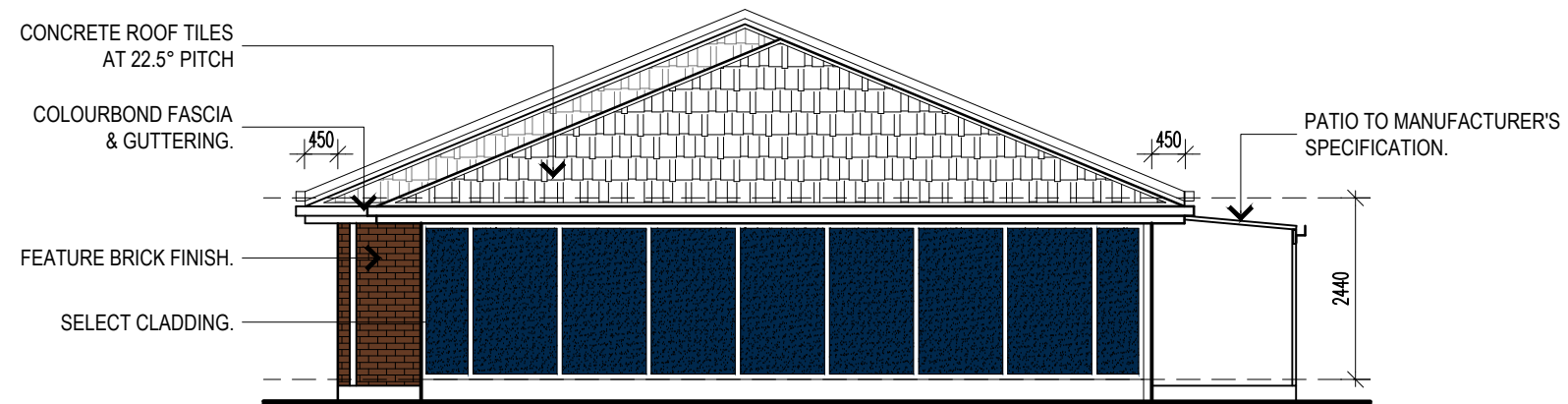
**PROJECT:**  
 Proposed Development  
 UNIT TYPE D2-5  
 Bishop Street  
 Eagleby

Floor Plan		
DRAWN: PAMc	DATE: 09-10-17	Rev: B
SCALE: As Noted	CHECKED: P.U.	
SHEET: BA-A3-18	JOB No: 1037	

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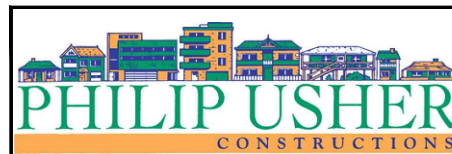



**ELEVATION 1**  
 UNIT TYPE D2-5 1:100 @ A3




**ELEVATION 2**  
 UNIT TYPE D2-5 1:100 @ A3

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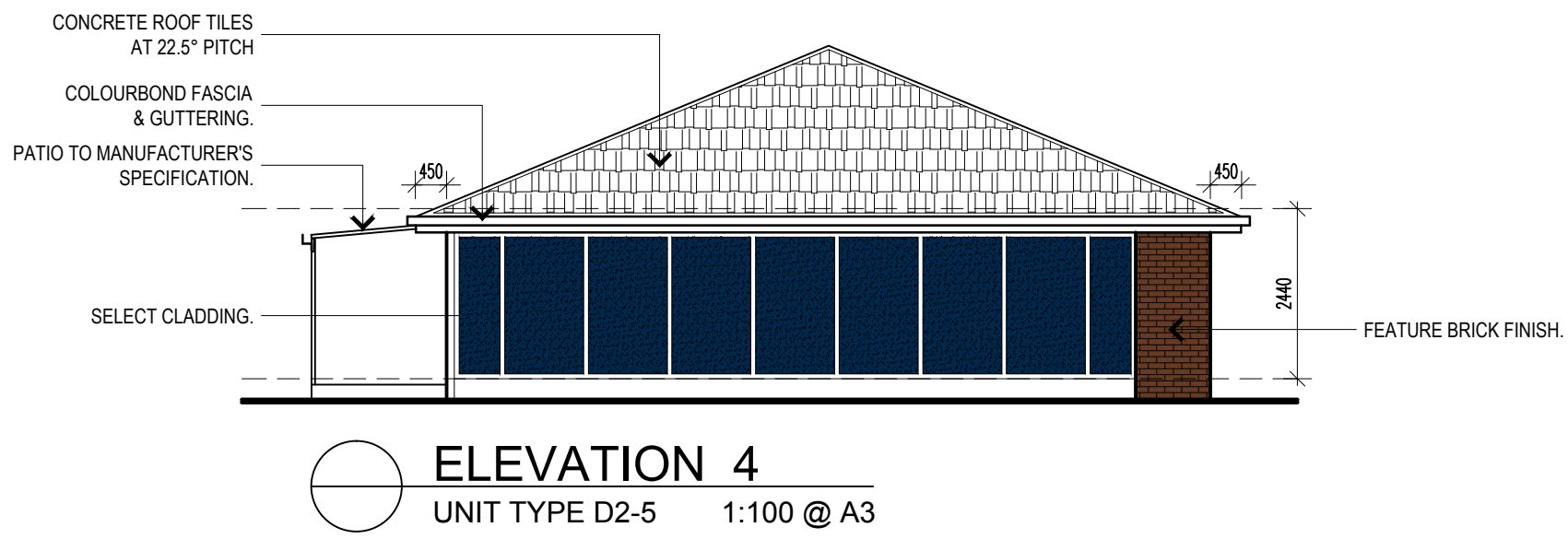


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PROJECT:  
 Proposed Development  
 UNIT TYPE D2-5  
 Bishop Street  
 Eagleby

Elevations Sht 1		
DRAWN: PAMc	DATE: 09-10-17	Rev: B
SCALE: As Noted	CHECKED: P.U.	
SHEET: BA-A3-19	JOB No: 1037	



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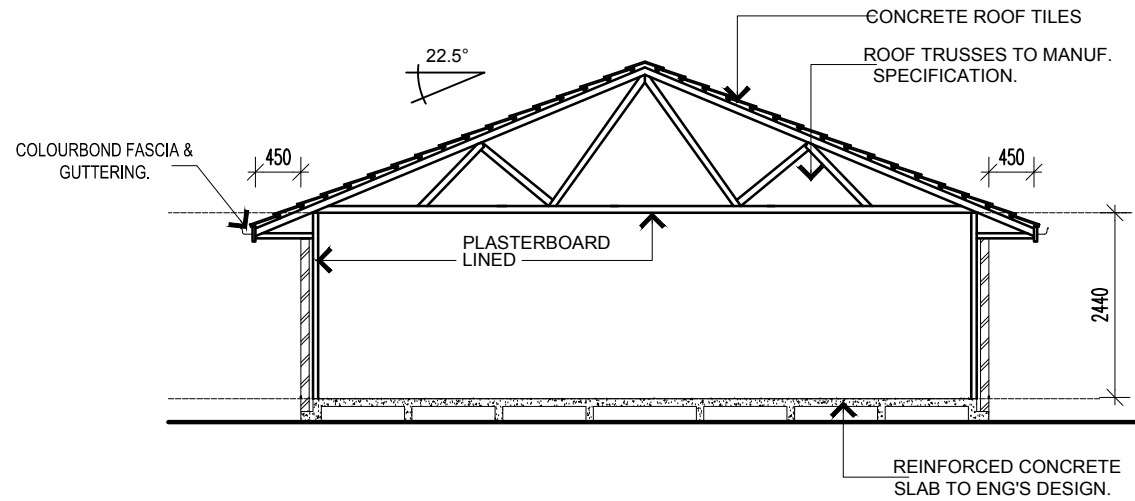
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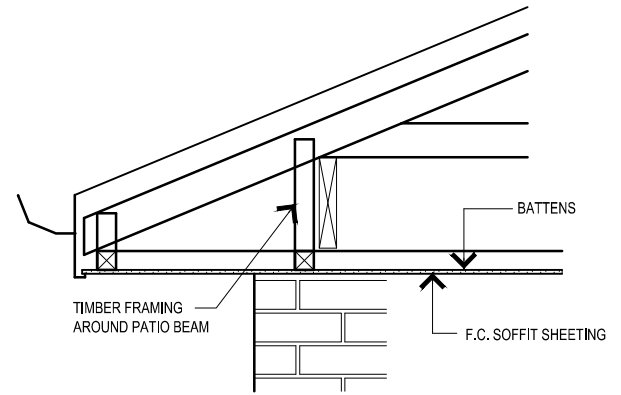
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PROJECT:  
Proposed Development  
UNIT TYPE D2-5  
Bishop Street  
Eagleby

Elevations Sht 2		
DRAWN: PAMc	DATE: 09-10-17	Rev: B
SCALE: As Noted	CHECKED: P.U.	
SHEET: BA-A3-20	JOB No: 1037	



**TYPICAL SECTION**  
1:100 @ A3

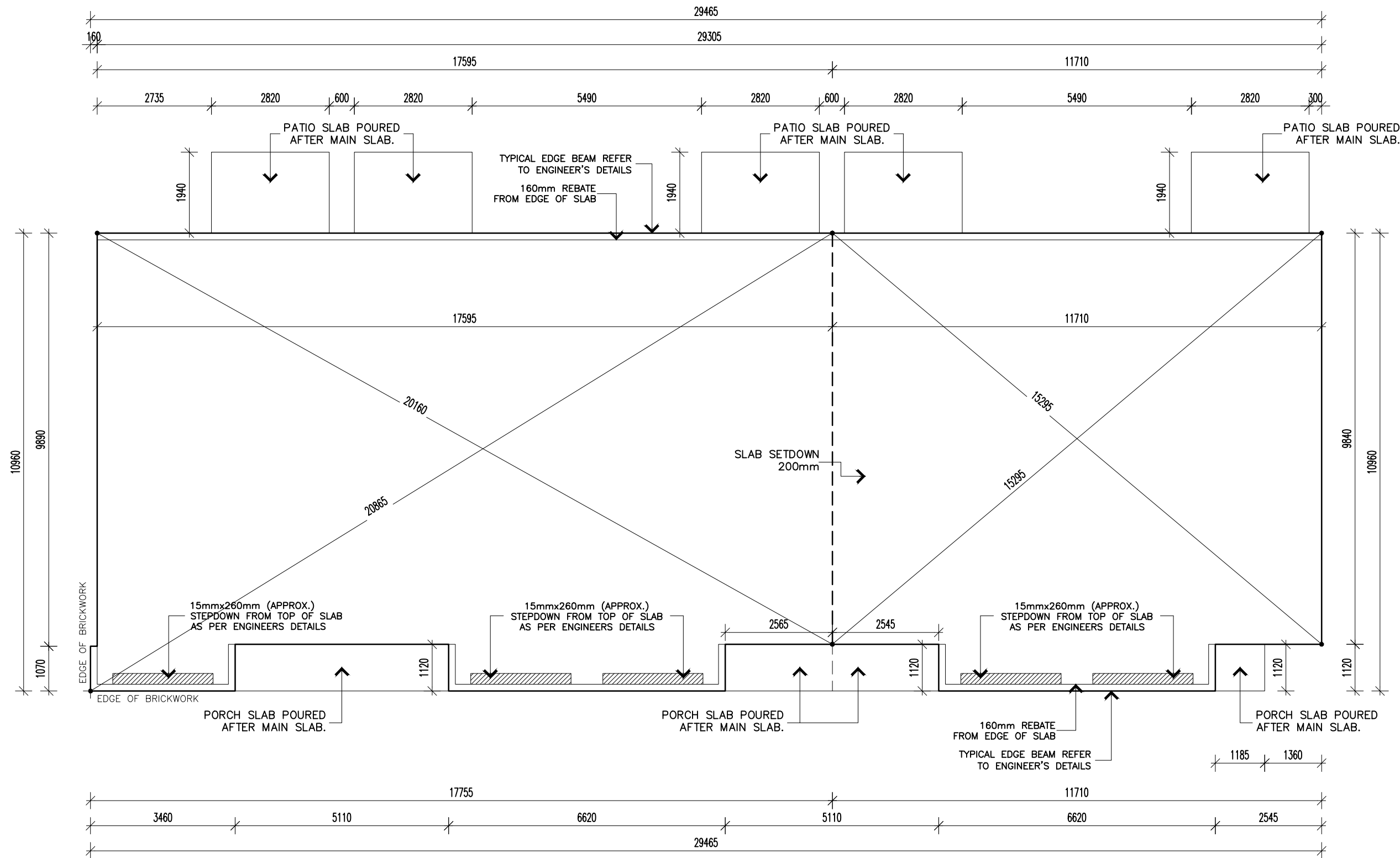


**PORCH BULKHEAD**  
DETAIL 1:5 @ A3

TIEDOWN SCHEDULE N2 TILE ROOF (UPLIFT LOAD WIDTH 7500)							
MEMBERS	UPLIFT	METHOD	KN PROVIDED	DETAIL	METHOD	KN PROVIDED	DETAIL
ROOF BATTEN TO RAFTER		As per Manufacturers requirements					
TRUSSES TO TOP PLATE @ 600 CTRS		As per Manufacturers requirements					
PLATES TO STUDS	1.1kn	1/30x0.8 G.I. strap with 2/2.8 dia nails each end at every window, door jamb, every corner, every end and intermediate at max 900 crs (every second stud)	3.5kn		Gang-nail plate ties at every window, door jamb, every corner, every end and intermediate at max 900 crs (every second stud)	7.6kn	
LINTELS < 3.0	3.8kn	1/30x0.8 G.I. strap with 6/2.8 dia nails each end top and bottom each side of opening	8.4kn				
LINTELS < 6.0	7.7kn	1/30x0.8 G.I. strap with 6/2.8 dia nails each end top and bottom each side of opening	8.4kn				
BOTTOM PLATE TO CONCRETE	Nominal	1 masonry nail (hand driven or fired) at not more than 1200mm crs	1.0.kn				
VERANDAH PLATE TO POST @ 3000 MAX CTRS (7500 U.L.W.)	7.7kn	2/M12 hex head bolts	9.9kn				

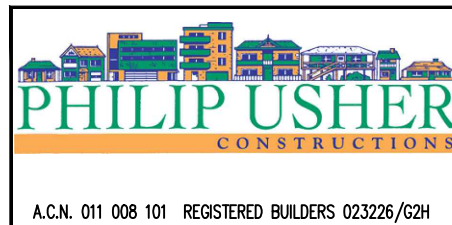
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			<p>DRAWN: PAMc</p> <p>SCALE: As Noted</p> <p>SHEET: BA-A3-21</p>	<p>DATE: 09-10-17</p> <p>CHECKED: P.U.</p> <p>JOB No: 1037</p>	<p>Rev: B</p>




**SLAB SETOUT**  
 UNIT TYPE D2-5 1:100 @ A3

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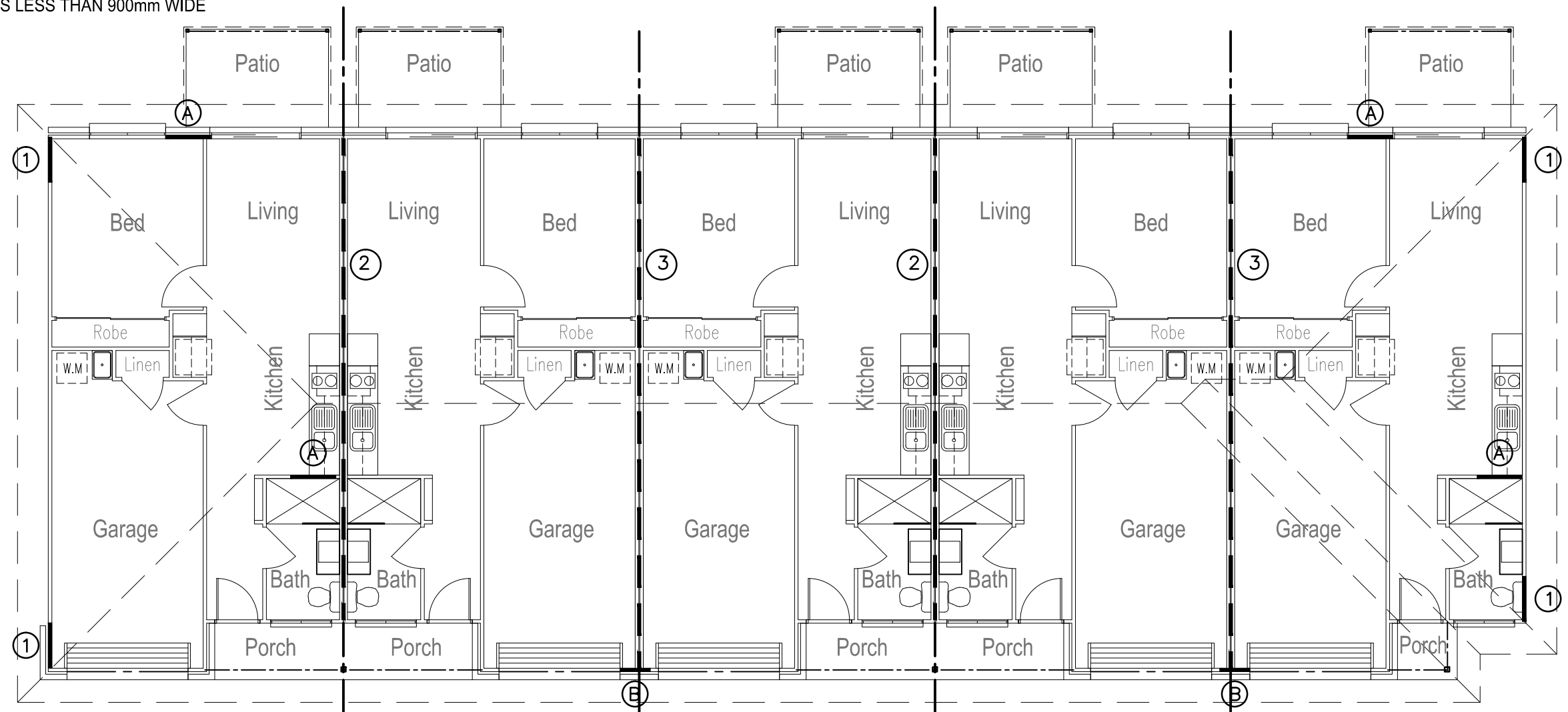
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**PROJECT:**  
 Proposed Development  
 UNIT TYPE D2-5  
 Bishop Street  
 Eagleby

Slab Setout		
DRAWN: PAMc	DATE: 09-10-17	Rev: B
SCALE: As Noted	CHECKED: P.U.	
SHEET: BA-A3-22	JOB No: 1037	

STRUCTURAL PLY 6.0kN/m

- STRUCTURAL PLYWOOD SHEETING NAILED TO FRAME USING  
 30 x 2.8 Ø GALV. FLATHEAD STRUCTURAL CLOUTS OR EQUIVALENT
- FIXED @ 50mm STAGGERED crs TO TOP and BOTTOM PLATE
  - FIXED @ 150mm crs TO VERTICAL EDGES
  - FIXED @ 300mm crs TO INTERMEDIATE STUDS
  - FIXED TO SLAB BY 13kN TIEDOWN AT EACH END and @ 1200mm crs
  - REDUCTION FACTORS APPLY TO PANELS LESS THAN 900mm WIDE



**BRACING PLAN**  
 UNIT TYPE D2-5 1:100 @ A3

**BRACING SCHEDULE**  
 RESISTING WINDFORCE - N-2.

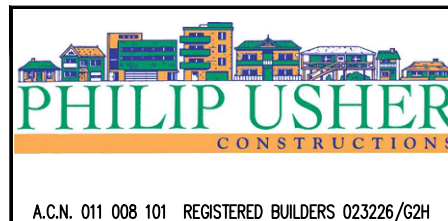
WINDFORCE 1 = 65.40 kN					WINDFORCE 2 = 19.80 kN				
wall	type	size	qty	total	wall	type	size	qty	total
1	2.4 Structural Ply	0.9 x 6.0kN	4	21.60	A	2.4 Structural Ply	0.9 x 6.0kN	4	21.60
2	2.4 Villaboard	9.5 x 4.0kN	2	76.00	B	2.4 Structural Ply	0.6 x 4.0kN	2	4.80
3	2.4 Villaboard	10.5 x 4.0kN	2	84.00					
RESISTANCE = 181.60 kN					RESISTANCE = 26.40 kN				

NOTE:- LINTEL SIZES TO BE CONFIRMED BY TRUSS MANUFACT. AFTER TRUSS DESIGN LAYOUT.

SIDE OF TEXT TO ALL BRACING PANEL DENOTES TO SIDE THE PANEL SHALL BE FIXED TO.

INTERNAL STRUCTURAL PLY BRACES SHALL HAVE INTERNAL LININGS FIXED OVER.

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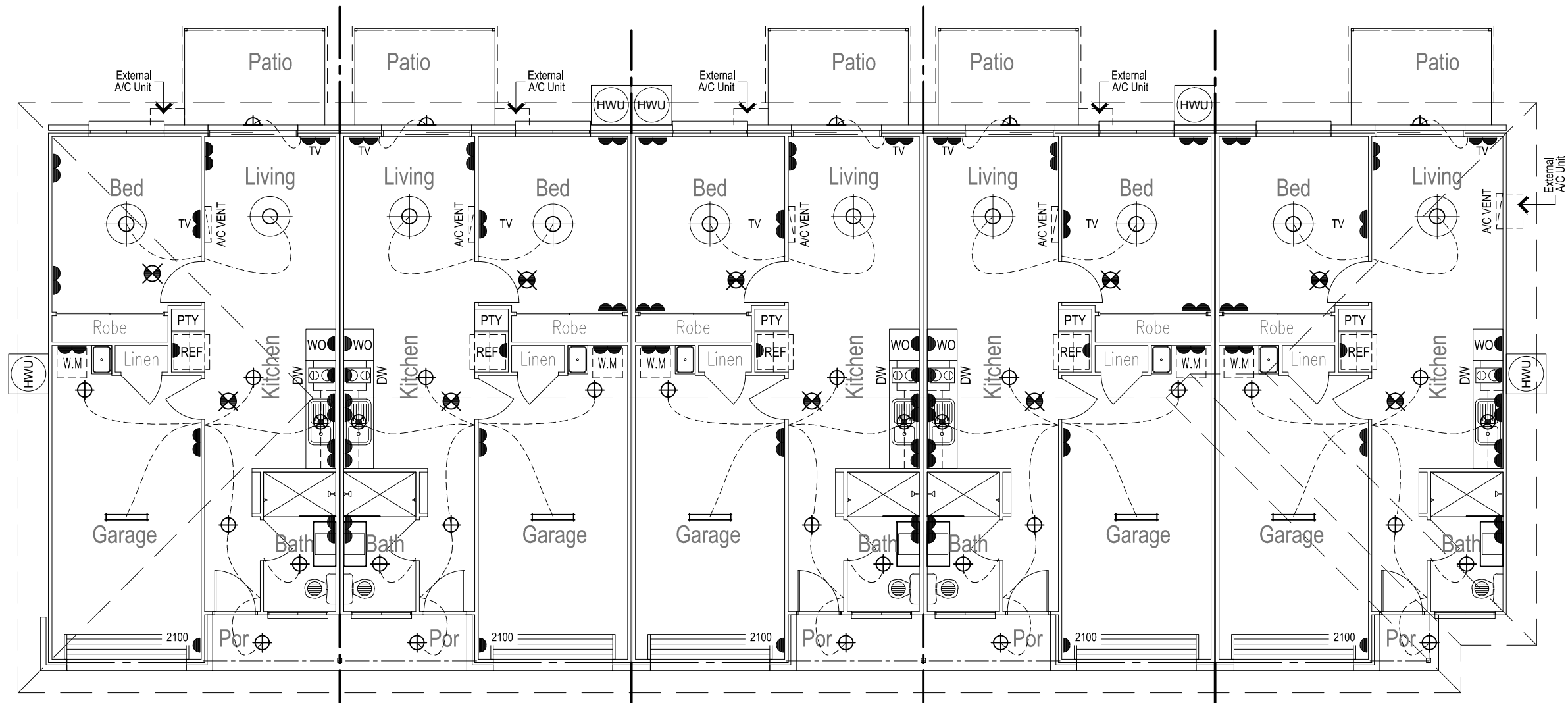
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PROJECT:  
 Proposed Development  
 UNIT TYPE D2-5  
 Bishop Street  
 Eagleby

Bracing		
DRAWN: PAMc	DATE: 09-10-17	Rev: B
SCALE: As Noted	CHECKED: P.U.	
SHEET: BA-A3-23	JOB No: 1037	

# LEGEND

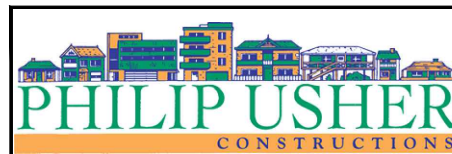
-  FITTING ONLY
-  DOWNLIGHT
-  EXT WALL LIGHT
-  FLURO
-  EXHAUST FAN
-  CEILING FAN/LIGHT
-  SGPO 300 H (EXCEPT NOTED OTHERWISE)
-  DGPO 300 H (EXCEPT NOTED OTHERWISE)
-  PH TELEPHONE POINT
-  METER BOX
-  TV TELEVISION POINT



 **ELECTRICAL LAYOUT**  
UNIT TYPE D2-5      1:100 @ A3

NOTE:- FINAL POSITION OF METER-BOX SHALL BE DETERMINED BY LOCATION OF U/GROUND POWER BOX.

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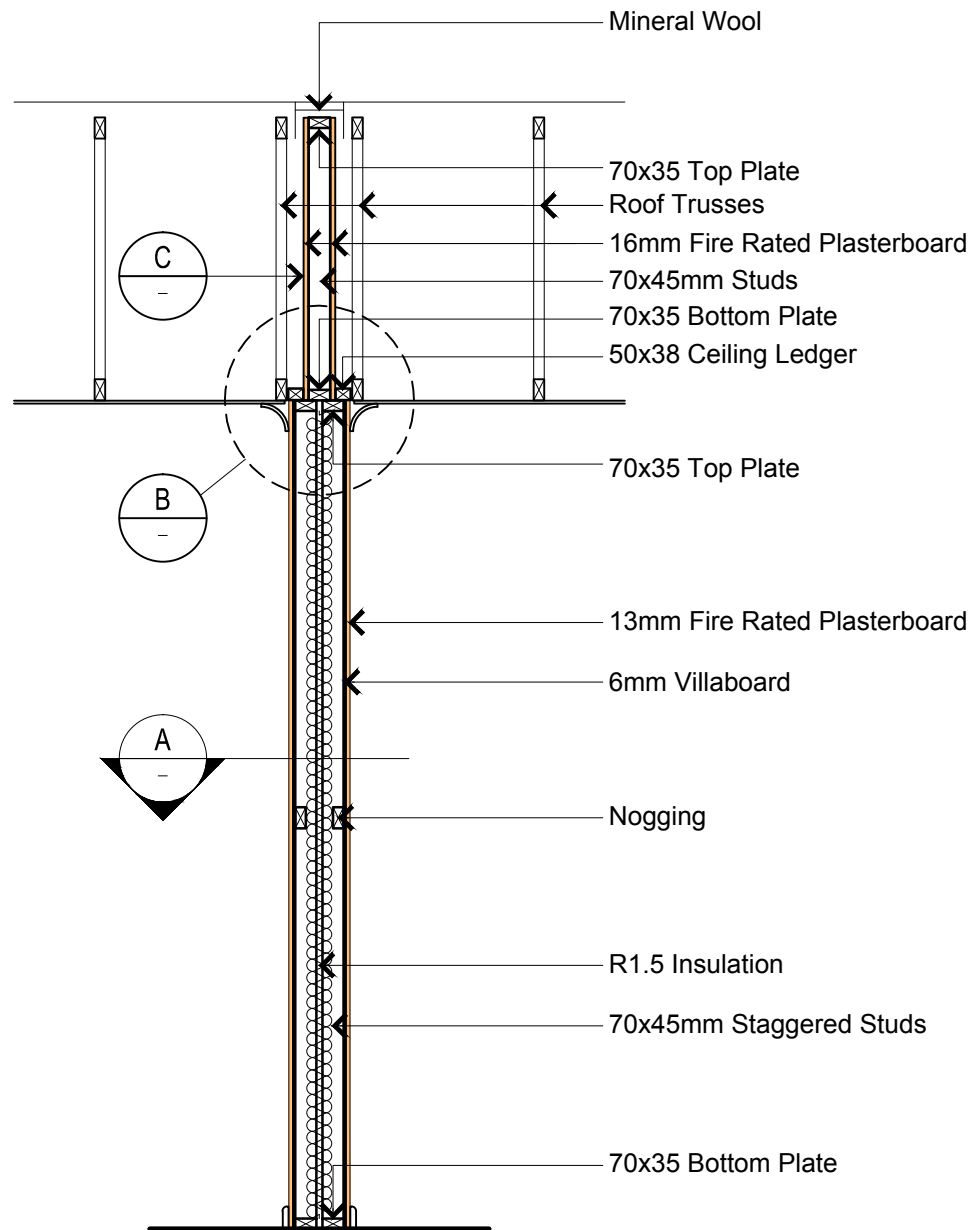


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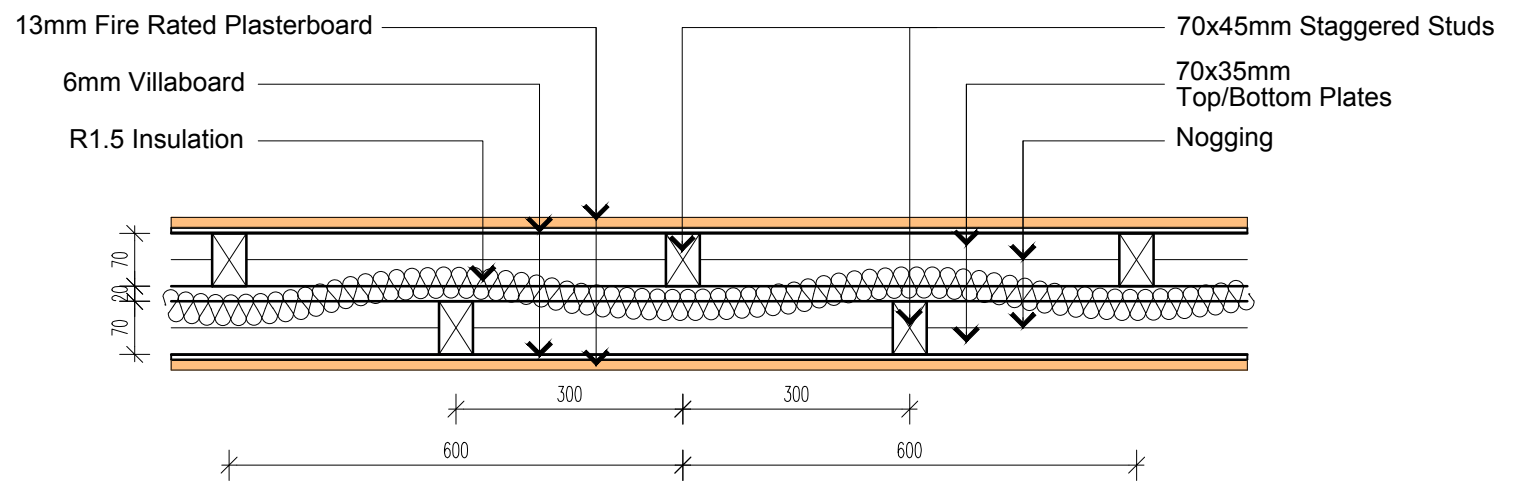
PROJECT:  
Proposed Development  
UNIT TYPE D2-5  
Bishop Street  
Eagleby

Electrical		
DRAWN: PAMc	DATE: 09-10-17	Rev: B
SCALE: As Noted	CHECKED: P.U.	
SHEET: BA-A3-24	JOB No: 1037	



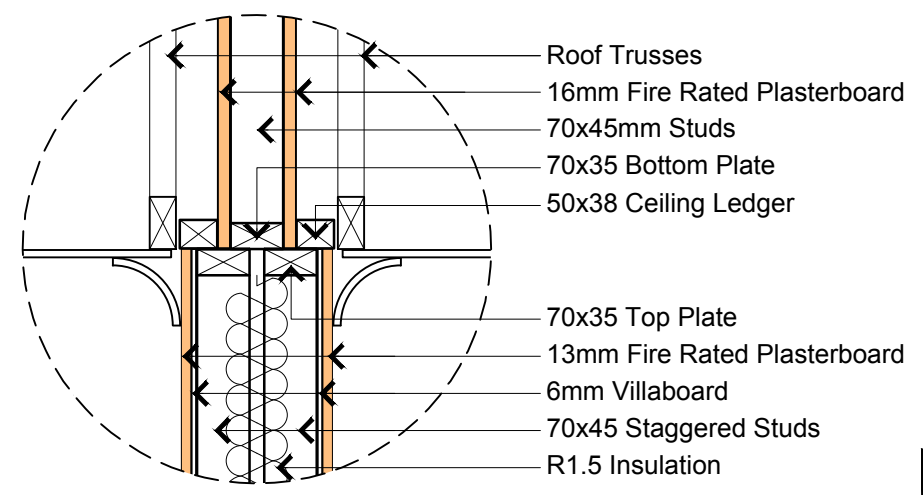
**SEPARATING WALL (Discontinuous)**  
SECTION - ELEVATION VIEW 1:25 @ A3

Refer to 'James Hardie Fire and Acoustically Rated Walls - Application Guide' Table 13 System No. JH-234.



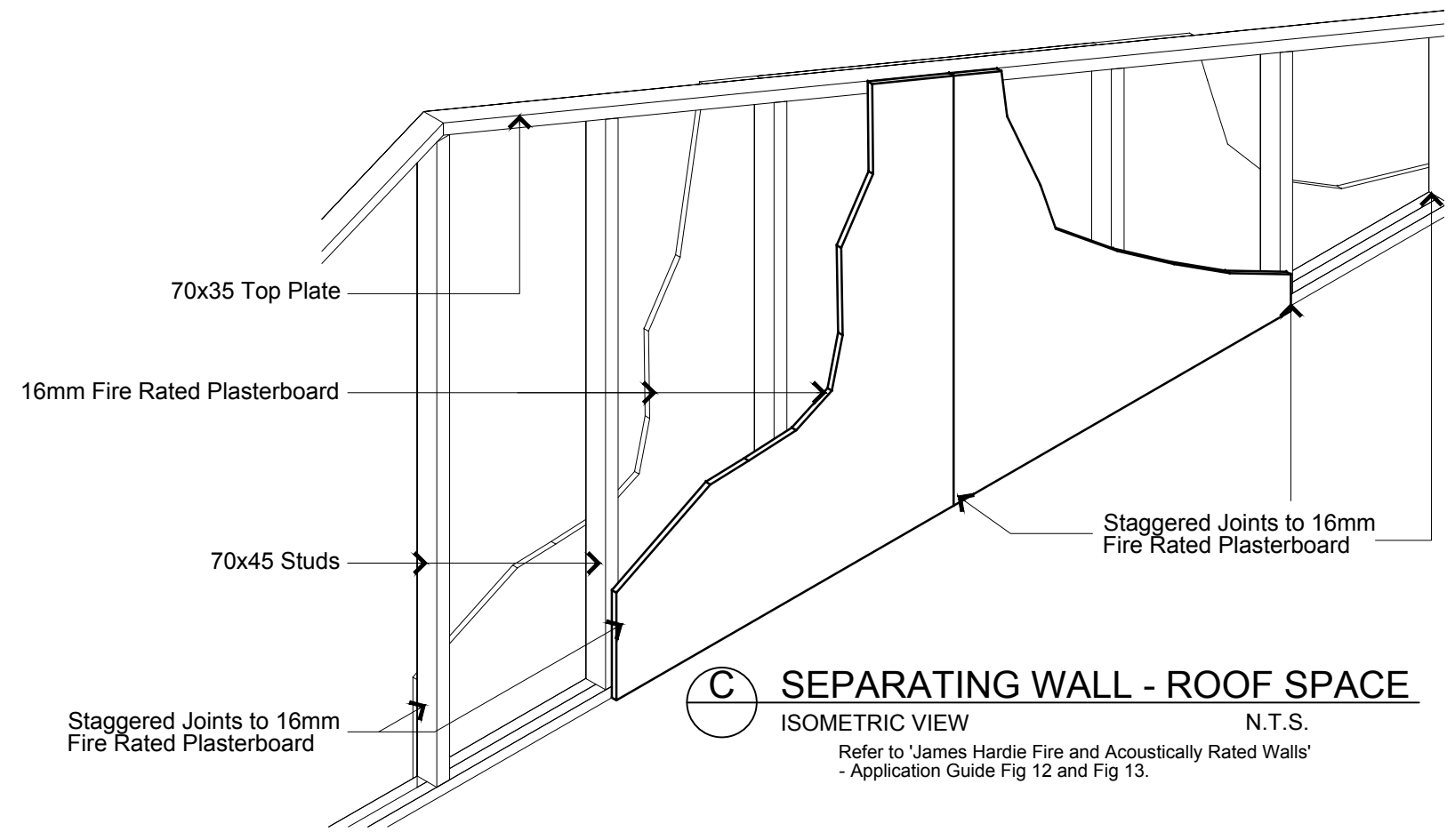
**SEPARATING WALL (Discontinuous)**  
SECTION - PLAN VIEW 1:10 @ A3

Refer to 'James Hardie Fire and Acoustically Rated Walls - Application Guide' Table 13 System No. JH-234.



**CEILING - ROOF SPACE DETAIL**  
SECTION - ELEVATION VIEW 1:10 @ A3

Refer to 'James Hardie Fire and Acoustically Rated Walls - Application Guide' Fig 12 and Fig 13.



**SEPARATING WALL - ROOF SPACE**  
ISOMETRIC VIEW N.T.S.

Refer to 'James Hardie Fire and Acoustically Rated Walls' - Application Guide Fig 12 and Fig 13.

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PROJECT:  
Proposed Development  
UNIT TYPE D2-5  
Bishop Street  
Eagleby

Separating Wall Details		
DRAWN: PAMc	DATE: 09-10-17	Rev: B
SCALE: As Noted	CHECKED: P.U.	
SHEET: BA-A3-25	JOB No: 1037	